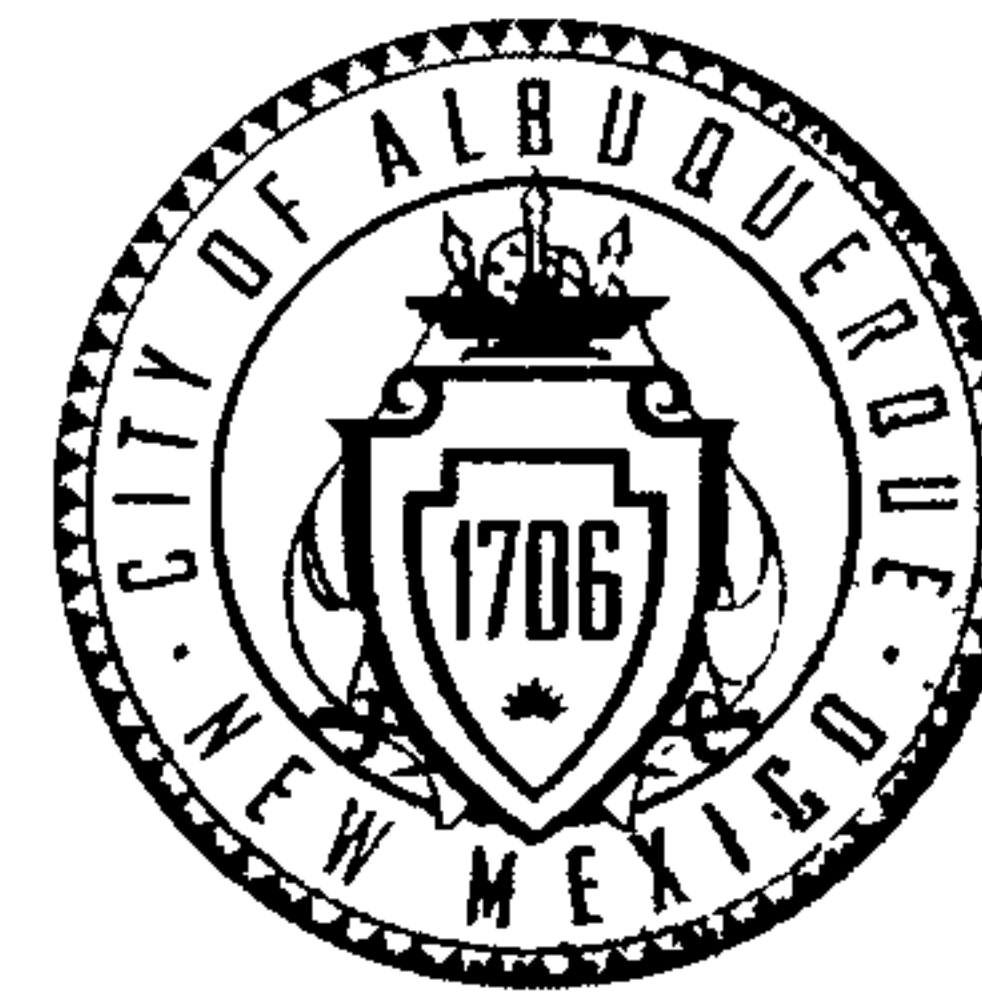


CITY OF ALBUQUERQUE



June 22, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: HLP Endodontics
10429 Lagrima Del Oro NE
Requested for Permanent C. O. – Accepted
Engineers Stamp Date 6/29/15 (F21D063)
Certification dated: 6-2-16**

Dear Mr. Soule,

Based on the Certification received 6/21/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

- Ensure that the transformer placed in the middle of the pond does not flood during a rain event. Contact PNM if necessary for recommendations.

Albuquerque

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

New Mexico 87103 Sincerely,

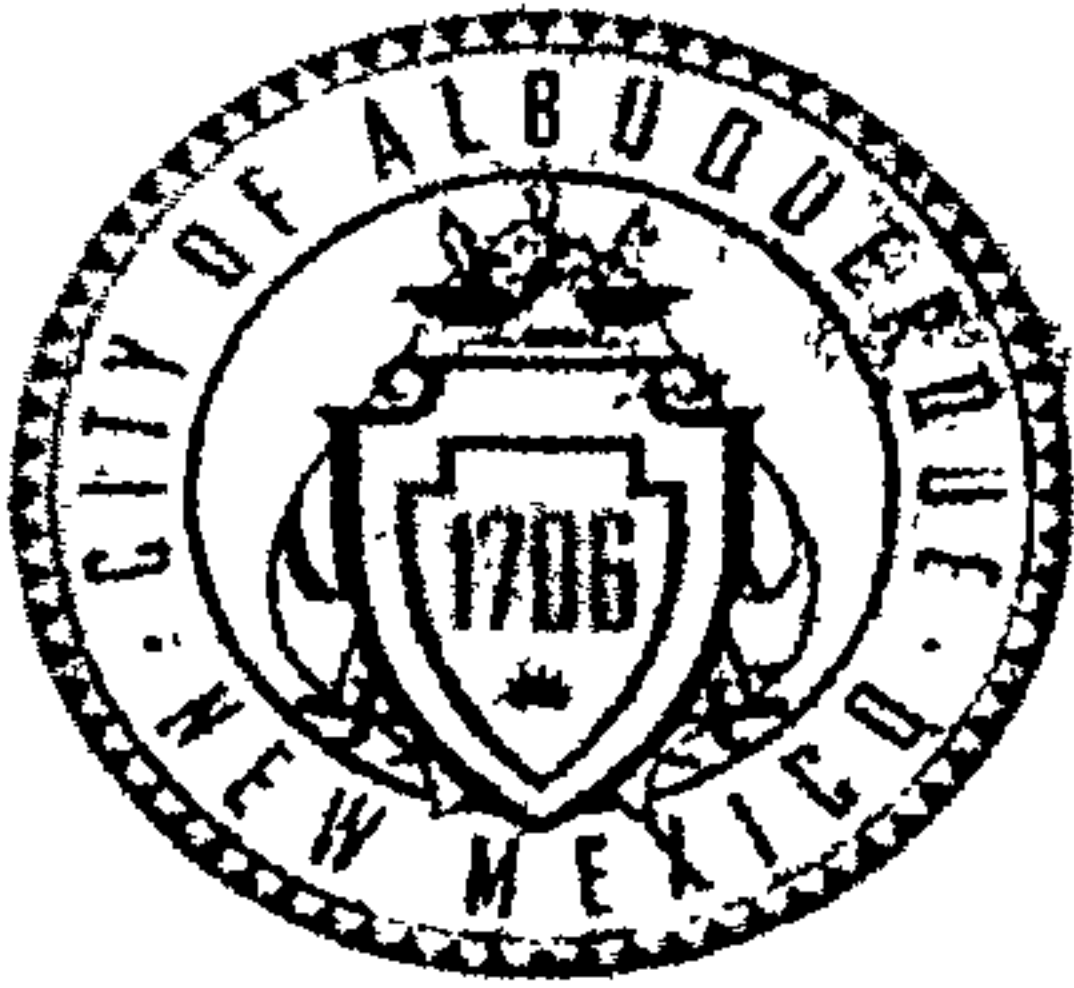
www.cabq.gov

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP ENDODONTICS Building Permit #: _____ City Drainage #: f21d063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A LANDS OF BRYANT AND WITAKER

City Address: 10429 LAGRIMA DEL ORO NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SELIGMAN RVT AND SCHAEFER Contact: _____

Address: 12124 HICKORY CT NE 87111

Phone#: _____ Fax#: _____ E-mail: _____

Architect: JOE SLAGLE Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

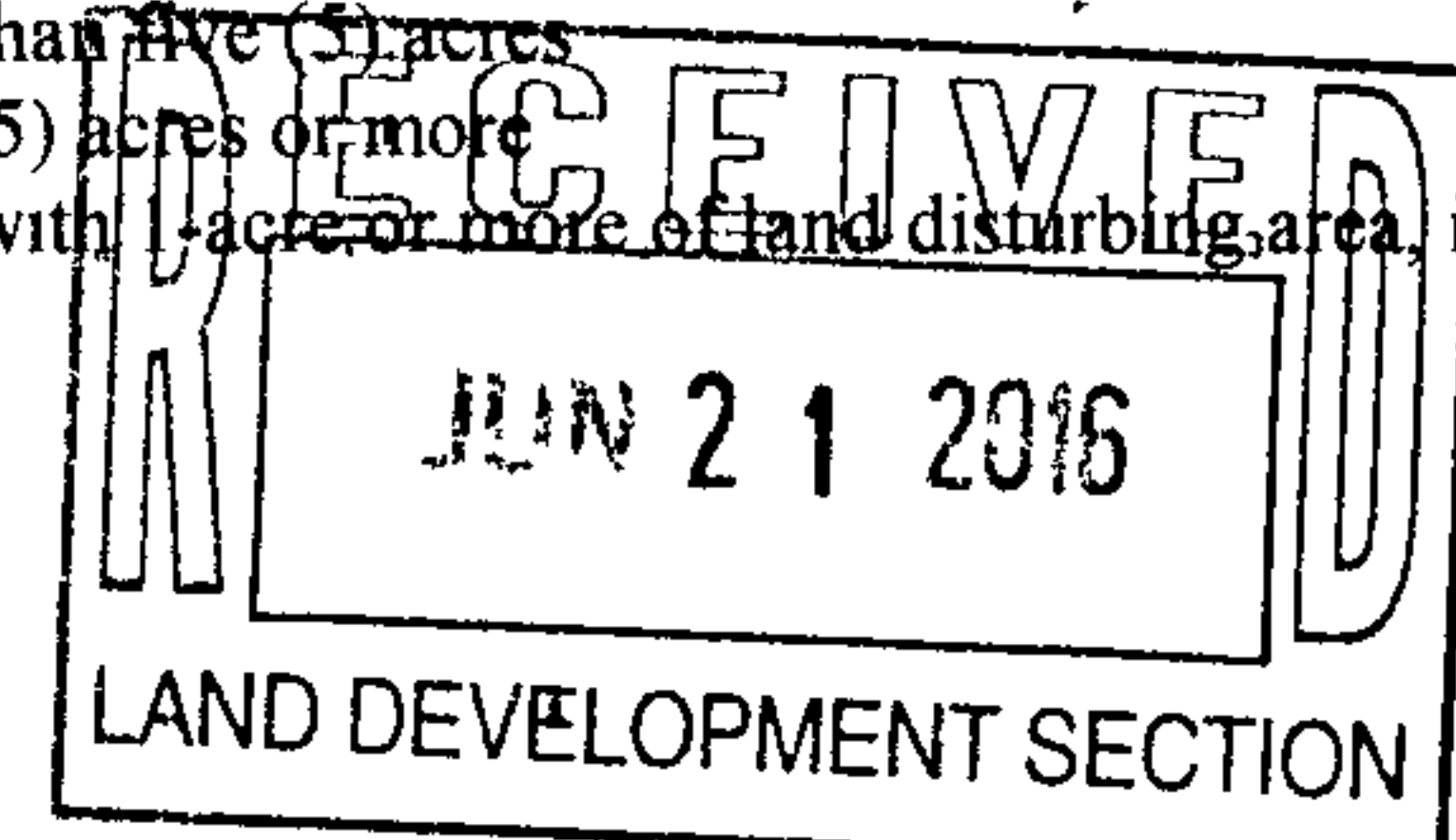
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

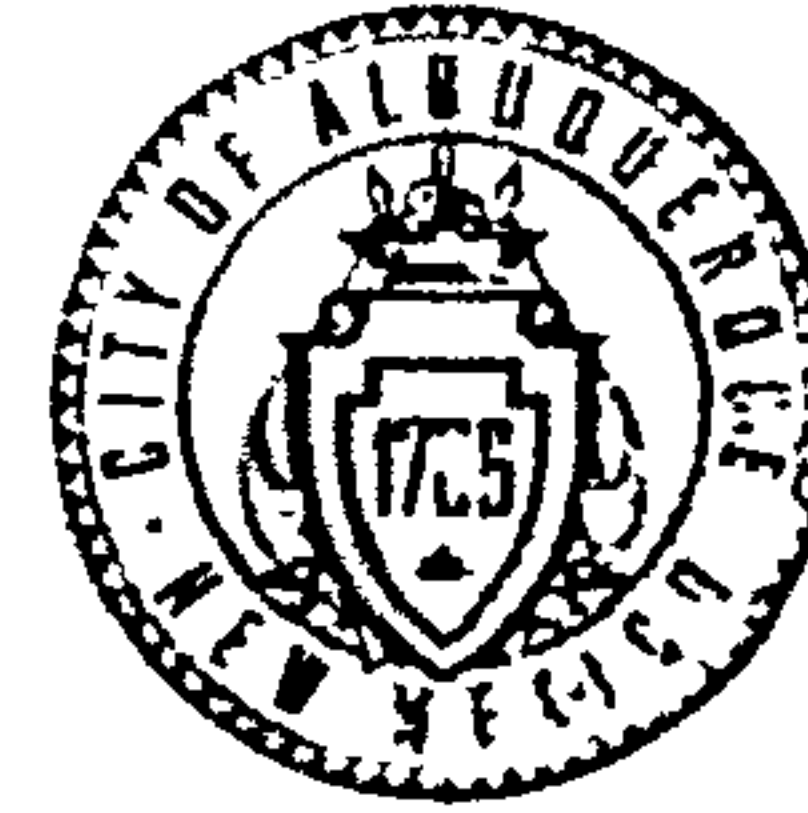
DATE SUBMITTED: 6/21/16 By: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



CITY OF ALBUQUERQUE



June 9, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

RE: **HLP Endodontics**
10429 Lagrima Del Oro NE
Requested for Permanent C. O. – Not Accepted
Engineers Stamp Date 6/29/15 (F21D063)
Certification dated: 6-2-16

Dear Mr. Soule,

Based on the certification provided in your submittal received 6/2/2016, the above referenced site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

- Both 1'-0" curb openings on the north end are missing. WE OMITTED THE CUTS
- There is a transformer where the pond at the NE corner was approved. New drainage flows are not as-built on the drawing. WE CORRECTLY SHOWED POND AND OMITTED CUTS ALLOWS FOR COMPENSATORY FIRST FLUSH VOLUME
- Only a portion of the rock plated slope w/ retention trench is constructed on the west side. Per the superintendent on site, the portion not constructed is being changed to a retaining wall. This has not been as-built on the drawings. WE CORRECTLY SHOWED THE WALL
- The SO-19 sidewalk culvert should be poured monolithic. Culvert should be 2'-0" however it only measures 1'-4". THE CULVERT WAS REPLACED

An inspection by our office will need to take place after these corrects are made.

www.cabq.gov

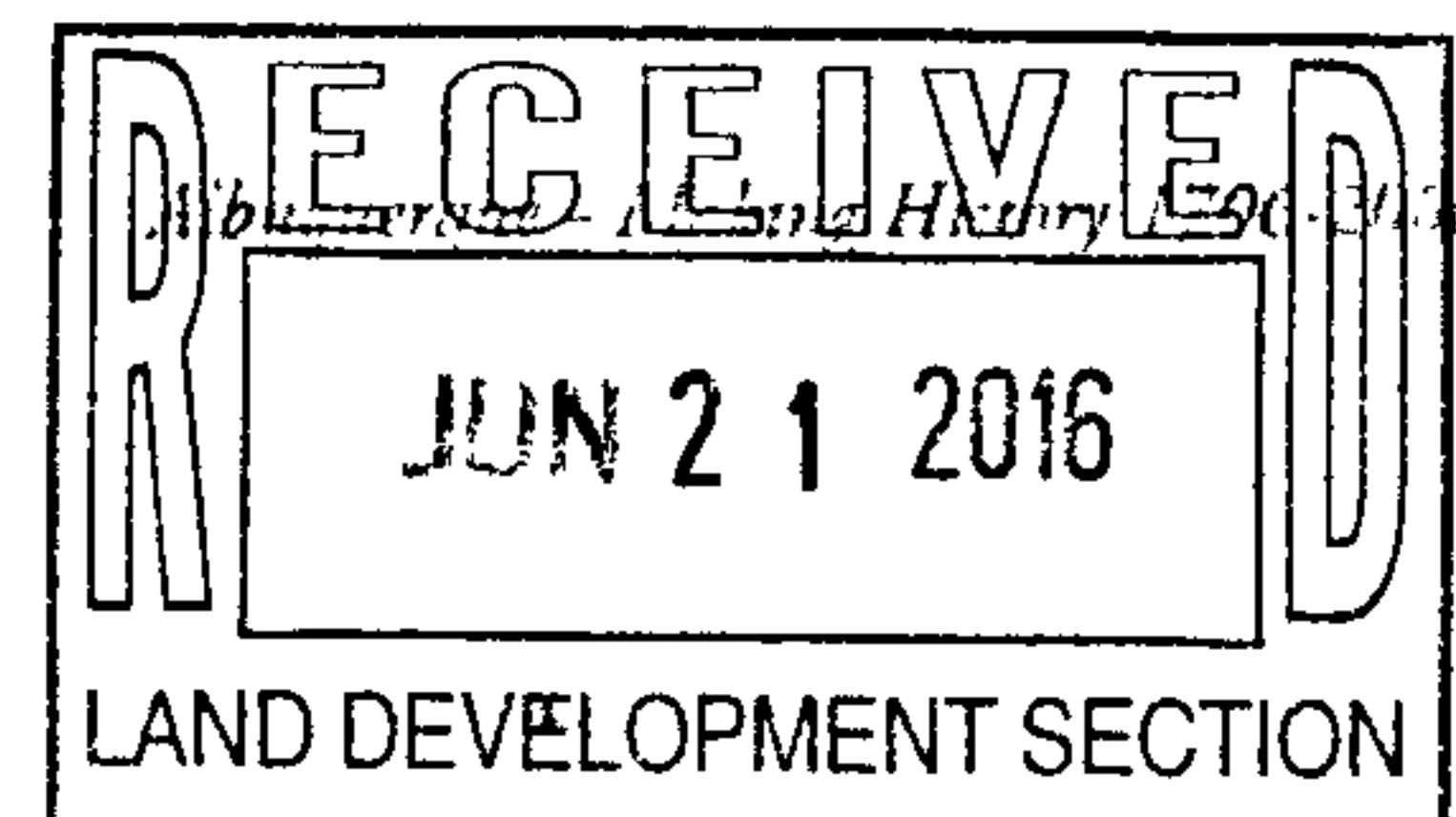
If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

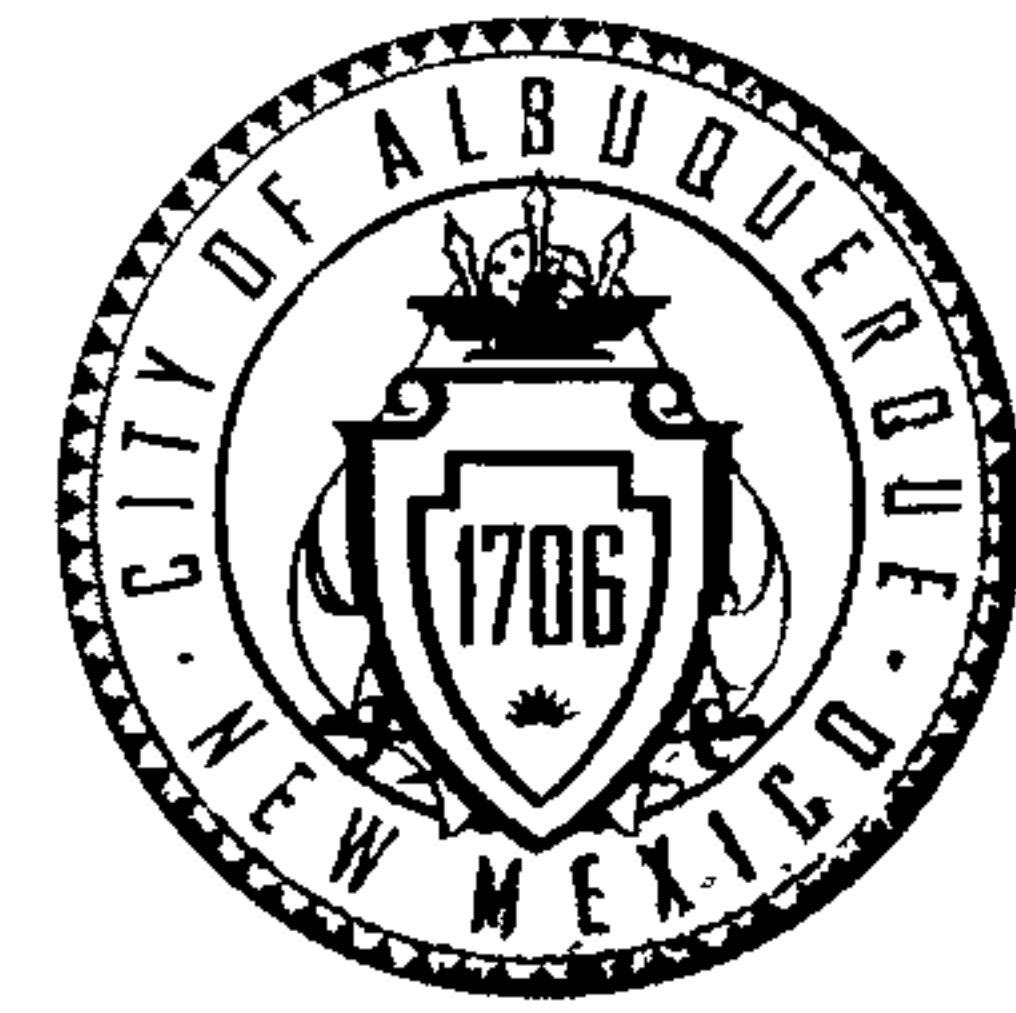
Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



CITY OF ALBUQUERQUE



June 9, 2016

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**RE: HLP Endodontics
10429 Lagrima Del Oro NE
Requested for Permanent C. O. – Not Accepted
Engineers Stamp Date 6/29/15 (F21D063)
Certification dated: 6-2-16**

Dear Mr. Soule,

Based on the certification provided in your submittal received 6/2/2016, the above referenced site cannot be accepted for release of Certificate of Occupancy by Hydrology until the following comments are addressed:

- Both 1'-0" curb openings on the north end are missing.
- There is a transformer where the pond at the NE corner was approved. New drainage flows are not as-built on the drawing.
- Only a portion of the rock plated slope w/ retention trench is constructed on the west side. Per the superintendent on site, the portion not constructed is being changed to a retaining wall. This has not been as-built on the drawings.
- The SO-19 sidewalk culvert should be poured monolithic. Culvert should be 2'-0" however it only measures 1'-4".

PO Box 1293

Albuquerque

New Mexico 87103

An inspection by our office will need to take place after these corrects are made.

www.cabq.gov

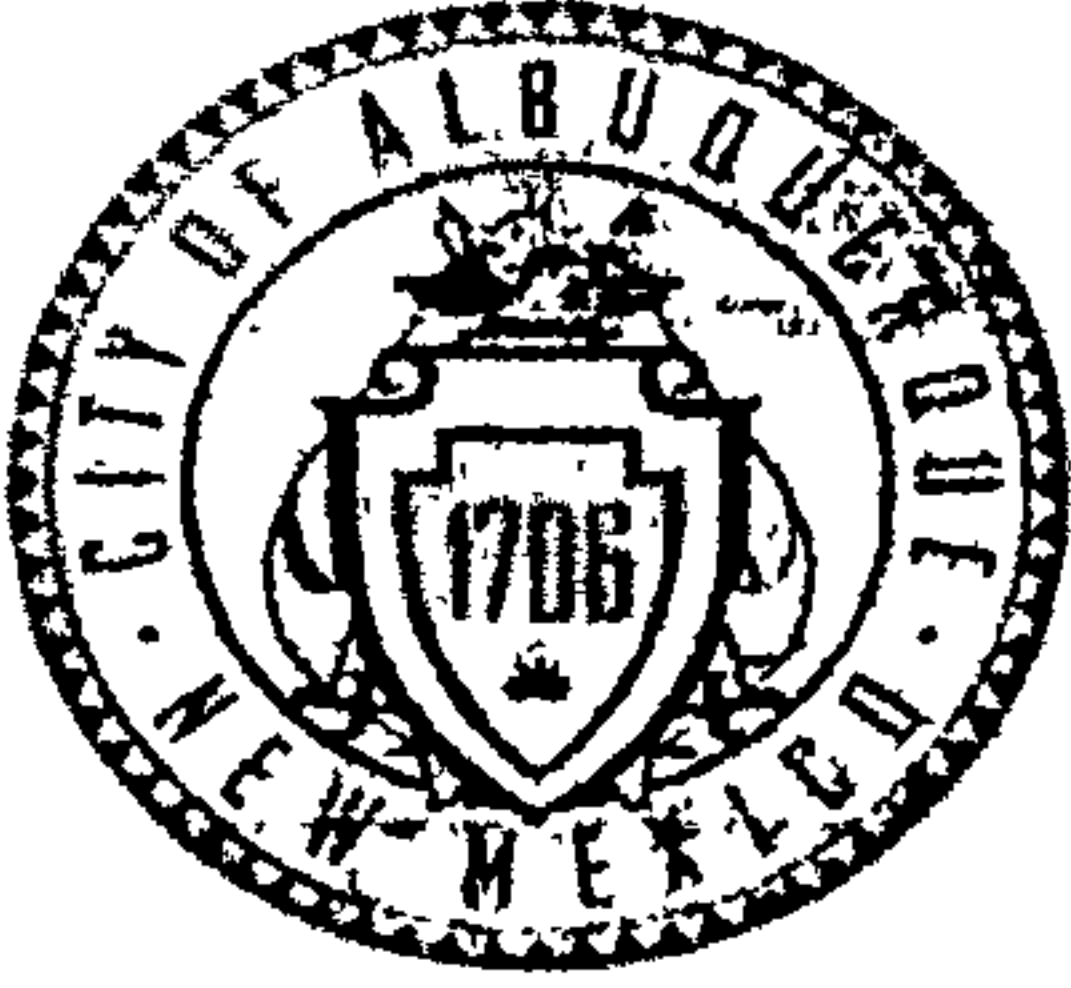
If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: hLP ENDODONTICS Building Permit #: _____ City Drainage #: F21D063
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: LOT 1A LANDS OF BRYANT AND WITAKER
City Address: 10429 LAGRIMA DEL ORO NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SELIGMAN RVT AND SCHAEFER Contact: _____
Address: 12124 HICKORY CT NE 87111
Phone#: _____ Fax#: _____ E-mail: _____

Architect: JOE SLAGEL Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS
Address: _____
Phone#: 917.8921 Fax#: _____ E-mail: _____

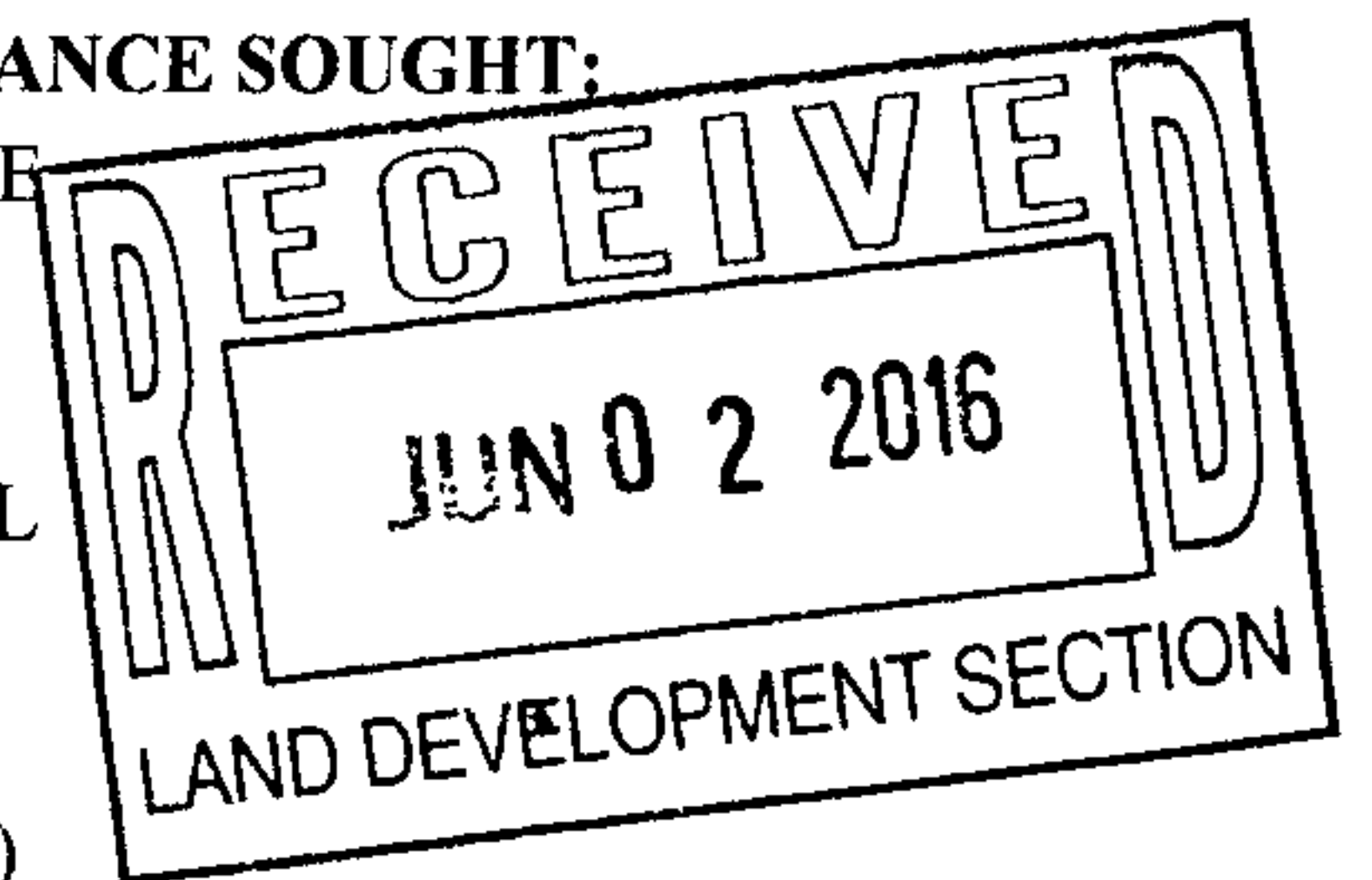
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



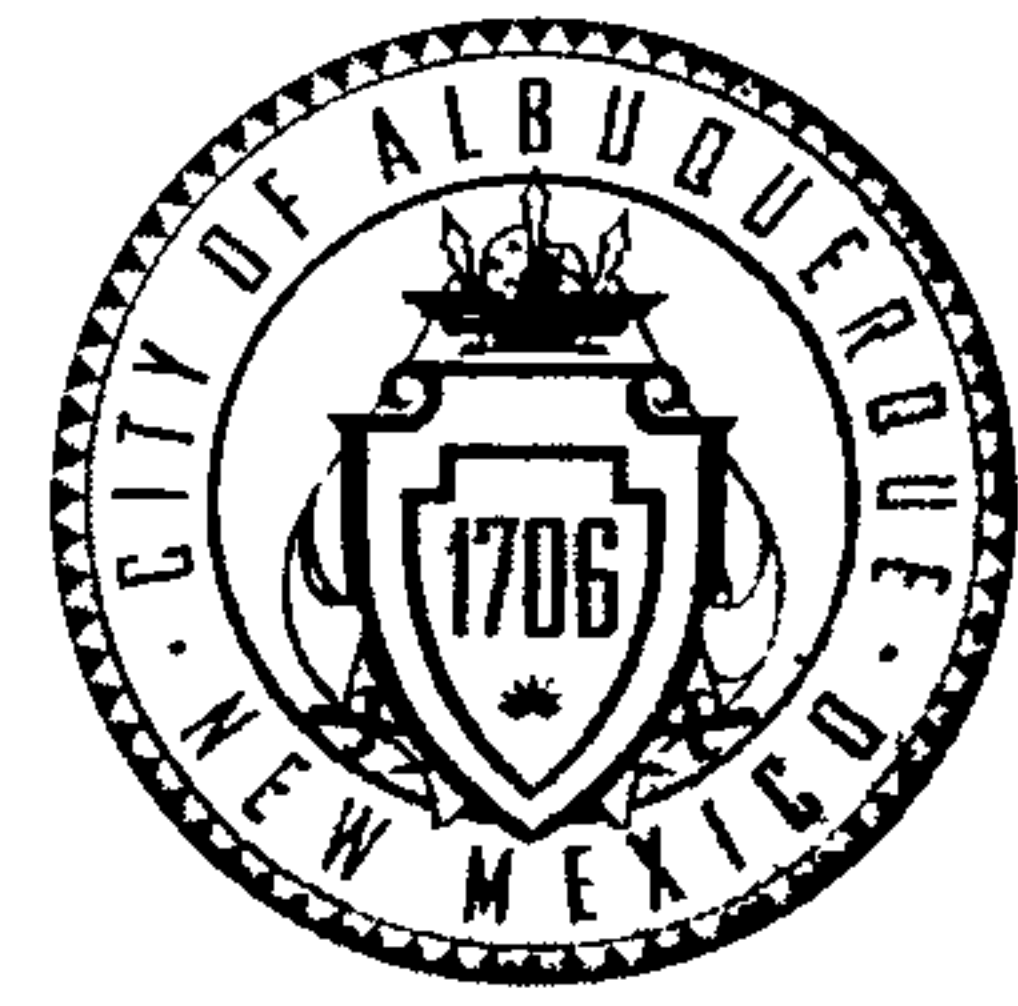
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 4/30/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



July 1, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **HLP Endodontics, 10429 Lagrima Del Oro NE**
Grading and Drainage Plan
Engineer's Stamp Dated 6-29-15 (File: F21-D063)

Dear Mr. Soule:

Based upon the information provided in your submittal received 6-29-15, the above referenced plan is approved for SO-19.

PO Box 1293

A separate Excavation/Barricading Permit is required for SO-19 construction within City ROW. A copy of this approval letter must be on hand when applying for the permit. To obtain a C.O., the storm drain work in the City ROW must be inspected and accepted.

Albuquerque

Please contact Jason Rodriguez, 857-8074, to schedule an inspection.

If you have any questions, you can contact me at 924-3924.

New Mexico 87103

Sincerely,

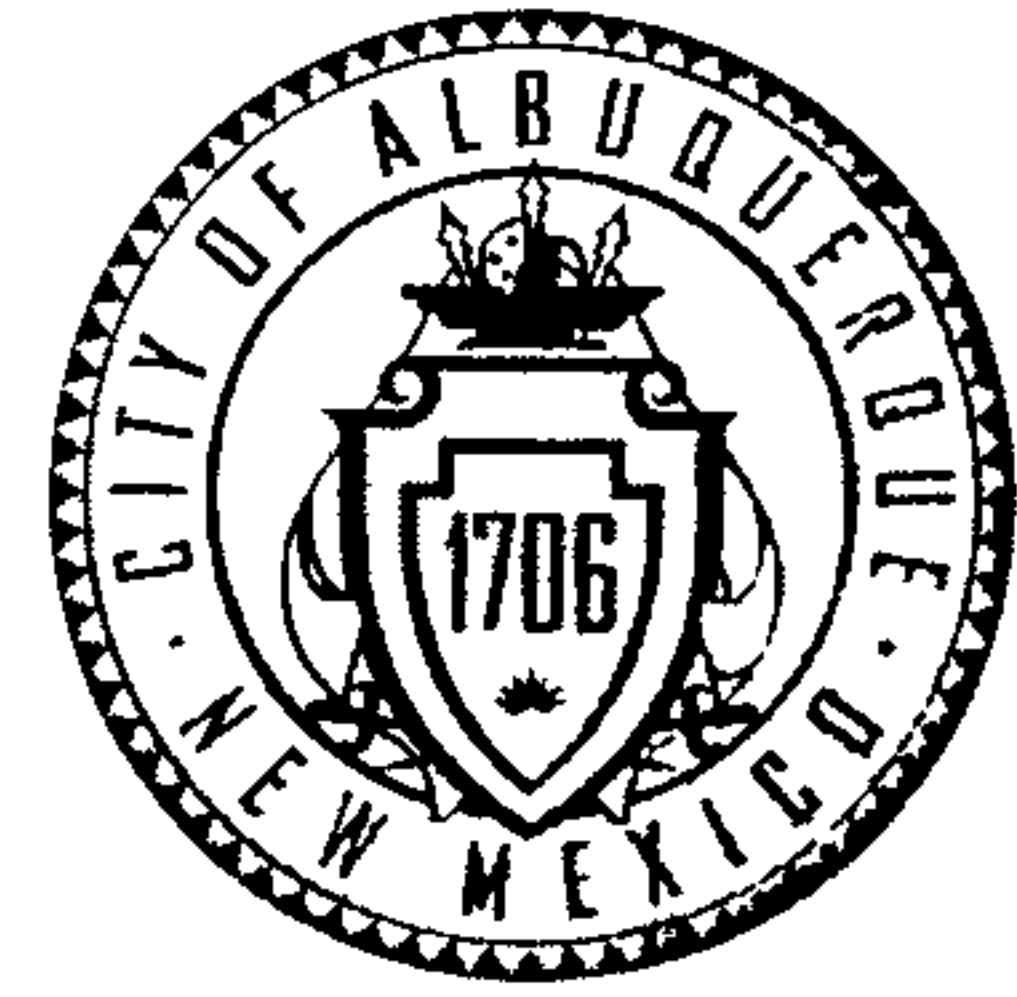
Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file

c.pdf: via Email: Recipient, Monica Ortiz
Jason Rodriguez, Street/Storm Drain Maintenance, JTRodriguez@cabq.gov,
Antoinette Baldonado, DMD

CITY OF ALBUQUERQUE



July 1, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **HLP Endodontics, 10429 Lagrima Del Oro NE**
Grading and Drainage Plan
Engineer's Stamp Dated 6-29-15 (File: F21-D063)

Dear Mr. Soule:

Based upon the information provided in your submittal received 6-29-15, the above referenced plan is approved for DRB Action for Site Development Plan for Building Permit. It is also approved for Building Permit with the following conditions prior to CO Approval:

PO Box 1293

- A. On cross-section B-B, indicate a vertical dimension for the swale similar to A-A to ensure that there is a defined swale size. Provide minimum vertical depth of 8 inches.
- B. Provide a site benchmark.
- C. At the southwest corner of the parking lot, there is a 53.50 elevation which is a low spot and looks like it needs a curb cut. Provide a curb cut at this location.

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

New Mexico 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM Checklist will be required.

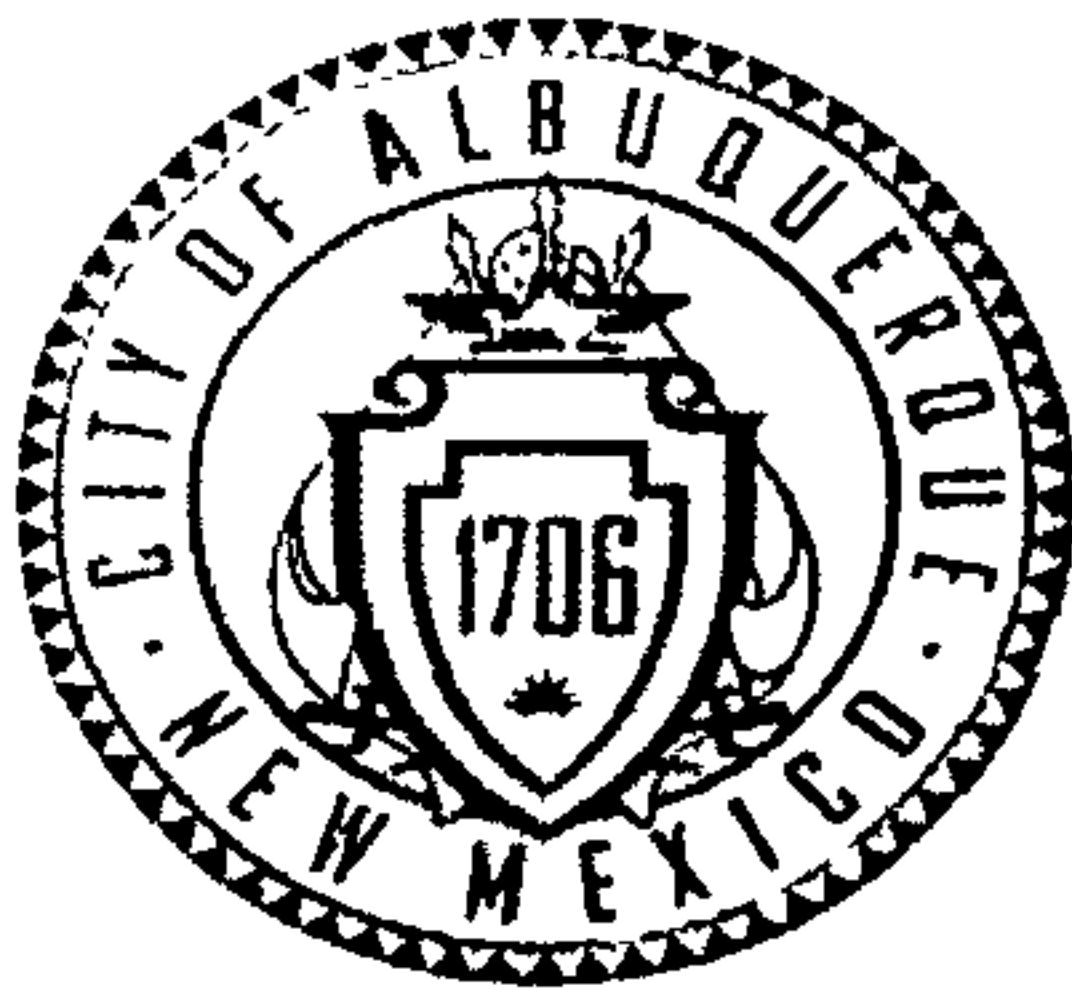
www.cabq.gov

If you have any questions, you can contact me at 924-3924.

Sincerely,

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf via Email: Recipient, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP ENDODONTICS Building Permit #: _____ City Drainage #: F21D063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A LANDS OF BRYANT AND WITAKER

City Address: 10429 LAGRIMA DEL ORO NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505 321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SELIGMAN RVT AND SCHAEFER Contact: _____

Address: 12124 HICKORY CT NE 87111

Phone#: _____ Fax#: _____ E-mail: _____

Architect: JOE SLAGEL Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

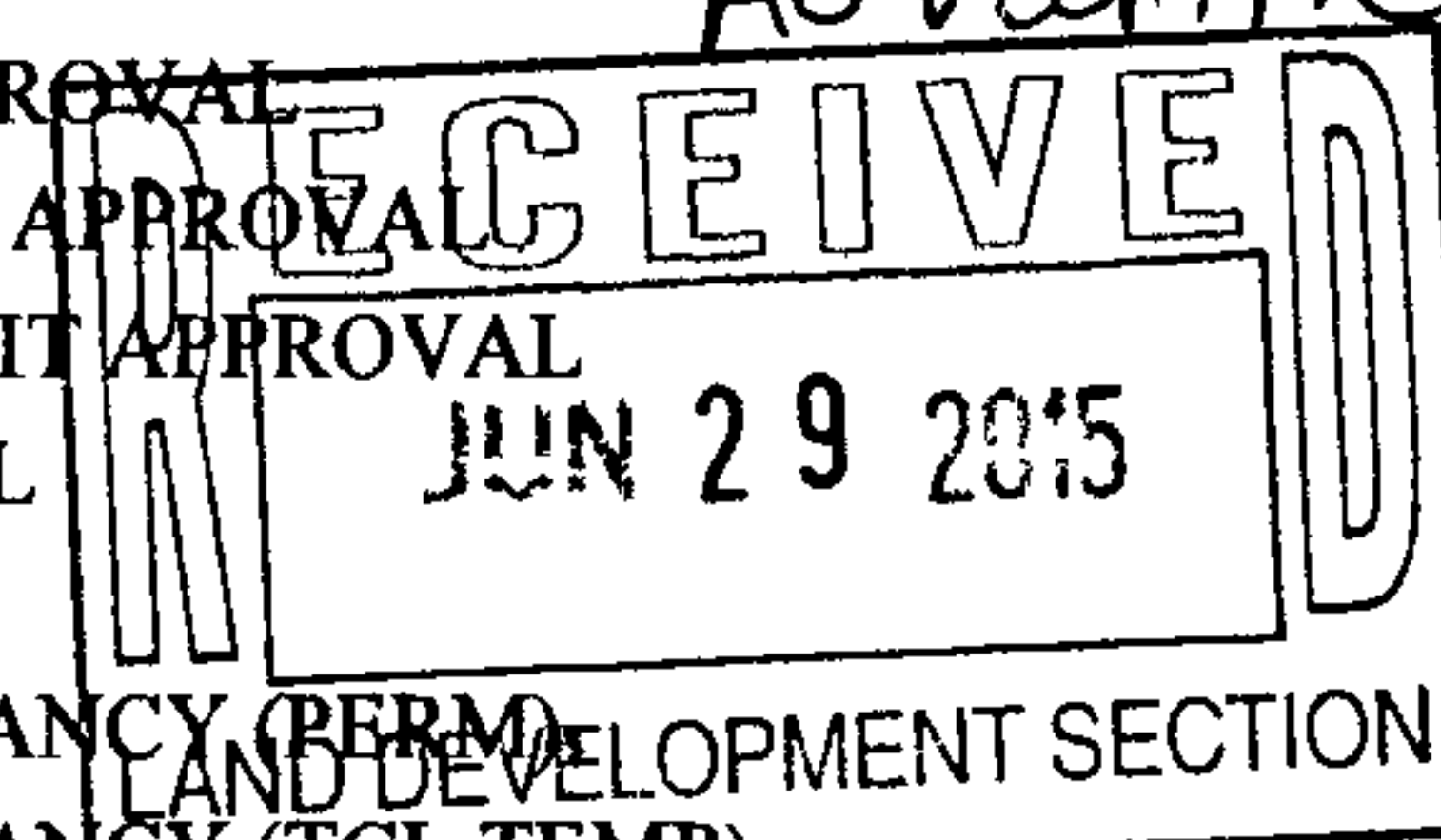
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☒ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE *As Verified*
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 6/29/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

June 29, 2015

Ms. Jeanne Wolfenbarger, PE
Senior Engineer, Planning Department
Development Review
City of Albuquerque

**RE: Grading and Drainage Plan
F21-D063
10429 Lagrima del Oro**

Dear Ms. Wolfenbarger:

The purpose of this letter is to accompany the revised drainage submittal. The plan has been modified to address your written comments dated June 15, 2015. The following is a response to your comments

1. We have revised the plan due to the slope concerns, we have proposed a first flush retention trench rather than the small ponds. The trench allows for the slope and swale to be constructed, the volume of the trench is provided
2. We have added the reference
3. We have modified the plan such that all the flow passes thru a first flush system.
4. We have revised the plan to provide the first flush with a trench and have labeled as such
5. We have revised the cross sections and added slope protection.
6. We have labeled the bio swale as 4-6" fractured rock
7. There is no detail sheet, the comment was a remnant from a different response letter

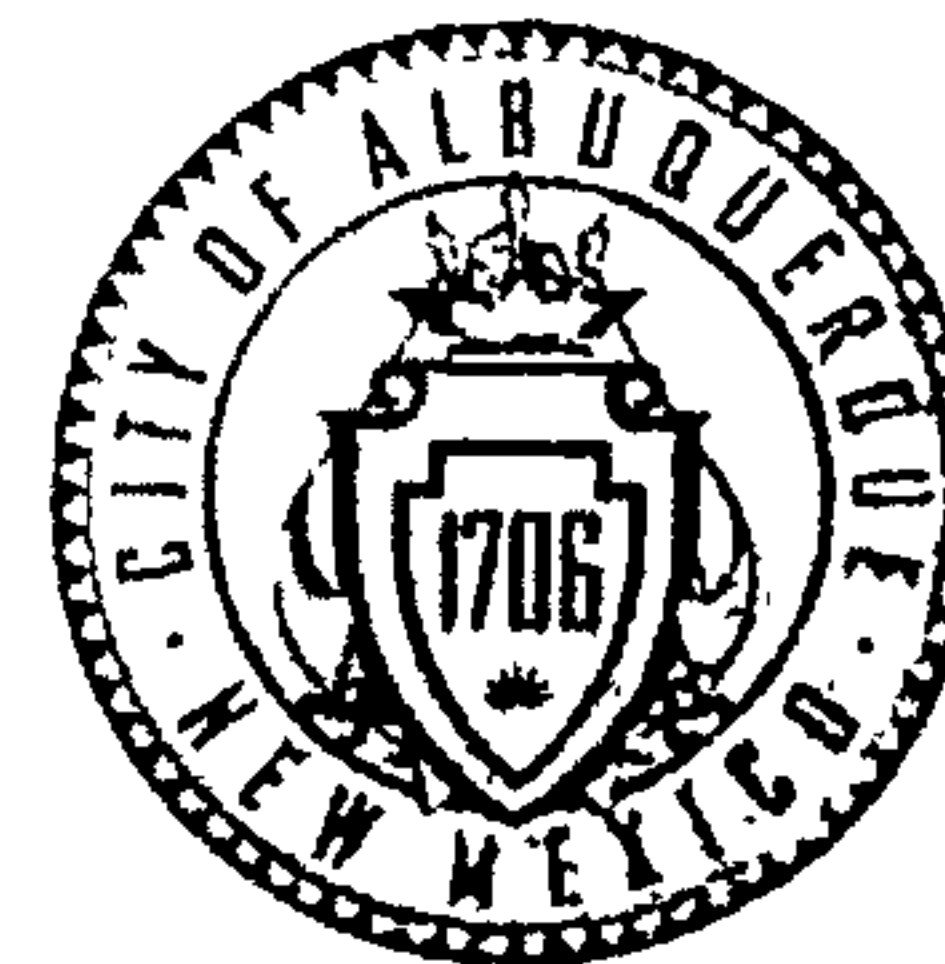
Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

CITY OF ALBUQUERQUE



June 15, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**RE: HLP Endodontics, 10429 Lagrima Del Oro NE
Grading and Drainage Plan
Engineer's Stamp Dated 6-03-15 (File: F21-D063)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 6-03-15, the above referenced plan is approved for DRB Action on the Site Development Plan for Building Permit. However, it cannot be approved for Building Permit and for SO-19 until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

- 1) The swale along the west property line is listed as 1 foot deep with a 6-inch check dam. The middle elevation shown only has a difference in elevation of 0.5 feet between berm and flowline. The invert elevations for the sidewalk culverts also appear to be 30 feet too low from what the elevations are intended to be. Revise as needed, and provide slope of swale as applicable. On cross-section A-A, it would be helpful to show the one foot depth and the 6-inch check dams that are installed every 30 feet. If the check dams are 30 feet apart, label them as such. Also provide the flowline elevations at each of the curb cuts along the west edge of the parking lot. Show the relationship between the curb cut elevation and depth of swale to ensure drainage to swale. Provide riprap for the short distance from the curb cut to the rock swale.
- 2) Reference COA Standard Drawing 2236 for the construction of the sidewalk culvert.
- 3) Approximately 10% of the site drains to the first flush ponds on the east side as indicated by the roof drainage boundary. An insufficient percentage of the first flush volume is provided along the west side even though this is where the vast majority of the site drains. Is there opportunity to provide first flush volumes within the landscaped areas at the northwest and southwest corners of the site?
- 4) Where it says "Volume – 24 cf per dam", add language indicating that this is for the "first flush", and provide the total volume for the first flush within this area.

- 5) On cross-section A-A along the west property boundary, the slope to the west of the berm be called out as 3:1 since it is right along the property boundary without protection.
- 6) Call out depth of 4-6" cobble within the bioswale.
- 7) The referenced detail sheet in the letter also needs to be provided.

If you have any questions, you can contact me at 924-3924.

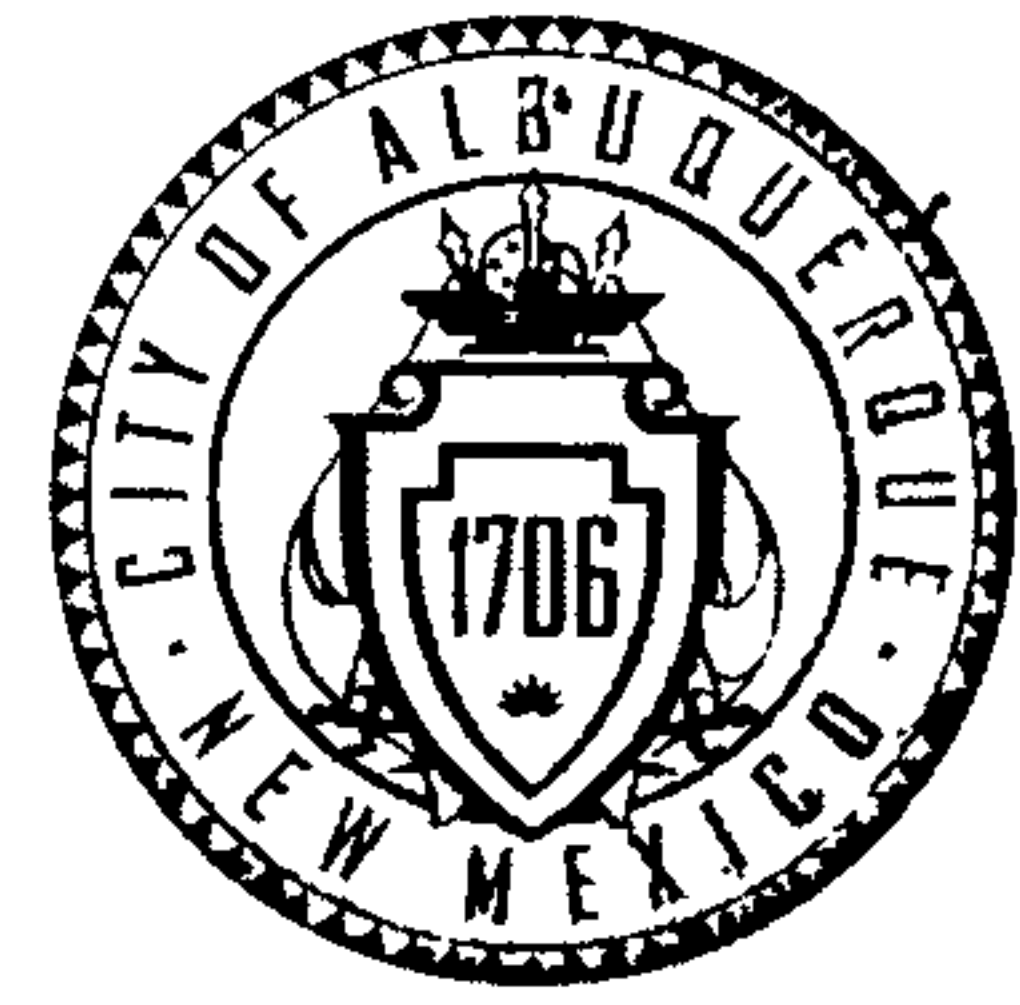
Sincerely,

A handwritten signature in black ink, appearing to read 'Jeanne Wolfenbarger', with a long horizontal flourish extending to the right.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

CITY OF ALBUQUERQUE



June 15, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**RE: HLP Endodontics, 10429 Lagrima Del Oro NE
Grading and Drainage Plan
Engineer's Stamp Dated 6-03-15 (File: F21-D063)**

Dear Mr. Soule:

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PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

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- 6) Call out depth of 4-6" cobble within the bioswale.
- 7) The referenced detail sheet in the letter also needs to be provided.

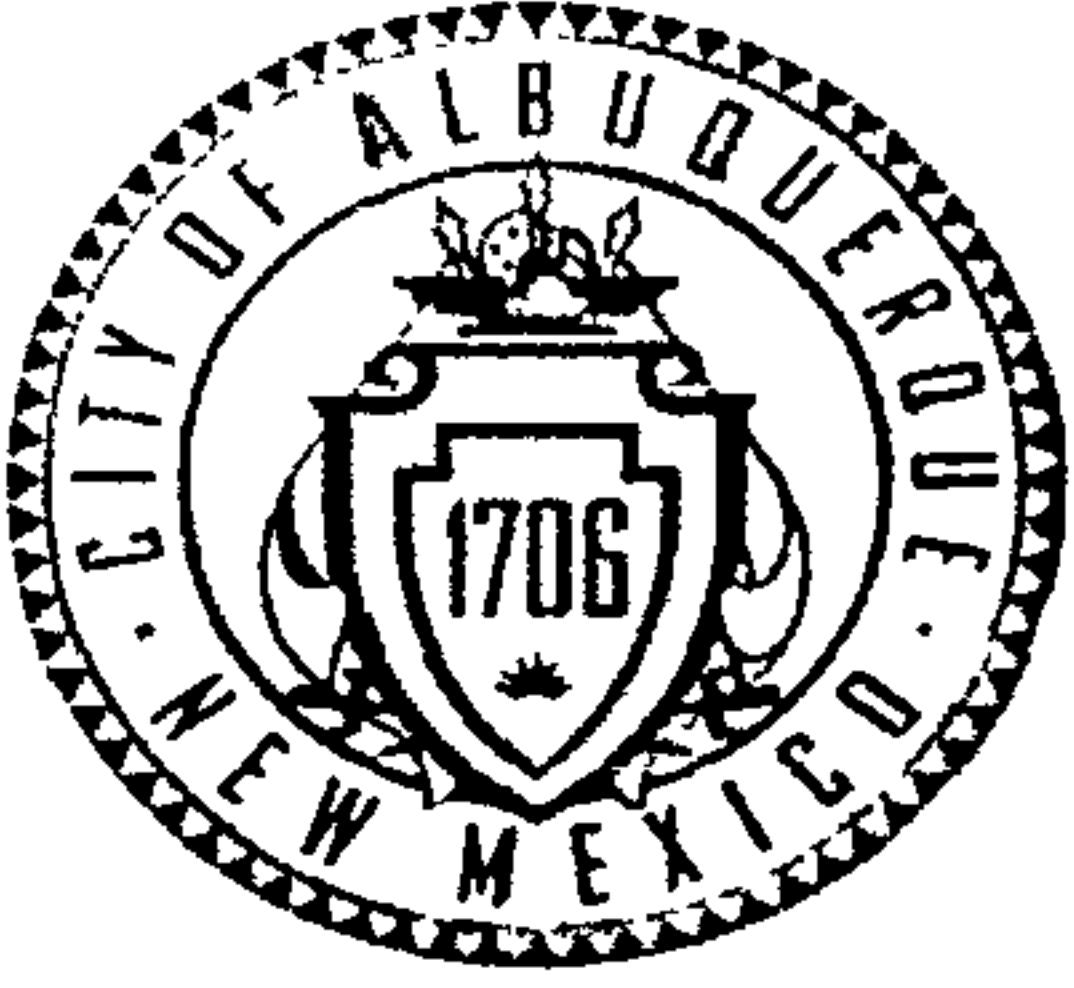
If you have any questions, you can contact me at 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeanne Wolfenbarger', with a long horizontal flourish extending to the right.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: hLP ENDODONTICS Building Permit #: _____ City Drainage #: F21D063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A LANDS OF BRYANT AND WITAKER

City Address: 10429 LAGRIMA DEL ORO NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SELIGMAN RVT AND SCHAEFER Contact: _____

Address: 12124 HICKORY CT NE 87111

Phone#: _____ Fax#: _____ E-mail: _____

Architect: JOE SLAGEL Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

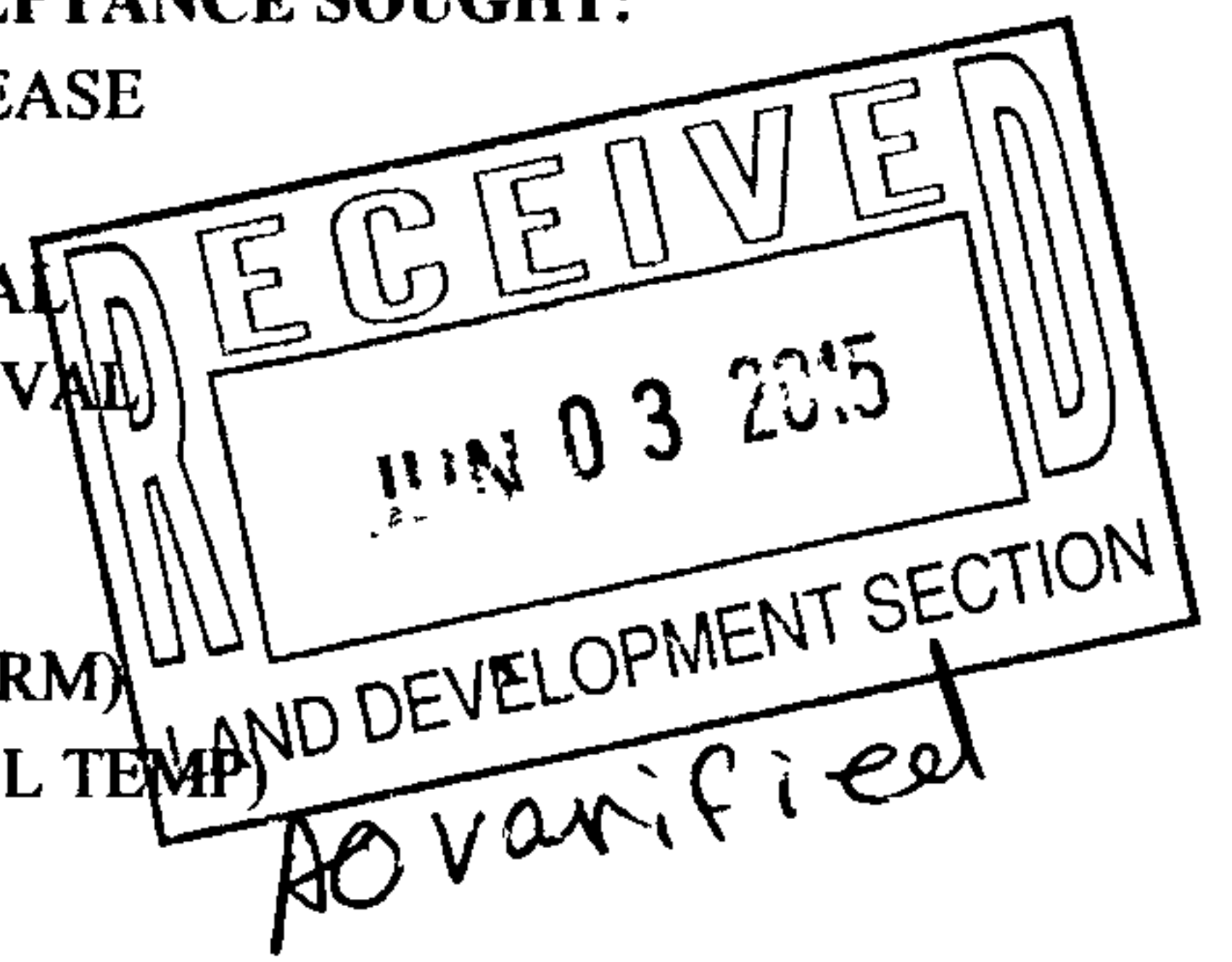
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 4/30/15 6/3/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

June 3, 2015

Ms. Jeanne Wolfenbarger
Hydrology Department
Public Works Department
City of Albuquerque

**RE: Revised Grading Plan (F-21D063)
HLP Endodontics
Albuquerque, New Mexico**

Dear Ms. Wolfenbarger:

The purpose of this letter is to accompany the enclosed revised grading plan for the referenced project. The grading plan for this site has been revised to address your written comments dated 5/28/15. The following is a summary of your comment and the narrative as to how we addressed

1. Surrounding sites do not free discharge
This site has had two approved grading plans (F21D063) allowing free discharge. In addition the adjacent sites to the east and west (F21D078, F21D079) which were initially within the same subdivision are allowed free discharge, based upon these factors we feel free discharge is appropriate.
2. Show all basin
We have created a basin map and spread sheet showing the flow rates. As shown from the existing grades the lot to the north does not drain south, we have added curb cuts to allow our landscape flow to enter our driveway and drain south
3. Show comparison of existing and proposed flows
We have added the existing and total proposed to the enclosed spreadsheet
4. Adjust so roof water gets into east harvest pond
We have clarified the roof drainage basins, as shown the roof generate enough flow to fill the ponds.
5. Provide spot elevations and slopes for bio swales, label on the plan.
We have added spot and the detail has the side slopes, we had labeled on the plan.
6. Show capacities of onsite infrastructure
We have shown the flow to each culvert and demonstrated the capacity of the swale, harvest check dam and culverts
7. Provide cross section and prove the western swale capacity to prove flow stays on property
We have added to the typical cross section, spots and capacity calculations
8. Label first flush capacity
We have added the total capacity to the swale call out

9. Provide length of culverts, prove capacity

We have labeled the culvert length at lagrima del oro, the capacity of the culverts are enclosed

own the placement of all systems. We have included detail sheet for ease of construction. The details address the inlets, clean out/inspection port and depth of system. The minimum rock treatments and filter fabrics are shown on the detail sheet.

Should you have any questions regarding this matter, please do not hesitate to call me.

Sincerely,

David Soule, PE
RIO GRANDE ENGINEERING
PO Box 93924
ALBUQUERQUE, NM 87199
321-9099

Enclosures

Weighted E Method

LAGRIMA DEL ORO

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
# UPLAND	6480	0.149	60%	0.08926	20.0%	0.030	20.0%	0.02975	0%	0.000	0.988	0.012	0.39	0.012
OVERALL EXISING	20121	0.462	80%	0.36953	20.0%	0.092	0.0%	0	0%	0.000	0.856	0.033	1.08	0.033
BASIN A	3562	0.082	0%	0	40.0%	0.033	33.0%	0.02698	27%	0.022	1.627	0.011	0.31	0.014
BASIN B	1669	0.038	0%	0	0.0%	0.000	0.0%	0	100%	0.038	2.640	0.008	0.20	0.014
BASIN C	1918	0.044	0%	0	0.0%	0.000	5.0%	0.0022	95%	0.042	2.581	0.009	0.23	0.015
BASIN D	12972	0.298	0%	0	12.0%	0.036	18.0%	0.0536	80%	0.238	2.504	0.062	1.56	0.094
OVERALLPROSED	20121	0.462	0%	0	14.8%	0.068	17.9%	0.083	74%	0.340	2.368	0.091	- 2.30	0.137

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

Pond volume required

FIRST FLUSH REQUIRED

FIRST FLUSH PROVIDED

EXISTING ONSITE DISCHARGE 1.08 CFS

PROPOSED ONSITE DISHCARGE 2.30 CFS

UPLAND 0.39 CFS

NARRATIVE

THIS SITE IS AN INFILL DEVELOPMENT NEAR THE BOTTOM OF THE BEAR CANYON WATER SHED. THIS SITE HAS BEEN APPROVED FOR FREE DISCHARGE ON TWO PRIOR SUBMITTALS. (F21D063). IN ADDITION THE BOTH ABUTTING PROPERTIES (F21D079,F21D078) WERE APPROVED FOR FREE DISCHARGE. WE PROPOSE FREE DISCHARGE WITH THE INCLUSION OF THE FIRST FLUSH PONDING VOLUME. THE PROPOSED SIDEWALK CULVERT WILL BE CONSTRUCTED WITH THE SO19 PERMIT PROCESS

CONTRIBUTING TO CULVERT

A	0.71 CFS
B	1.98 CFS

420.20 cf
514.00 cf

CHECK DAM AND CULVERT CAPACITY

Weir Equation:

$$Q = CLH^{3/2}$$

Q=

C = 2.95

H = 0.67 ft

L = Length of weir

CHECK DAM

$$Q = 2.95 \times 2 \times 0.67^{1.5} = 2.08$$

1' CULVERT

$$Q = 2.95 \times 1.0 \times 0.67^{1.5} = 1.04$$

2' CULVERT

$$Q = 2.95 \times 2 \times 0.67^{1.5} = 3.23$$

SWALE CAPACITY

	Top Width	Bottom Width	Depth	Area	WP	R	Slope	Q Provided	Q Required	Velocity
	(ft)	(ft)	(ft)	(ft^2)	(ft)		(%)	(cfs)	(cfs)	(ft/s)
Beginning	3	1	1	2.00	3.83	0.5224077	0.5	4.56	2.00	1.00

Manning's Equation:

$$Q = 1.49/n * A * R^{(2/3)} * S^{(1/2)}$$

A = Area

R = D/4

S = Slope

n = 0.03



May 28, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: HLP Endodontics, 10429 Lagrima Del Oro NE
Grading and Drainage Plan
Engineer's Stamp Dated 4-30-15 (File: F21-D063)

Dear Mr. Soule:

Based upon the information provided in your submittal received 4-30-15, the above referenced plan cannot be approved for Building Permit and for SO-19 until the following comments are addressed:

PO Box 1293

Albuquerque

New Mexico 87103

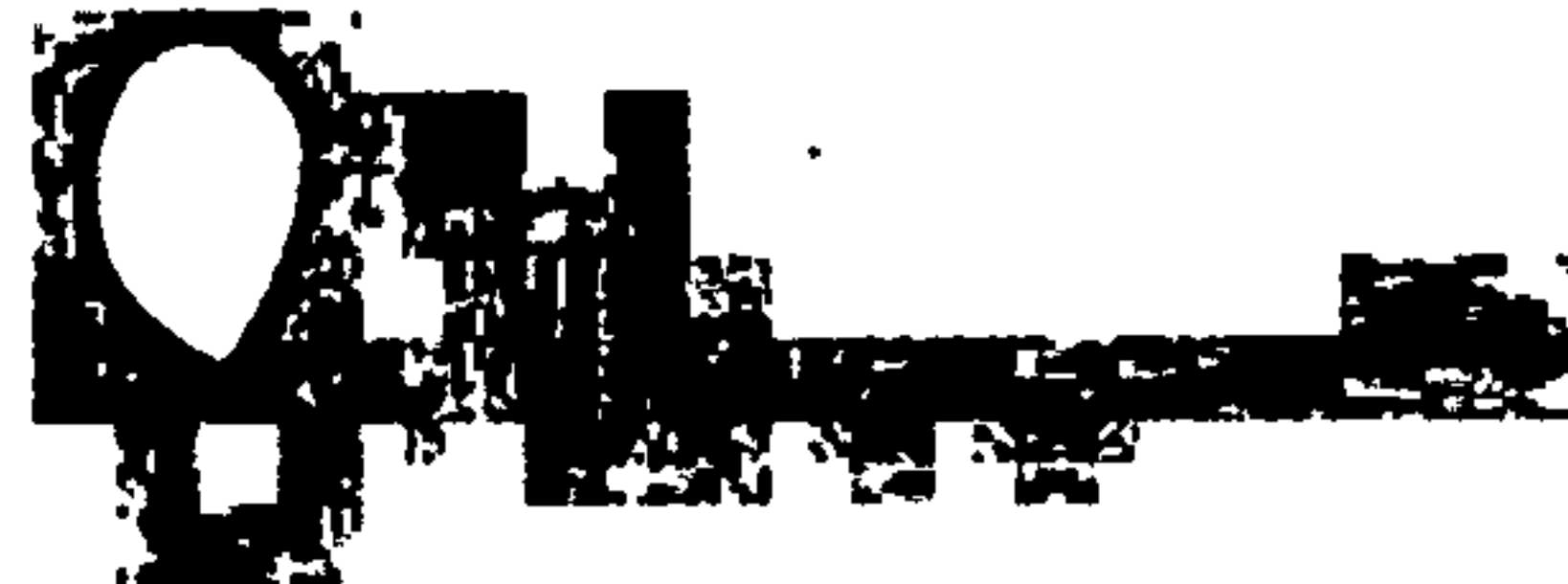
www.abq.gov

- 1) In the research I have done, the drainage files for the surrounding sites along Lagrima de Oro are showing detention of flows as opposed to free discharge. If there are sites that have free discharge as shown in the narrative, reference those files and demonstrate downstream capacity. Otherwise, the site will be required to detain flow.
- 2) Show all off-site basins, and include discussion of off-site flow acceptance from lot to the east in the Drainage Narrative. Also discuss any impact to the lot to the north, and allow drainage along the north side of the site to be able to discharge to the parking lot via a curb cut as necessary.
- 3) Provide existing basin 100-year storm event calculations for comparison to proposed conditions.
- 4) The majority of the first flush pond volume is not capturing runoff from the new building. Either the roof drain will need to be redirected, or the first flush ponds will need to be relocated. Also, show the contouring for the first flush ponds.
- 5) For all bioswales shown on the plan, provide spot elevations and proposed slope for the bioswales. If it was meant to show roof drains discharging out to the bioswales on the east side of the building, show the roof drains. Label all bioswale locations on the plan.

- 6) Show capacity calculations for all on-site infrastructure including the swales and curb cuts.
- 7) There is concern about a large amount of runoff being discharged to the swale along the west side due to limited capacity because of the check dams created for the first flush. Provide a cross-section detail showing top of the check dam relative to the top of the swale, and demonstrate sufficient capacity for the swale such that drainage from the parking lot will not discharge onto the property to the west.
- 8) Label the first flush volumes along the swale on the west side of the property.
- 9) Provide length of sidewalk culvert being installed. Provide capacity calculations and invert elevations.

If you have any questions, you can contact me at 924-3924.

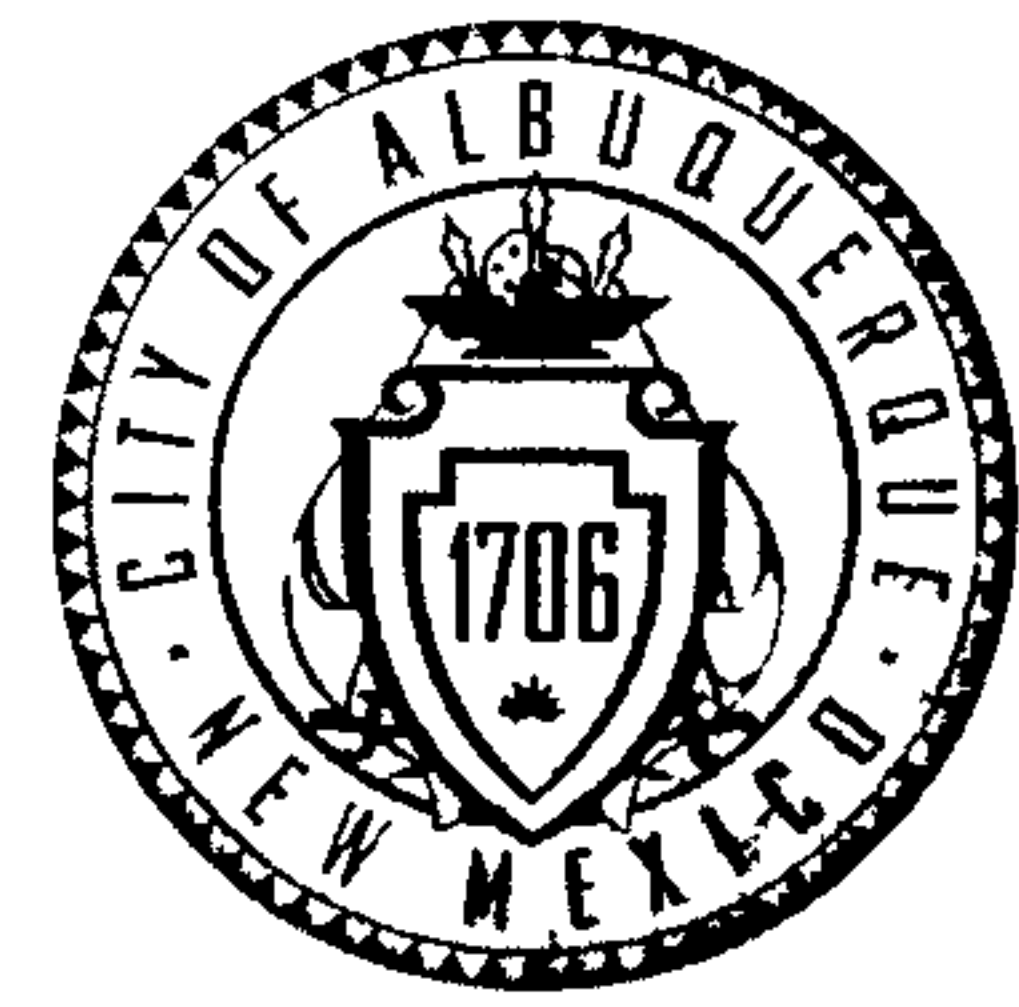
Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

CITY OF ALBUQUERQUE



May 28, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

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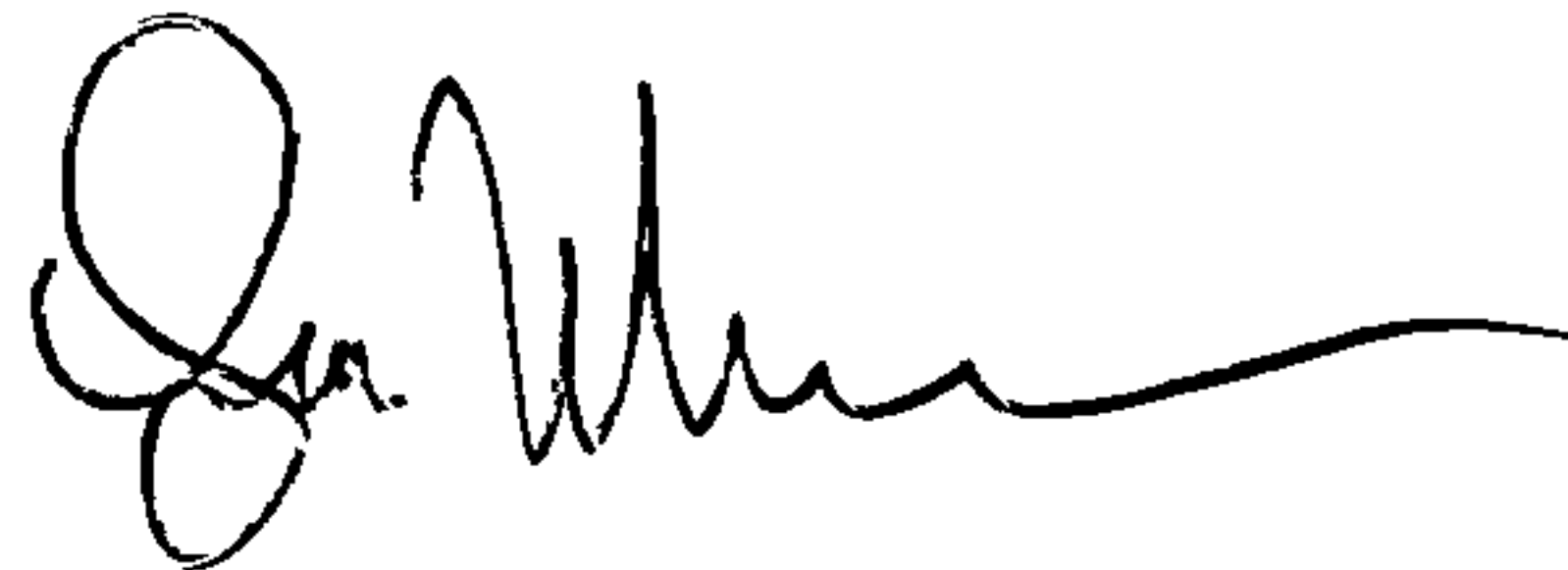
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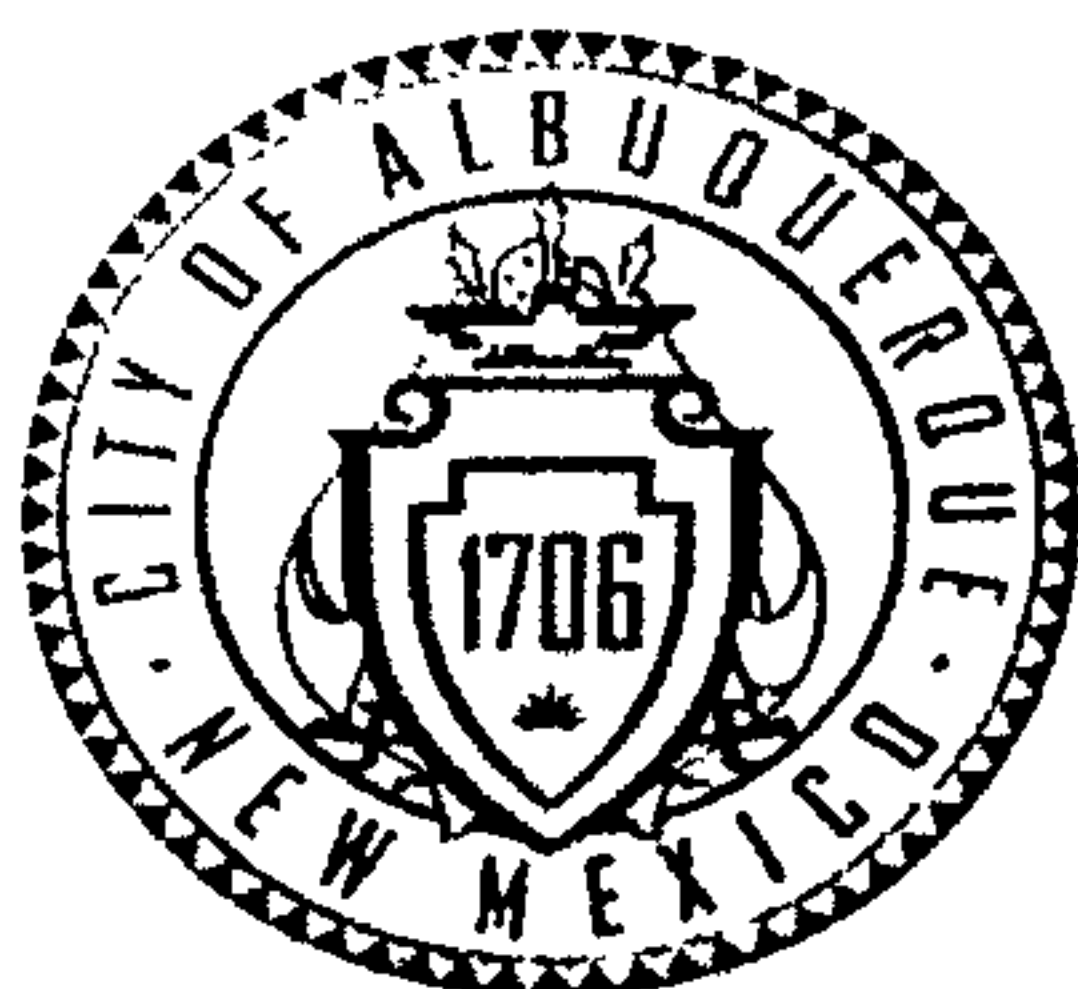
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Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: hLP ENDODONTICS Building Permit #: _____ City Drainage #: F21 D063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 1A LANDS OF BRYANT AND WITAKER

City Address: 10429 LAGRIMA DEL ORO NE

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: SELIGMAN RVT AND SCHAEFER Contact: _____

Address: 12124 HICKORY CT NE 87111

Phone#: _____ Fax#: _____ E-mail: _____

Architect: JOE SLAGEL Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS

Address: _____

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Address: _____

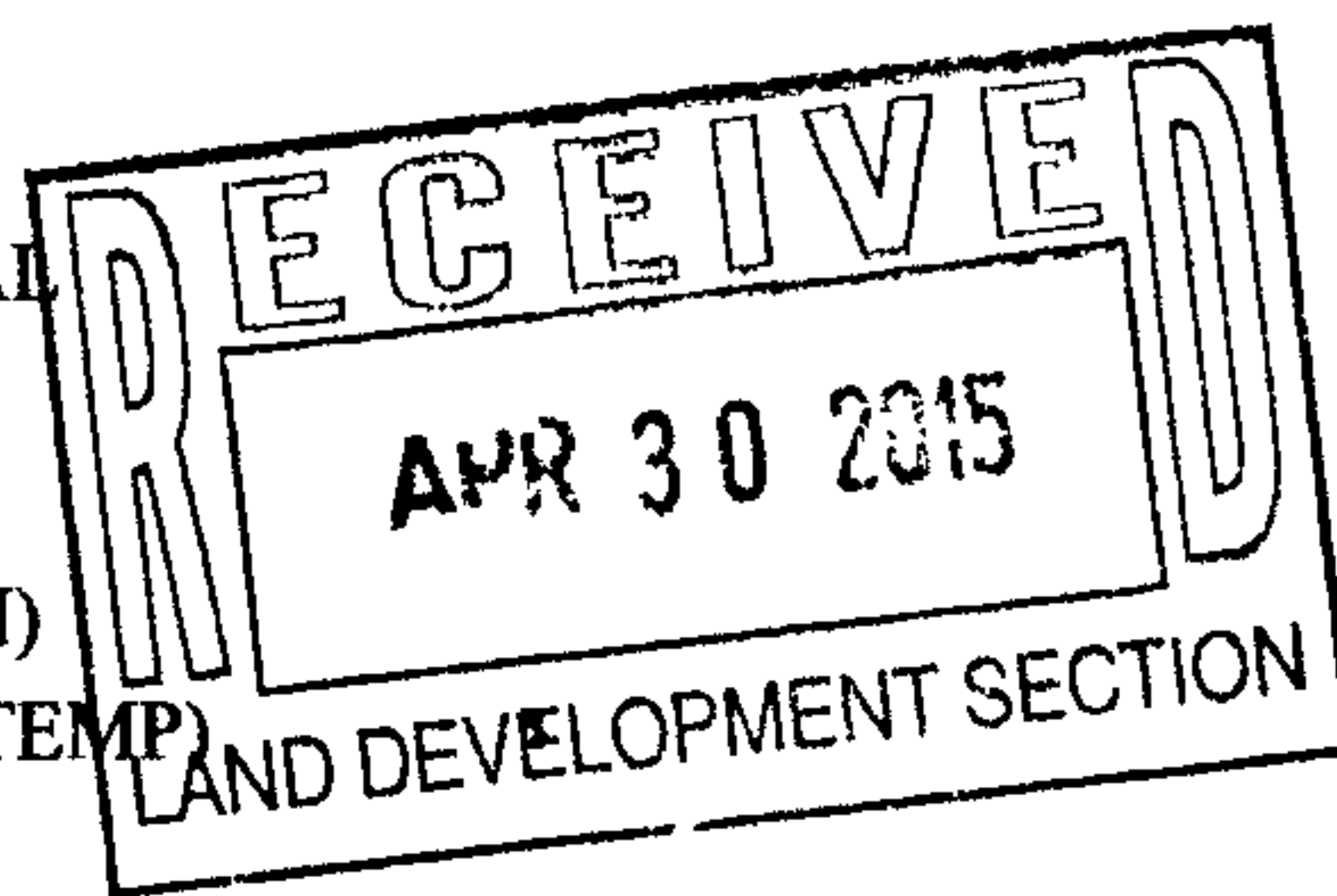
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TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
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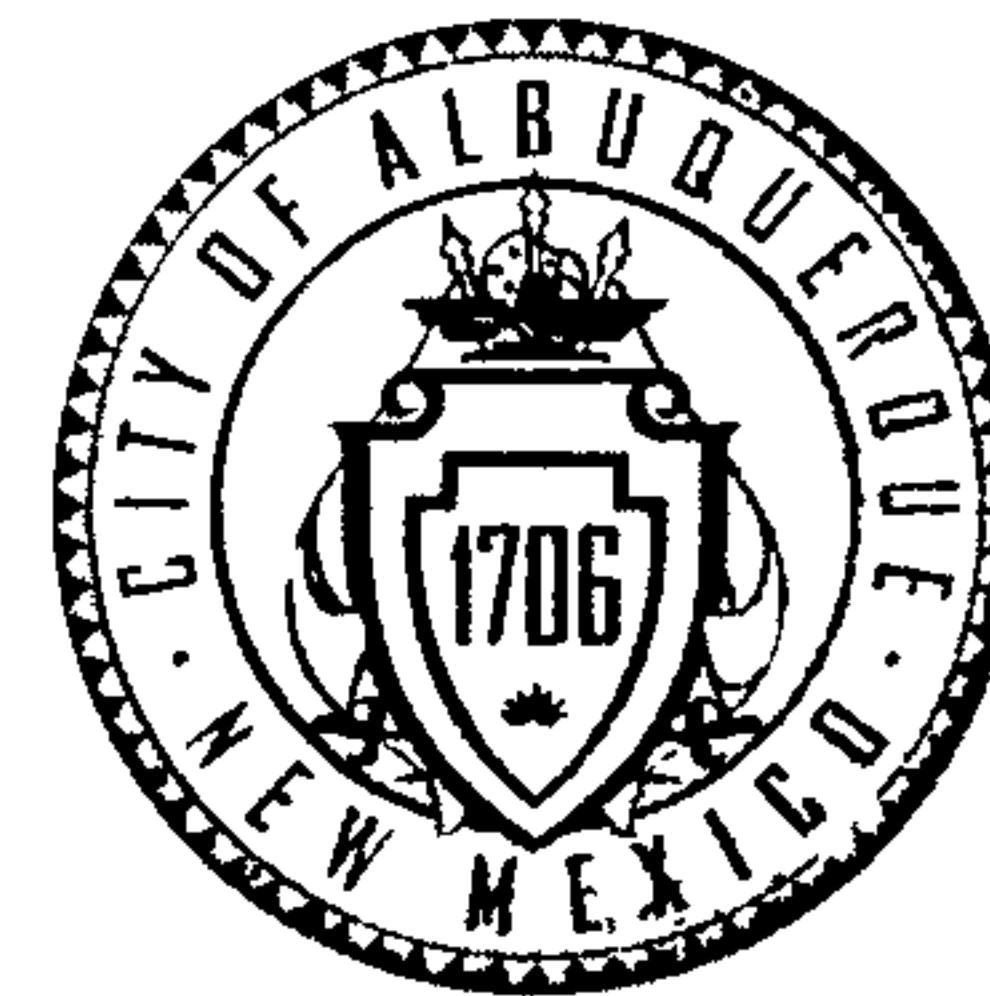
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided _____

DATE SUBMITTED: 4/30/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



May 31, 2016

Joe Slagle
Slagle Herr Architects Inc.
413 2nd St., SW
Albuquerque, NM 87102

Re: ABQ Endodontics
10429 Lagrima De Oro, NE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 5-15-15 (F21-D063)
Certification dated 5-24-16

Dear Mr. Slagle,

Based upon the information provided in your submittal received ^{5/31/16 CS} ~~5-25-16~~,
Transportation Development has no objection to the issuance of a Permanent
Certificate of Occupancy. This letter serves as a "green tag" from Transportation
Development for a Permanent Certificate of Occupancy to be issued by the Building
and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at
(505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ABQ Endodontics Building Permit #: T201591526 City Drainage #: F21D063
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1-A, Lands of Bryant and Witaker
City Address: 10429 Lagrima de Oro NE, Albuquerque, NM

Engineering Firm: Rio Grande Engineering Contact: David Soule
Address: 1606 Central Ave, SE, Suite 201 Albuquerque, NM 87106
Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: ABQ Endodontics Contact: David Hadley
Address: 10429 Lagrima de Oro NE, Albuquerque, NM 87111
Phone#: 505 291-8630 Fax#: _____ E-mail: hadley.david@gmail.com

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle
Address: 413 Second Street SW, Albuquerque, NM 87102
Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: Advantage Surveying Contact: Robert Guterrez
Address: 804 Lead Avenue SW, Albuquerque NM 87102
Phone#: 505 243 1212 Fax#: _____ E-mail: _____

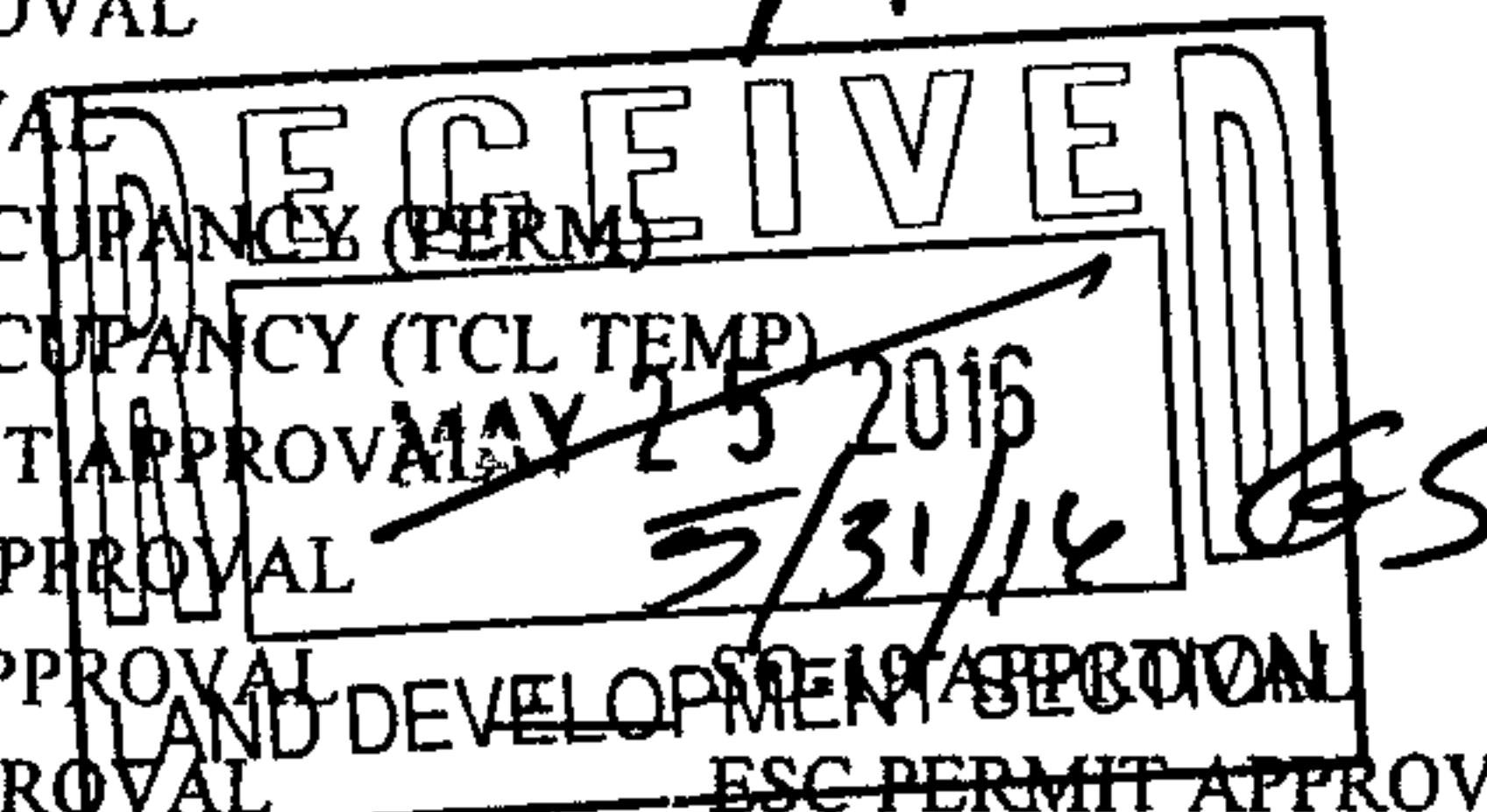
Contractor: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

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☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
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☐ BUILDING PERMIT APPROVAL
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☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes ☒ No ☐ Copy Provided

DATE SUBMITTED: 5-24-16 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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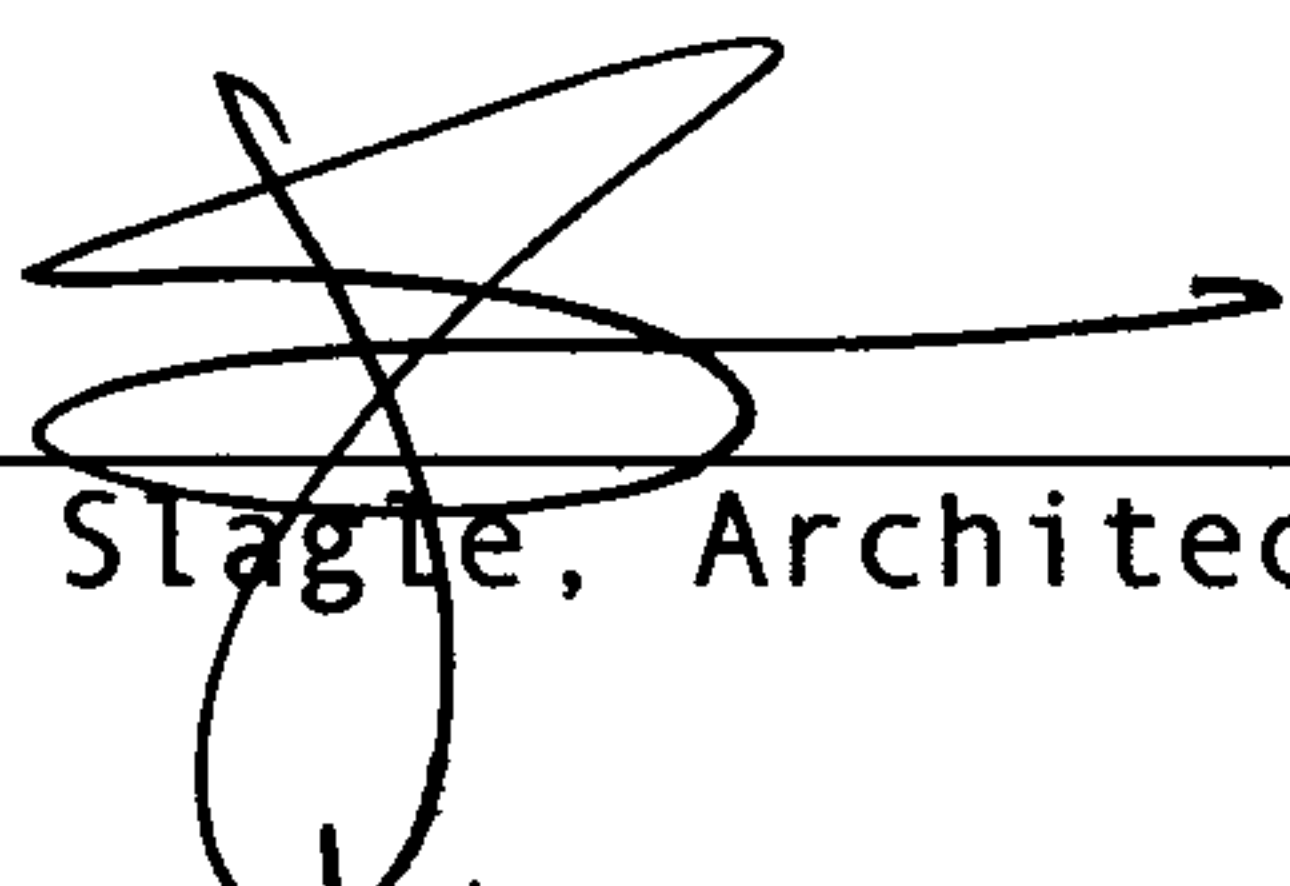
TRAFFIC CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY

RE: 10429 Lagrima de Oro: ABQ Endodontics (formerly Hadley Lash Pacheco) Building Permit no. T201591526

I, Joe Slagle, NMRA 2284, of the firm Slagle Herr Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL plan approved on 5-18-15. I certify that I have personally visited the project site on 5-24-16 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This submittal is for Permanent Certificate of Occupancy for the ABQ Endodontics dental office.

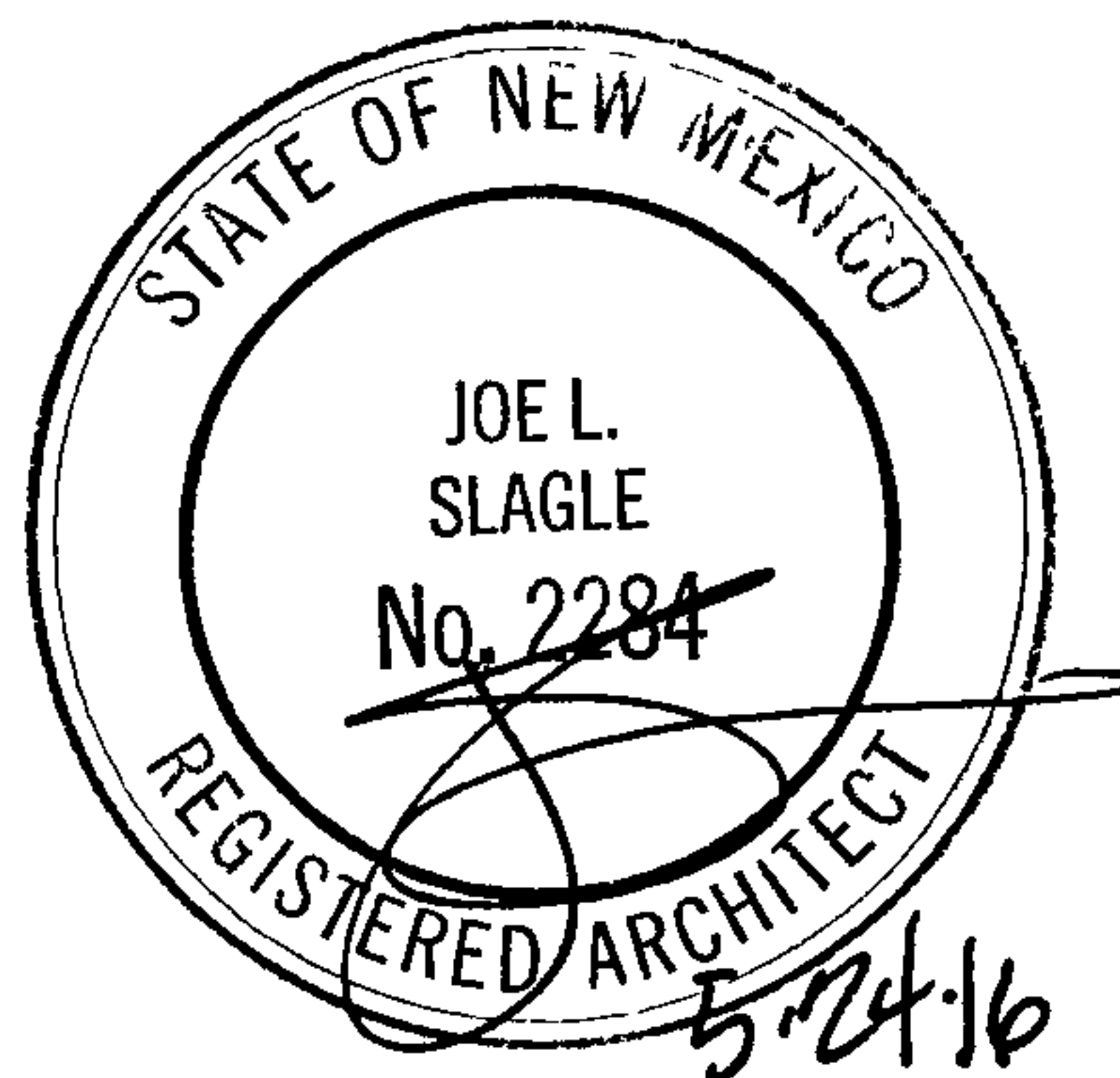
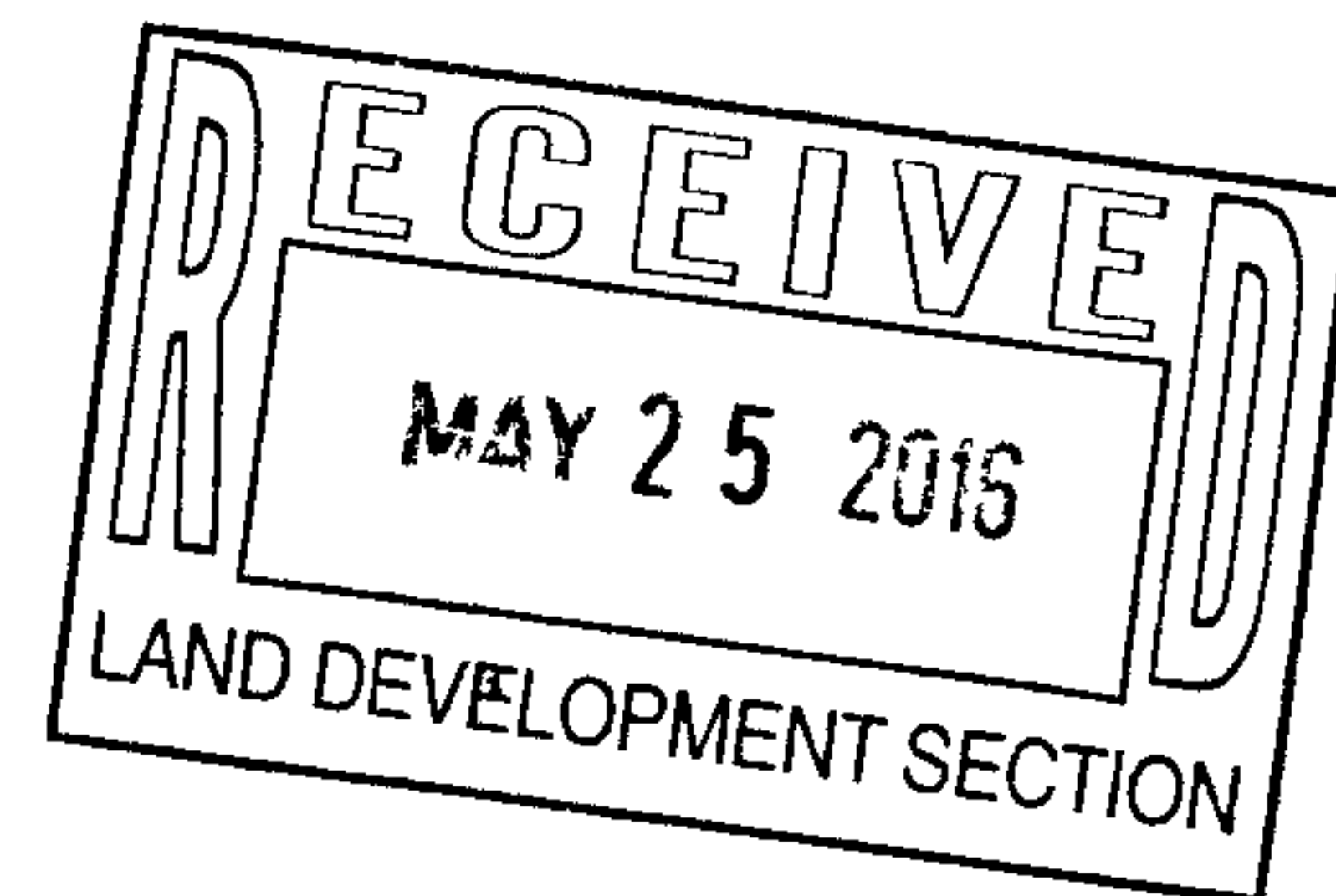
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



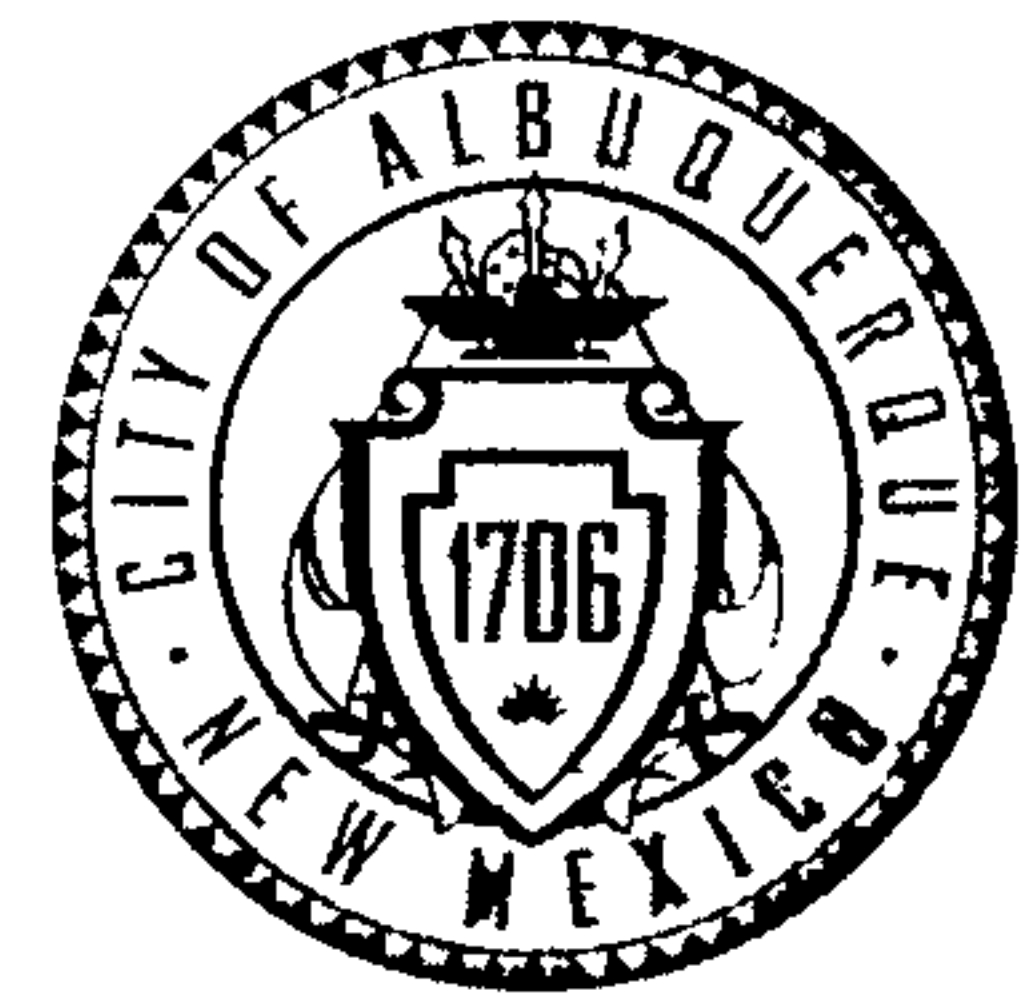
Joe Slagle, Architect

5.24.16

Date



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 15, 2015

Mr. Slagle
Slagle Herr Architects, Inc.
1606 Central Ave. S.E., Suite 201
Albuquerque, NM 87106

**Re: Project Name – HLP Endodontics
10429 Lagrima De Oro NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated ~~5-6-15~~ (F21-D063)
5-15-15

Dear Mr. Slagle,

5-15-15
The TCL submittal received ~~5-6-15~~ is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

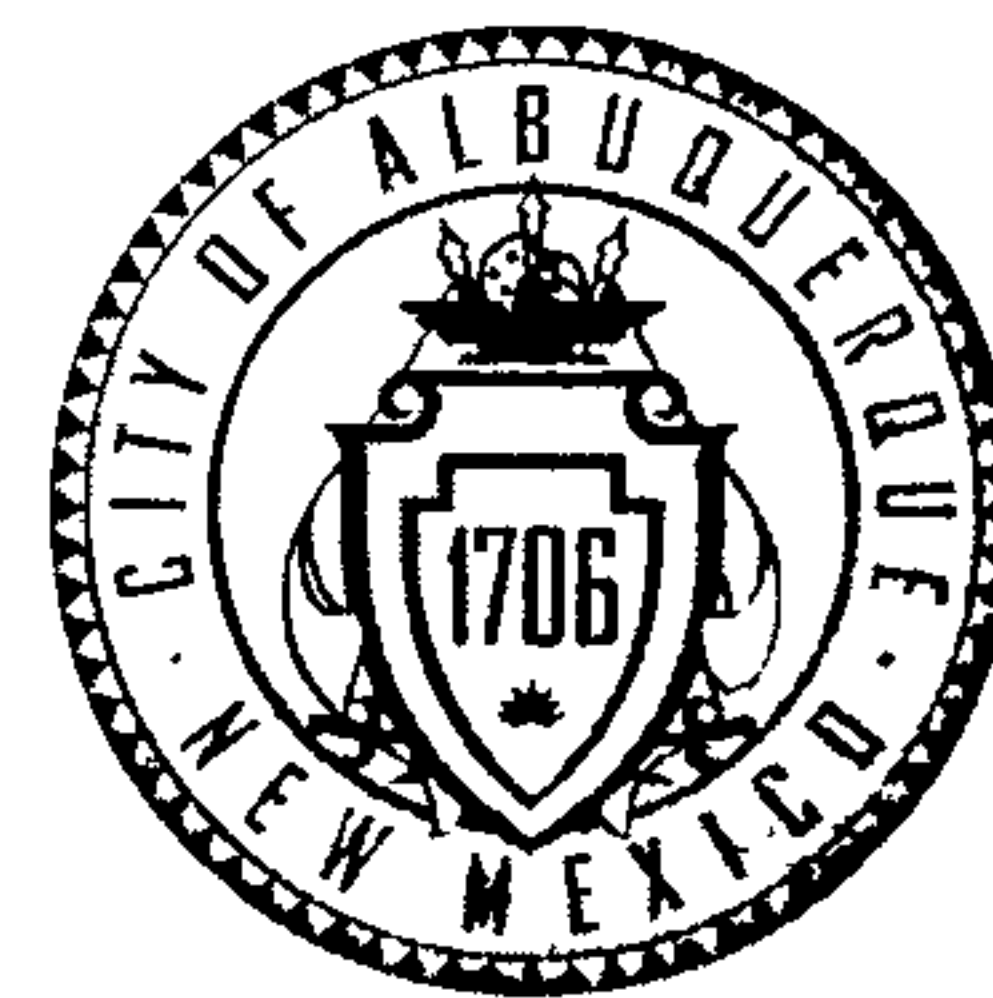
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 1, 2015

Mr. Herr
Slagle Herr Architects, Inc.
413 2nd St., SW
Albuquerque, NM 87102

**Re: HLP Endodontics
10429 Lagrima De Oro NE
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 4-23-15 (F21-D063)**

Dear Mr. Slagle,

Based upon the information provided in your submittal received 4-28-15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
2. Identify the right of way width, medians, curb cuts, and street widths on Lagrima De Oro Rd.
3. Please list the width and length for all parking spaces. The parking spaces on the west end of the proposed parking lot do not show a width dimension.
4. Clearly show the location of the motorcycle parking.
5. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."**
6. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
7. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet. Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger. Please clarify the radii on the north end of proposed building.
8. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.

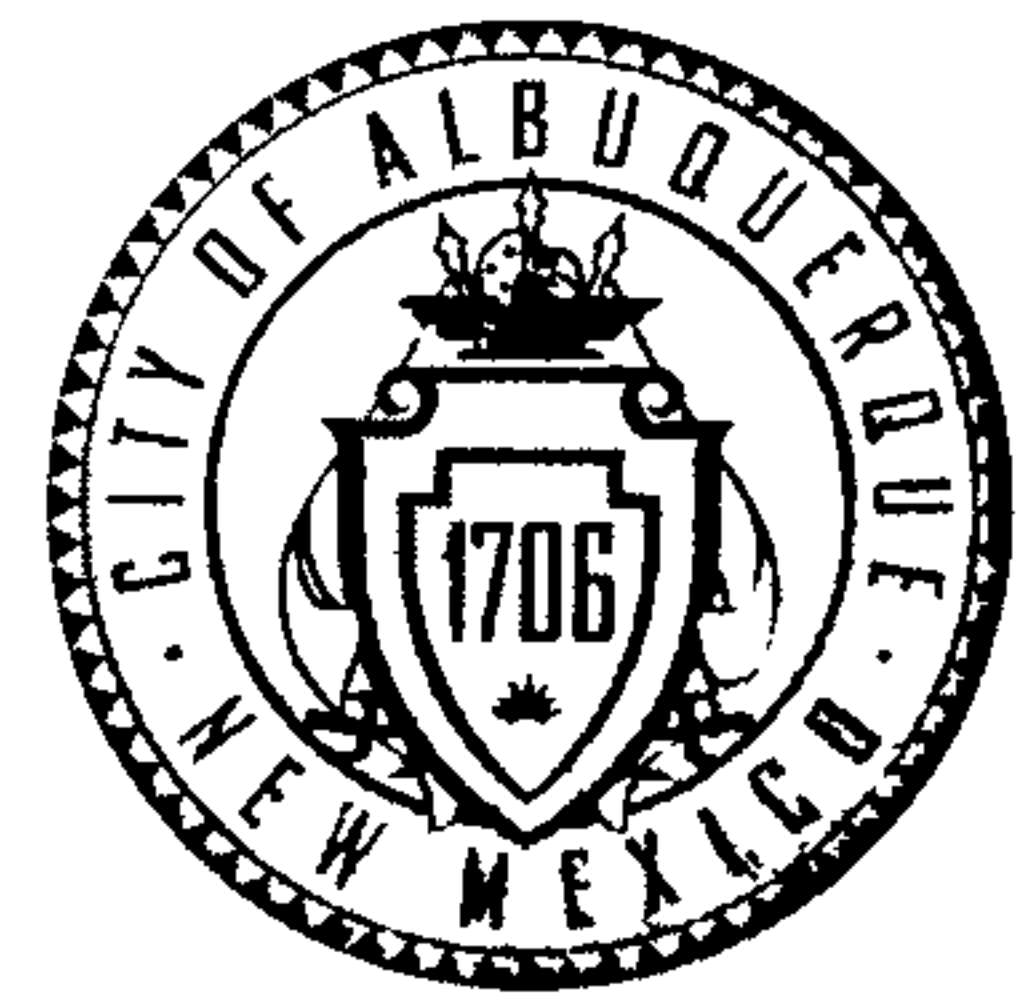
PO Box 1293

Albuquerque

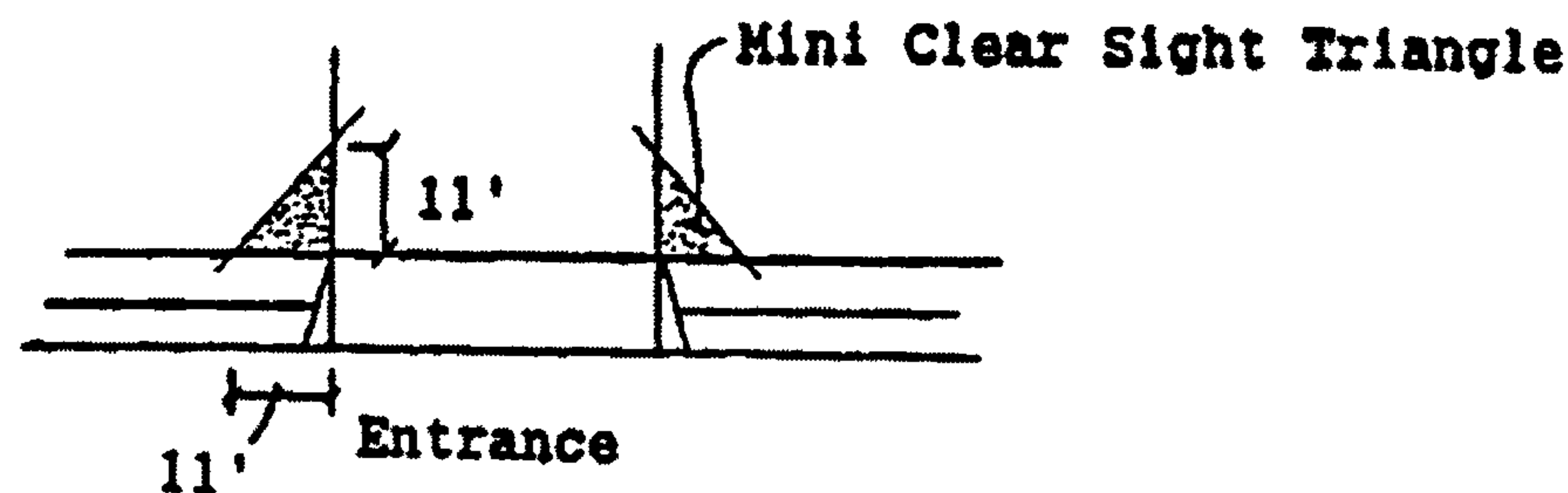
New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



9. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. The Handicap pathway must be a continuous 6 ft. wide. As detailed on your drawing, the handicap pathway narrows to 3 ft. 4 inches. Please design so that a 6 ft. wide pathway is provided for ADA accessibility into the proposed building.
10. Design delivery vehicle route needs to be shown.
11. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Section 3, Part D.5 Intersection Sight Distance). A Mini-Clear Sight Triangle needs to be maintained starting at the sidewalk and measuring 11 ft. on a side, as shown below.



PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

12. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
13. Please specify the City Standard Drawing Number when applicable. Please add COA Standard # 2425 and 2430 to Key Note No.1. Please change Key Note No. 23 to clarify that it is referring to ADA Ramp Detail No.15. Please add "(12:1 Max)" to Key Note No.2 of the Enlarged Entry Plan detail, referring to the ADA ramp.
14. Work within the public right of way requires a work order with DRC approved plans.
15. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
16. Please include two copies of the traffic circulation layout at the next submittal.

CITY OF ALBUQUERQUE



Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jeanne Wolfenbarger', written in a cursive style.

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

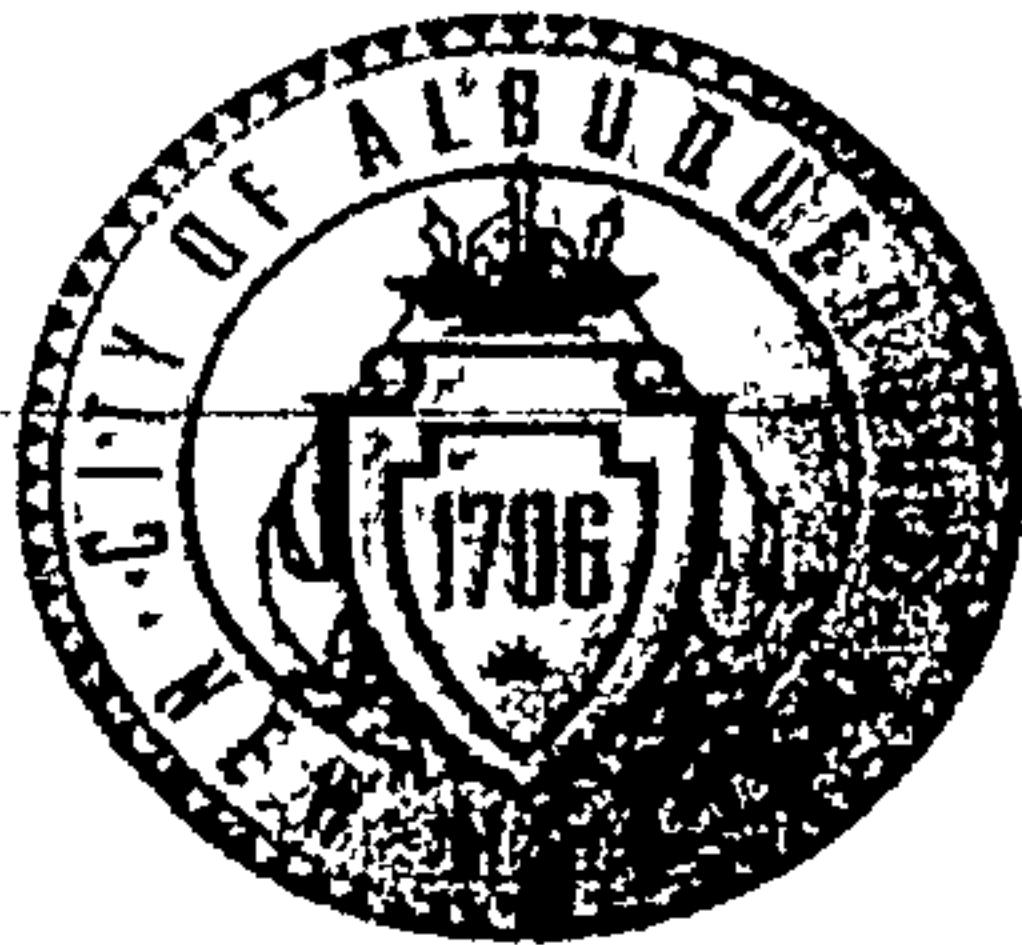
c: File
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP Endodontics Building Permit #: _____ City Drainage #: F21D063

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1-A Lands of Bryant and Witaker

City Address: 10429 Lagrima de Oro NE, Albuquerque, NM

Engineering Firm: Rio Grande Engineering Contact: David Soule

Address: 1606 Central Ave, SE, Suite 201 Albuquerque, NM 87106

Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: HLP Endodontics Contact: Scott Connely

Address: 10409 Montgomery Parkway NE, Ste 109 Albuquerque, NM 87111

Phone#: 505 291-8630 Fax#: _____ E-mail: Scott.Connely@sandia.org

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle

Address: 413 Second Street SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: Harris Surveying Contact: Robert Guterrez

Address: 2412-d Monroe St NE, Albuquerque NM 87110

Phone#: 505 889 8056 Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

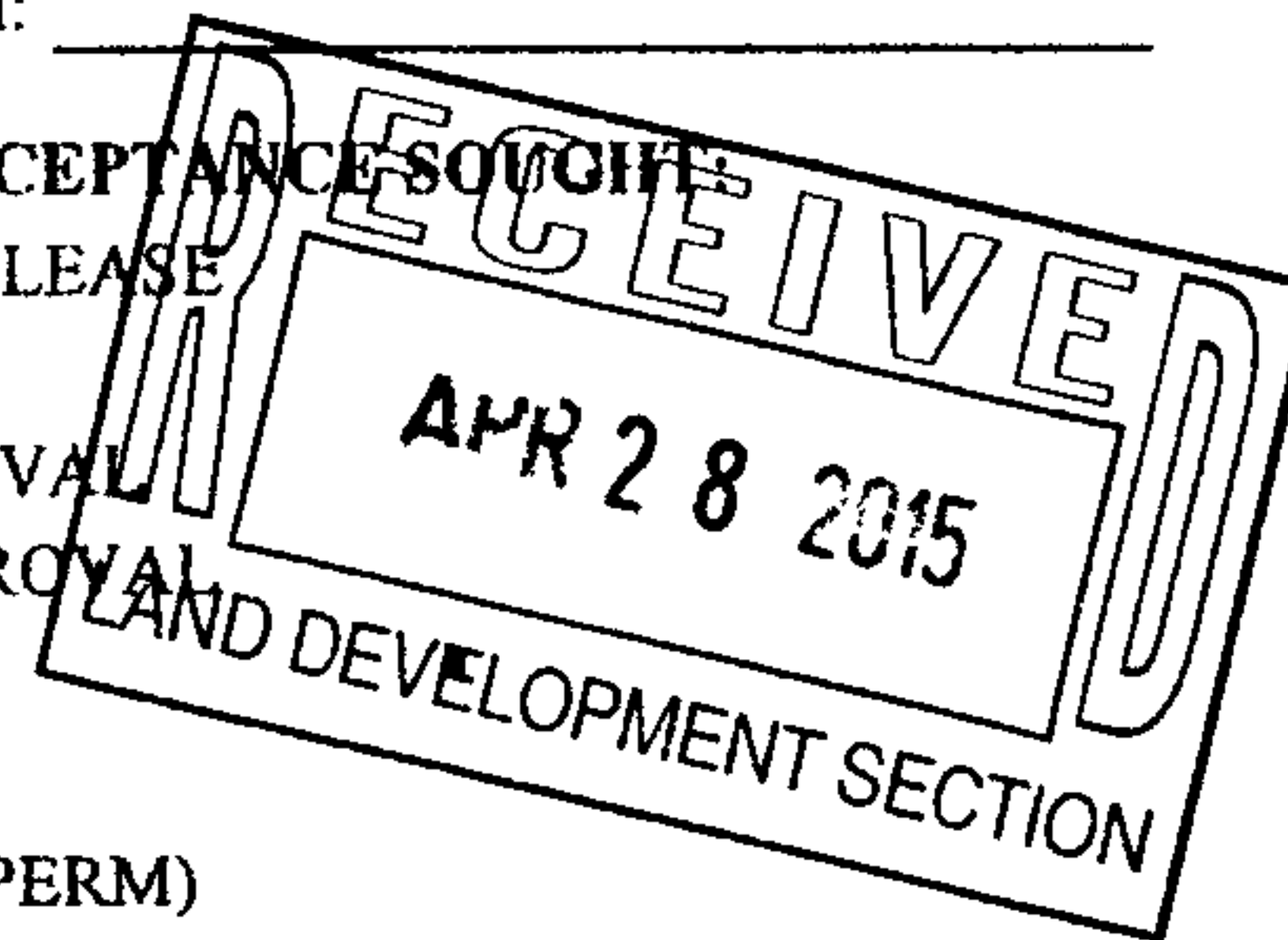
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 4-29-15 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Subject: 10429 Lagrima de Oro

Date: Tuesday, April 28, 2015 at 3:16:25 PM Mountain Daylight Time

From: Joe Slagle

To: PLNDRS@cabq.gov

All, I am attaching the Traffic Circulation Plan and Application for your review and comment.

Please let me know if you need anything else.

Thank you,

joe slagle



4 1 3 s e c o n d s t s w
a l b u q u e r q u e n m
8 7 1 0 2 5 0 5 2 4 6 0 8 7 0
slagleherr.com



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP Endodontics Building Permit #: _____ City Drainage #: E21-D063
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Lot 1-A Lands of Bryant and Witaker
City Address: 10429 Lagrima de Oro NE, Albuquerque, NM

Engineering Firm: Rio Grande Engineering Contact: David Soule
Address: 1606 Central Ave, SE, Suite 201 Albuquerque, NM 87106
Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: HLP Endodontics Contact: Scott Connely
Address: 10409 Montgomery Parkway NE, Ste 109 Albuquerque, NM 87111
Phone#: 505 291-8630 Fax#: _____ E-mail: Scott.Connely@sandia.org

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle
Address: 413 Second Street SW, Albuquerque, NM 87102
Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: Harris Surveying Contact: Robert Guterrez
Address: 2412-d Monroe St NE, Albuquerque NM 87110
Phone#: 505 889 8056 Fax#: _____ E-mail: _____

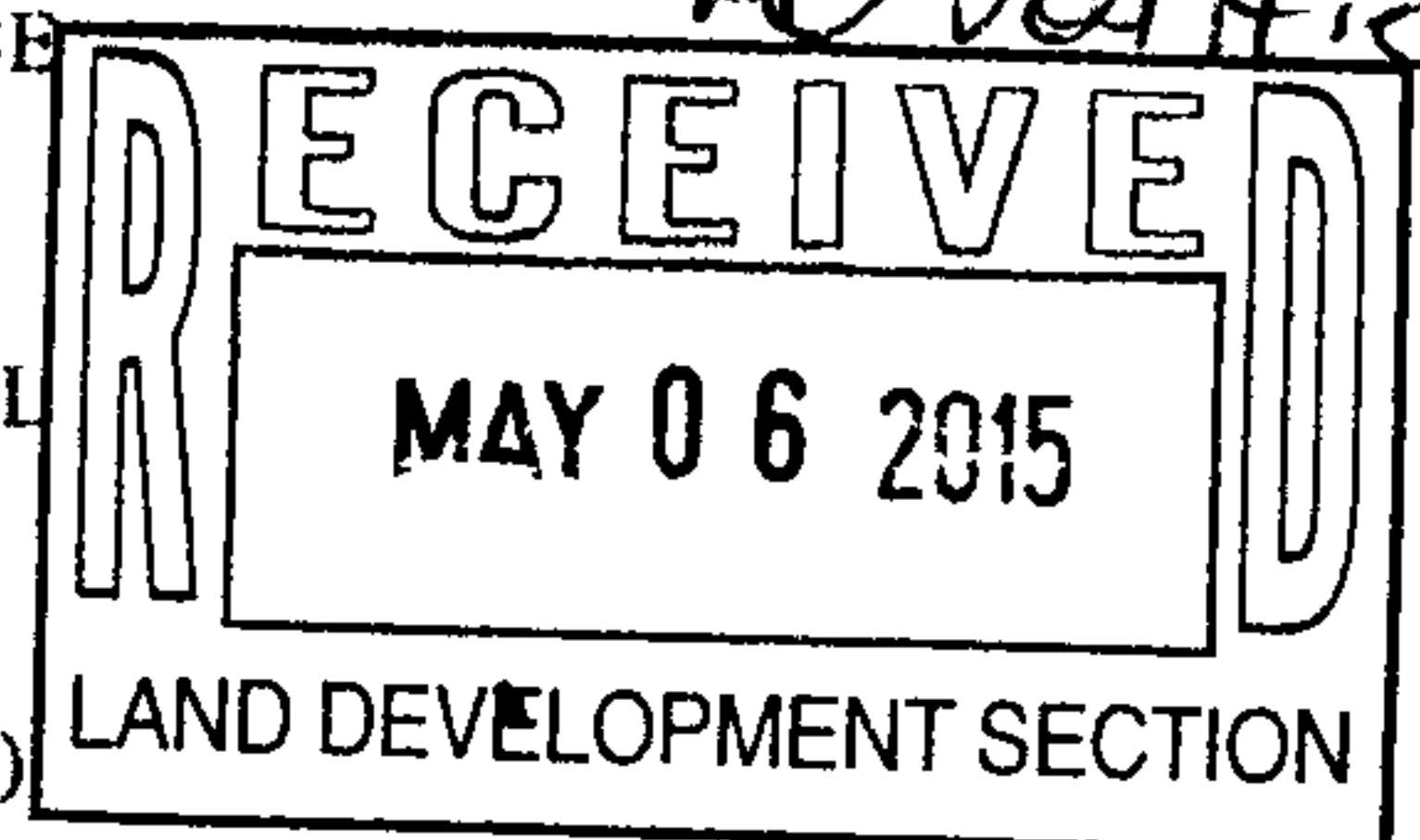
Contractor: N/A Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided
DATE SUBMITTED: 4-29-15 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

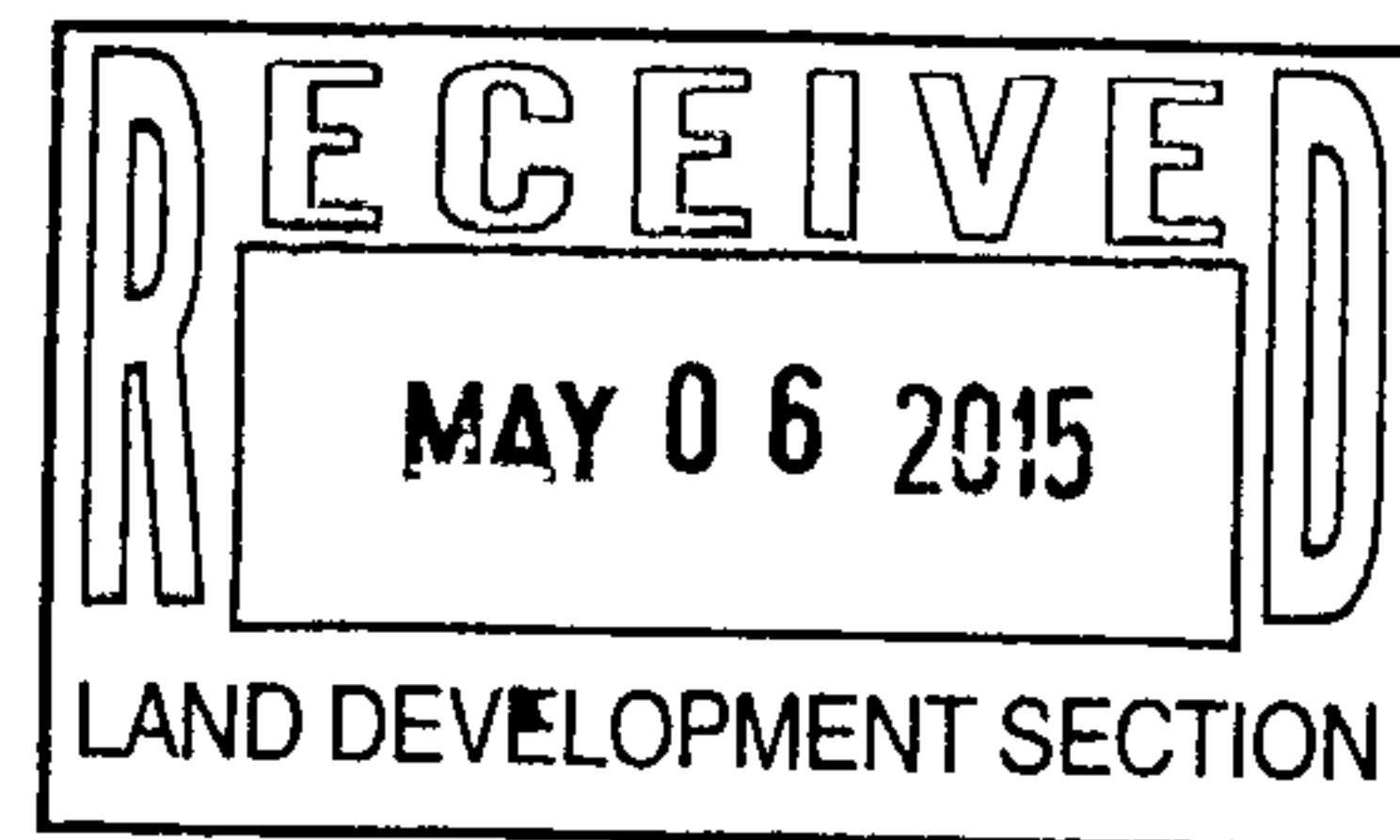
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



May 6, 2015

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Re: HLP Endodontics, 10429 Lagrima de Oro NE.
Traffic Circulation Layout
Plan dated 04-23-15 (F21-D063)



Ms. Wolfenbarger,

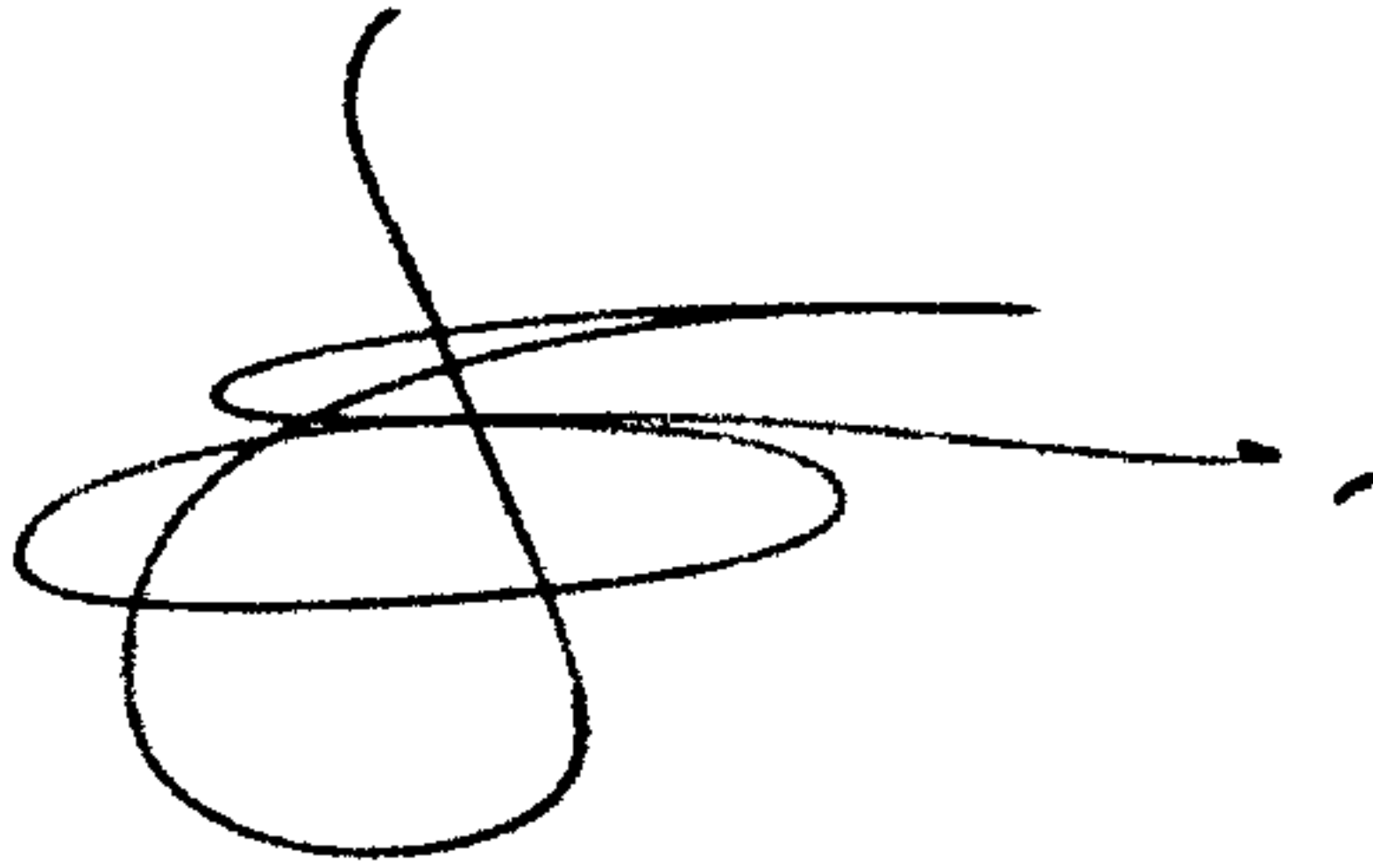
The following is a list of our method of addressing your comments for our original submittal per your letter dated May 1, 2015.

1. Site data has been added at the right side margin. The number of parking spaces required by the zoning code is listed as well as the other applicable code data.
2. R.O.W. width, street width and curb cut width on Lagrima de Oro have been added to the site plan.
3. The width of the parking spaces at the western edge of the property has been added to the site plan.
4. Keynote 19 at the south end of the parking row indicates motorcycle parking.
5. On detail 17/A001, "Violators are subject to a fine and/or towing" has been added to the sign detail.
6. The letters "NO PARKING" have been added to the accessible aisle. Note 17 has been changed accordingly.
7. The curb radii are shown on the site plan, including the north end of the building. As this is a small site, delivery trucks park along the curb on Lagrima de Oro, which is in keeping with the adjacent properties of the same size. For the purposes of this submittal, the delivery truck route onto the property has been shown. The Fire Marshal and Refuse Dept. have approved the site plan.
8. The accessible path from the public sidewalk is provided via the 8' sidewalk extending north to the ramp at the northwest corner of the building. This ramp then extends back south to the entry. The site has a substantial slope from east to west, which necessitates the stairs and ramp. The ramp has been widened to 6' as requested in comment 9.
9. The site plan has been revised to show 6' width at the ramp and the entire length of the accessible route.
10. As mentioned in item 7, the small size of the property preclude delivery truck circulation. As with the adjacent existing properties of similar size, delivery trucks park along the curb in Lagrima de Oro. Should a truck choose to enter the property, an access route is shown on the plan, however, it must be understood that this would require backing onto the street.

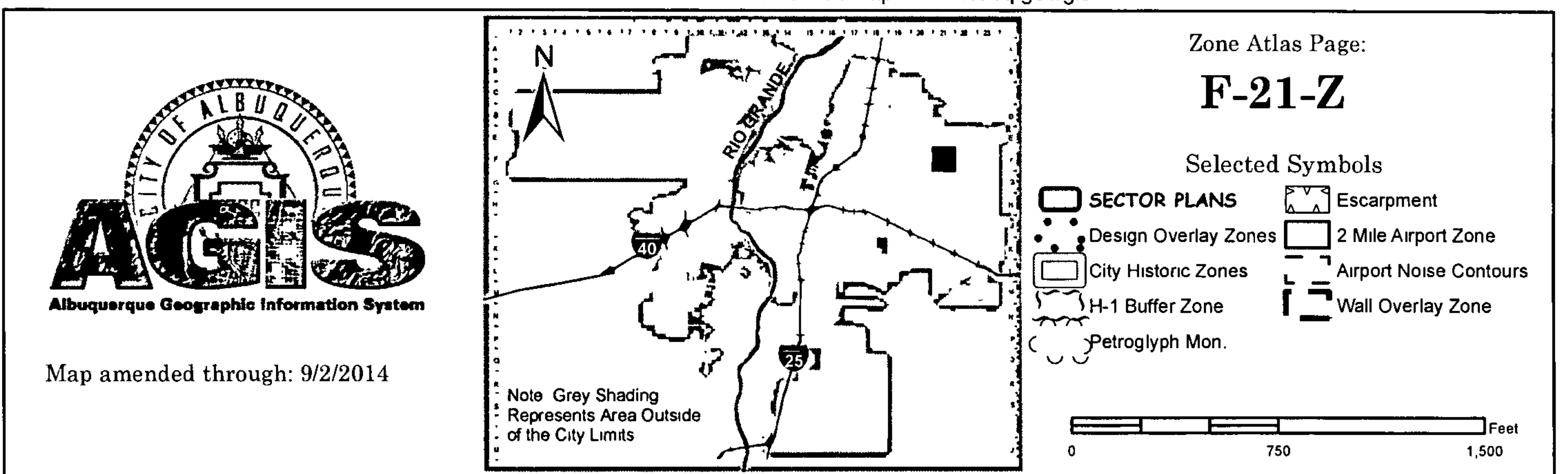
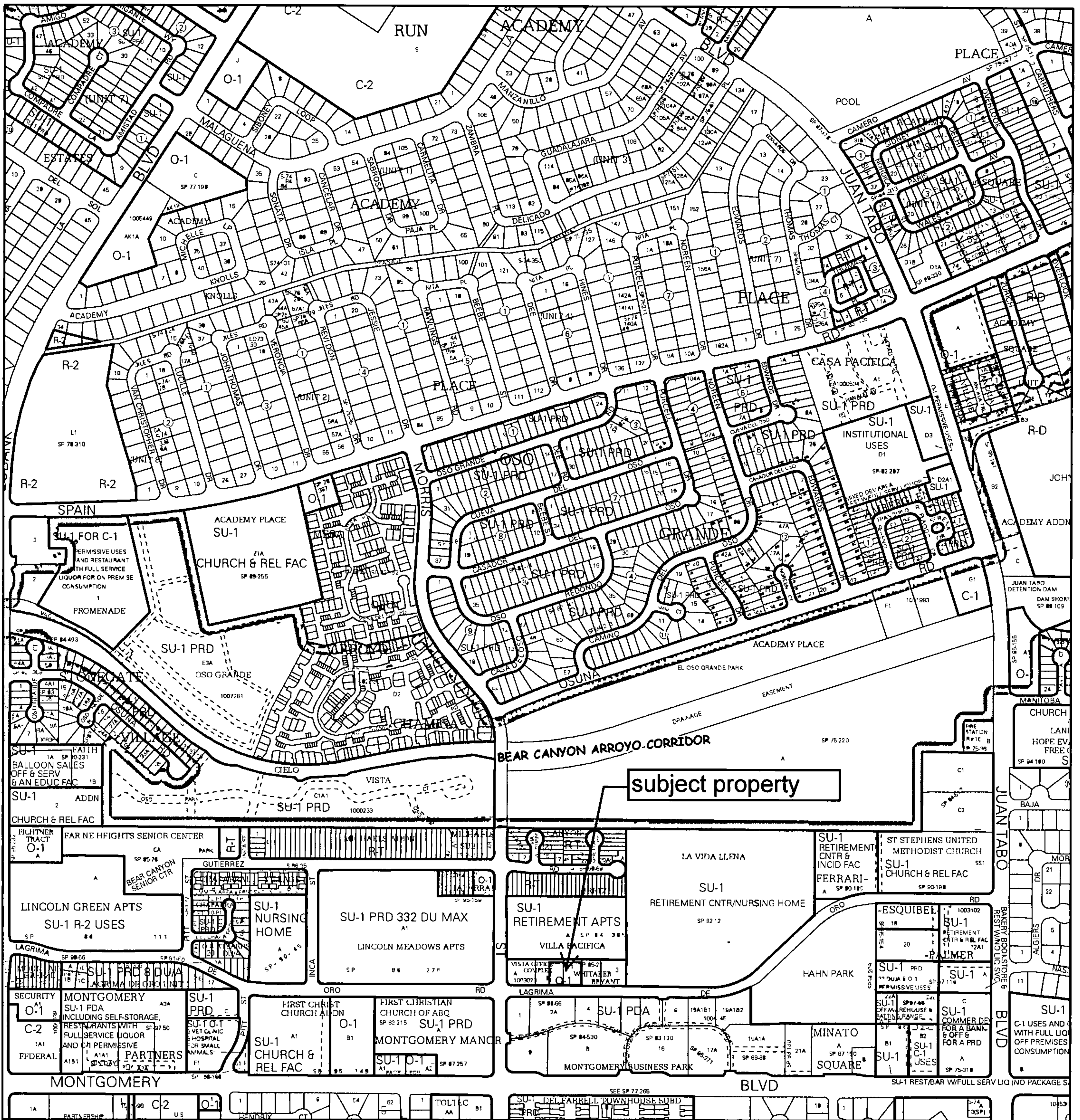
11. The clear sight triangle has been added to the site plan.
12. The note has been added to the site plan: keynote 29.
13. Keynote 1 has been revised to include COA dwg. numbers. Keynote 23 has been corrected to refer to detail 15. 12:1 slope has been added to keynote 2 of the enlarged entry plan.
14. It is understood that work in the public right of way requires a work order with DRC approved plans.
15. We have reviewed Chapter 23, section 6 of the Albuquerque Development Process Manual and according to sub category 8.b. two way driveways at local streets shall be 25' to 35' wide. The drivepad at 26' wide as shown is permissible.

Two copies of the revised TCL are attached with this letter. Should you have questions or need additional information, please contact me.

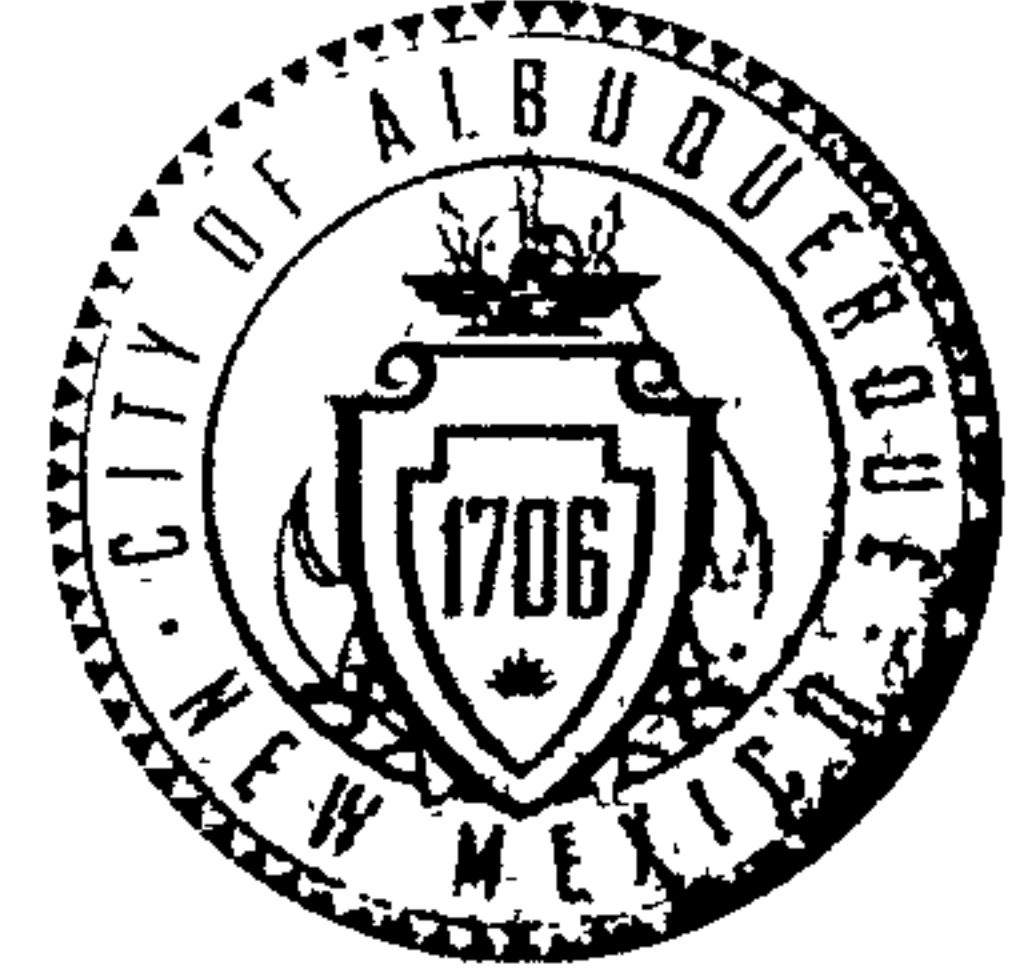
Sincerely,

A handwritten signature in black ink, consisting of a large, stylized 'J' and 'S' intertwined, with a horizontal line extending to the right.

Joe Slagle
SlagleHerr Architects



CITY OF ALBUQUERQUE



July 15, 2009

Richard A. Lozano, P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

Re: Lagrima De Ecco, 10425 Lagrima De Oro Rd NE, Grading and Drainage Plan

Engineer's Stamp date 7-13-09 (F21/D063)

Dear Mr. Lozano,

Based upon the information provided in your submittal received 7-15-09, the above referenced plan is approved for Building Permit and SO 19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

PO Box 1293

A separate permit (SO 19) is required for construction within City ROW. A copy of this approval letter must be on hand when applying for the excavation/barricading permit.

Albuquerque

To obtain a temporary or permanent CO, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

NM 87103

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

C: file
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 01/06)

PROJECT TITLE: Lagrima De Ecco ZONE MAP/DRG. FILE # F-21/D063
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1 and 2, Section 33, Township 11 North, Range 4 East N.M.P.M.
CITY ADDRESS: 10425 Lagrima De Oro Road, Albuquerque, NM

ENGINEERING FIRM: Miller Engineering Consultants, Inc.
ADDRESS: 3500 Comanche NE, Bldg. F
CITY, STATE: Albuquerque, NM

CONTACT: Verlyn Miller
PHONE: 888-7500
ZIP CODE: 87107

OWNER: Isis Development
ADDRESS: P.O. Box 20009
CITY, STATE: Albuquerque, NM

CONTACT: Tim Lopez
PHONE: 249-8282
ZIP CODE: 87154

ARCHITECT: Environmental Dynamics, Inc.
ADDRESS: 142 Truman NE, Ste. A1
CITY, STATE: Albuquerque, NM

CONTACT: Mike Ryan
PHONE: 242-2851
ZIP CODE: 87108

SURVEYOR: WayJohn Surveying, Inc.
ADDRESS: 330 Louisiana Blvd. NE
CITY, STATE: Albuquerque, NM

CONTACT: Thomas Johnston
PHONE: 255-2052
ZIP CODE: 87108

PROFESSIONAL LICENSED SURVEYOR SIGNATURE

LICENSE NO.

DATE

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☒ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☒ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) 50-19

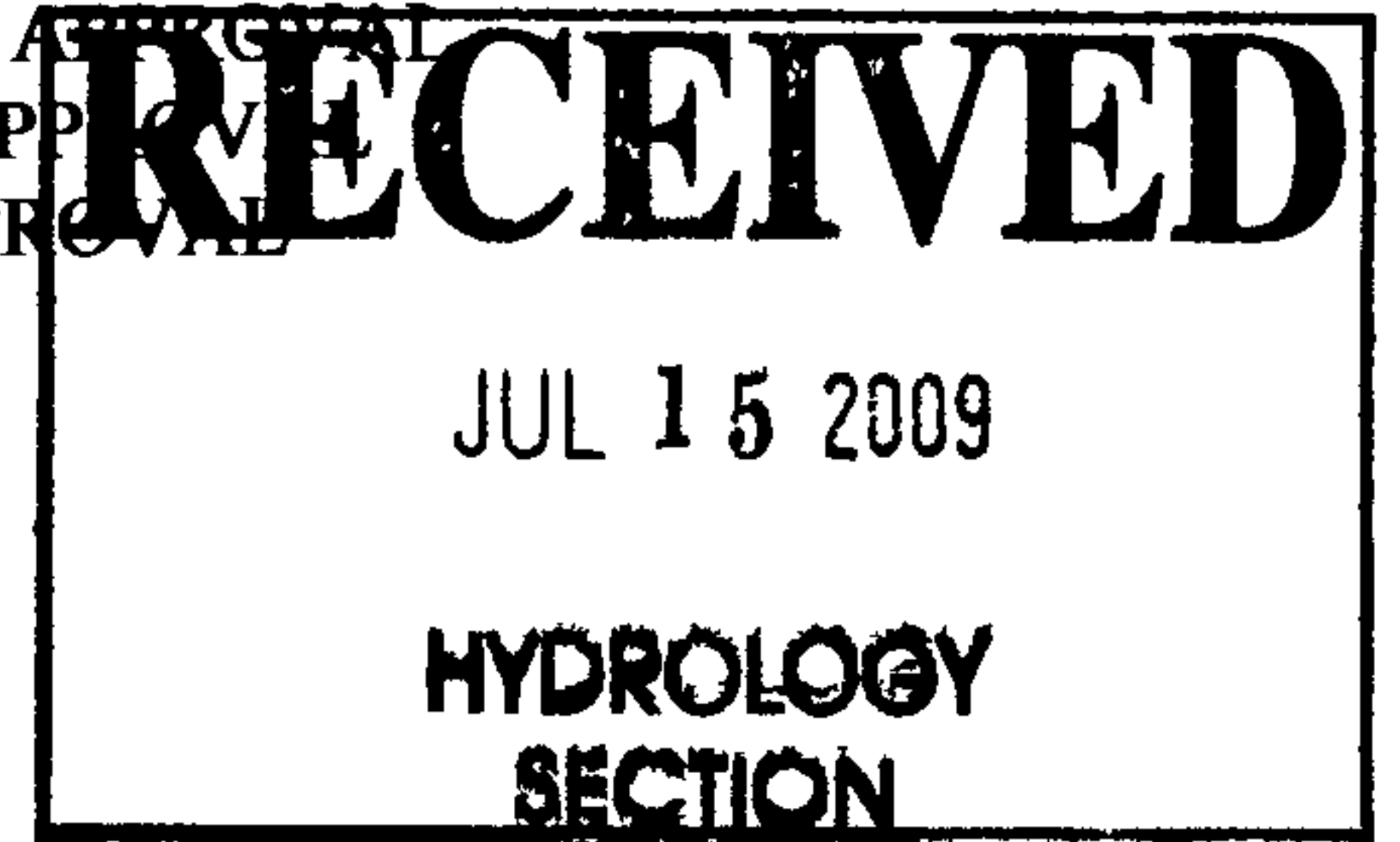
WAS A PRE-DESIGN CONFERENCE ATTENDED:

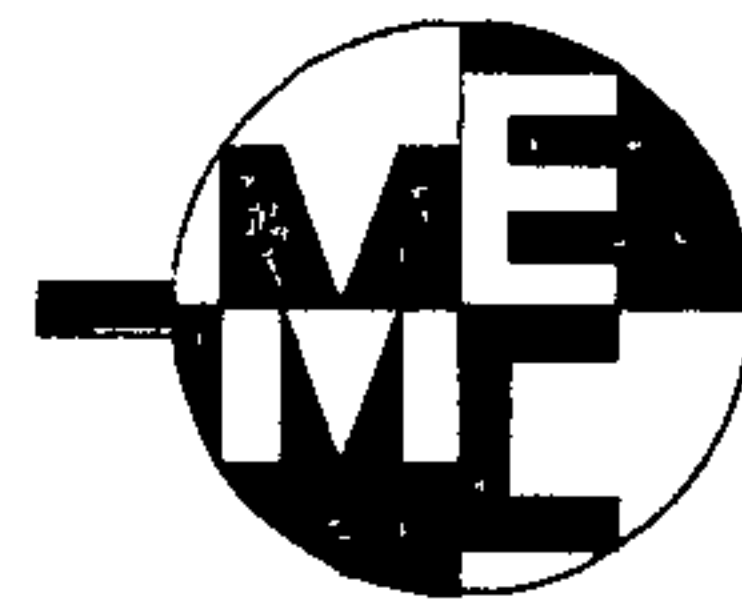
☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 7/15/09

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



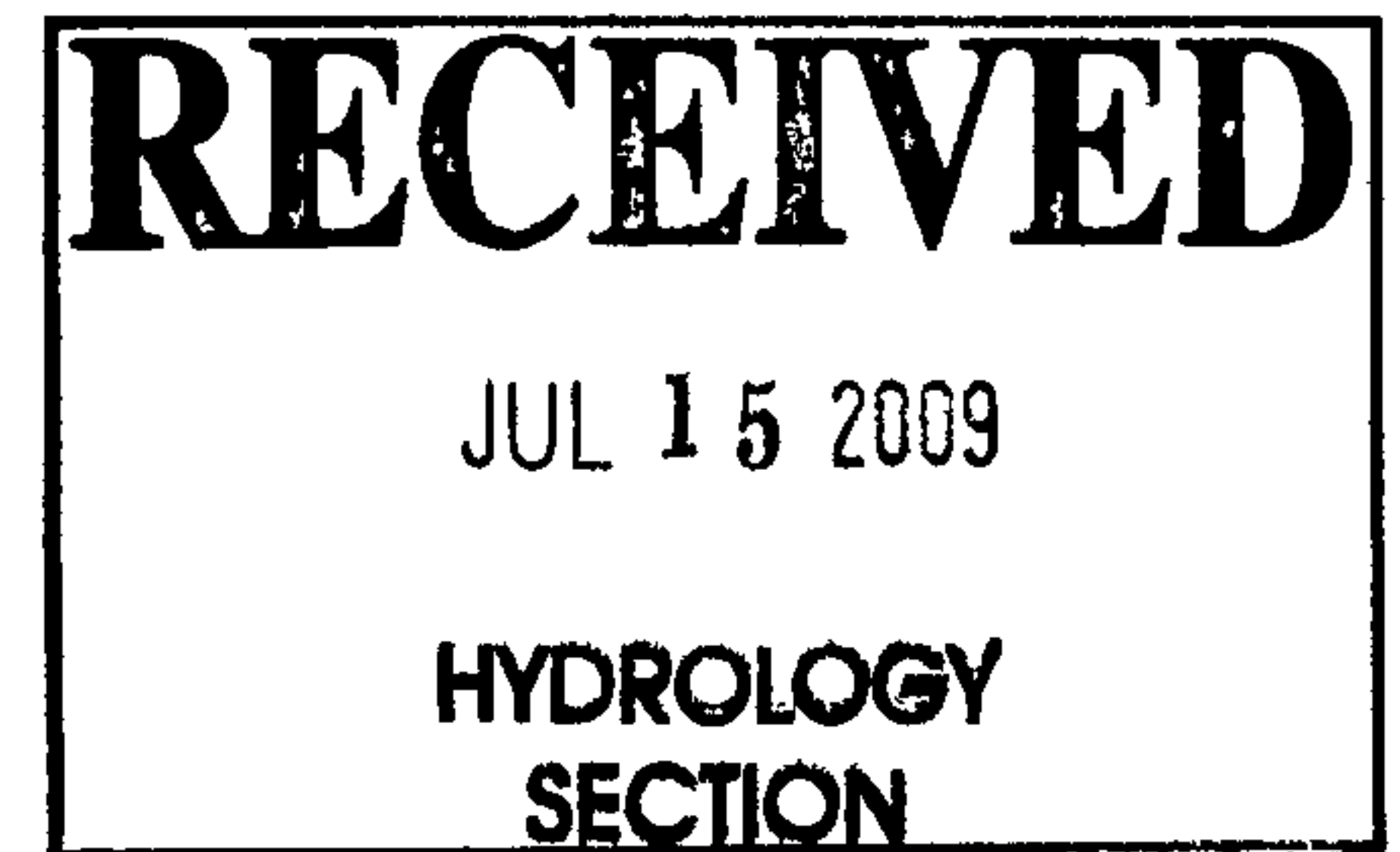


MILLER ENGINEERING CONSULTANTS

Engineers • Planners

July 14, 2009

Mr. Curtis A. Cherne, P.E.
Senior Engineer, Planning Department
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103



RE: Lagrima De Ecco, Grading and Drainage Plan

Dear Mr. Cherne:

This letter is in response to your letter dated June 30, 2009 outlining your comments for the above referenced grading and drainage plan.

We have addressed the comments outlined in your letter as follows:

Comment 1: "Per COA STD DWG 2236, sidewalk culverts can't be wider than 2 feet. In addition, the curb should not be cut as indicated in the note. The standard specifies that the curb and gutter be poured."

We have revised the build note on Sheet C-101 to indicate installation of a standard 2 foot wide sidewalk culvert per City of Albuquerque standard drawing 2236.

Comment 2: "It is not apparent that runoff will enter the valley gutter along the western edge of the parking lot with the grades provided. On Sheet C-503 Detail A-A, the Flow line is proposed at 56.5 which is the same as the flow line elevation at the top of the valley gutter. This 56.50 on Detail A-A is shown as 57.00 on Sheet C-101."

We have adjusted the grades within this area to ensure positive drainage to the 2 foot wide valley gutter section. See Sheet C-101.

Comment 3: "The sidewalk has a proposed cross-slope of 0.8%, while the longitudinal slope of the walk is 7% or 8%. Unless a sump is provided, the runoff will most likely run past the 6' weep holes. A 2% cross-slope without a sump would be acceptable."

The sidewalk cross-slope has been revised to 2% as suggested. See Sheet C-101.

Comment 4: "The weep holes or similar in the cross walk should be shown on the Detail on Sheet C-503."

The weep holes/drainage openings within the stem wall along the pedestrian sidewalk and riprap channel are now shown on Sheet C-503 details."

Comment 5: "I could not find the "concrete swale" (build Note 14) on Sheet C-501. There is a concrete channel on Sheet C-501."

Build Note 14 has been modified. The concrete swale detail has been removed. The plans show flowline grades within the sidewalk area to provide positive drainage away from the structure. A detail is not needed.

Comment 6: "The proposed sidewalk culvert in the east landscape area could be omitted."

The sidewalk culvert in the east landscape area has been removed.

Comment 7: "There are two Note 22s."

Notes have been revised to correct this discrepancy.

Comment 7: "The City standard for the invert on the drive entrance valley gutter is 0.125 feet, not 0.03 feet."

The City standard drawing is referenced for the drive entrance construction. The detail on sheet C-501 has been removed.

Comment 7: "Please provide 2 copies of Sheet C-101. We give one copy to the inspector when there is work in the City ROW."

Noted. Two copies of Sheet C-101 have been provided as requested with this submittal.

Thank you for your timely review, and please feel free to contact our office if you have any questions or require additional information.

Sincerely,

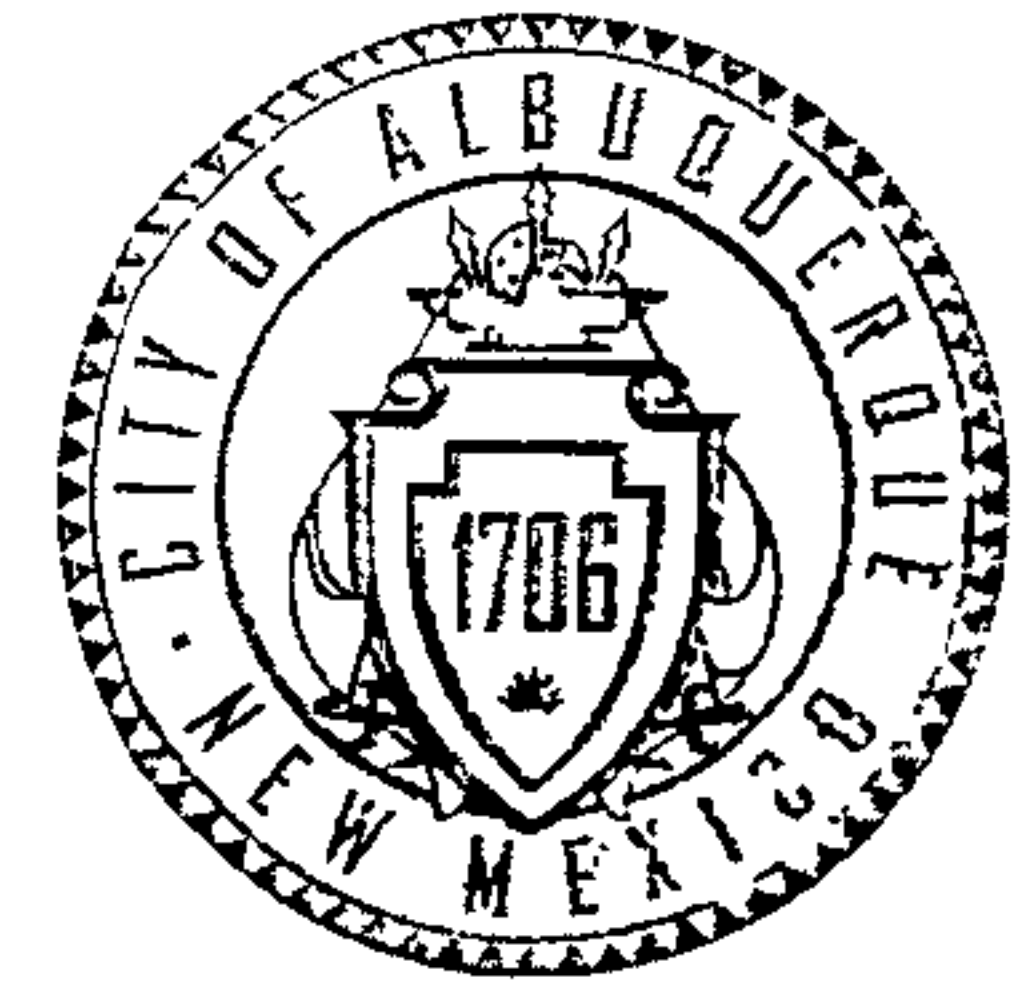
MILLER ENGINEERING CONSULTANTS, INC.



Richard Lozano, P.E.
Project Manager

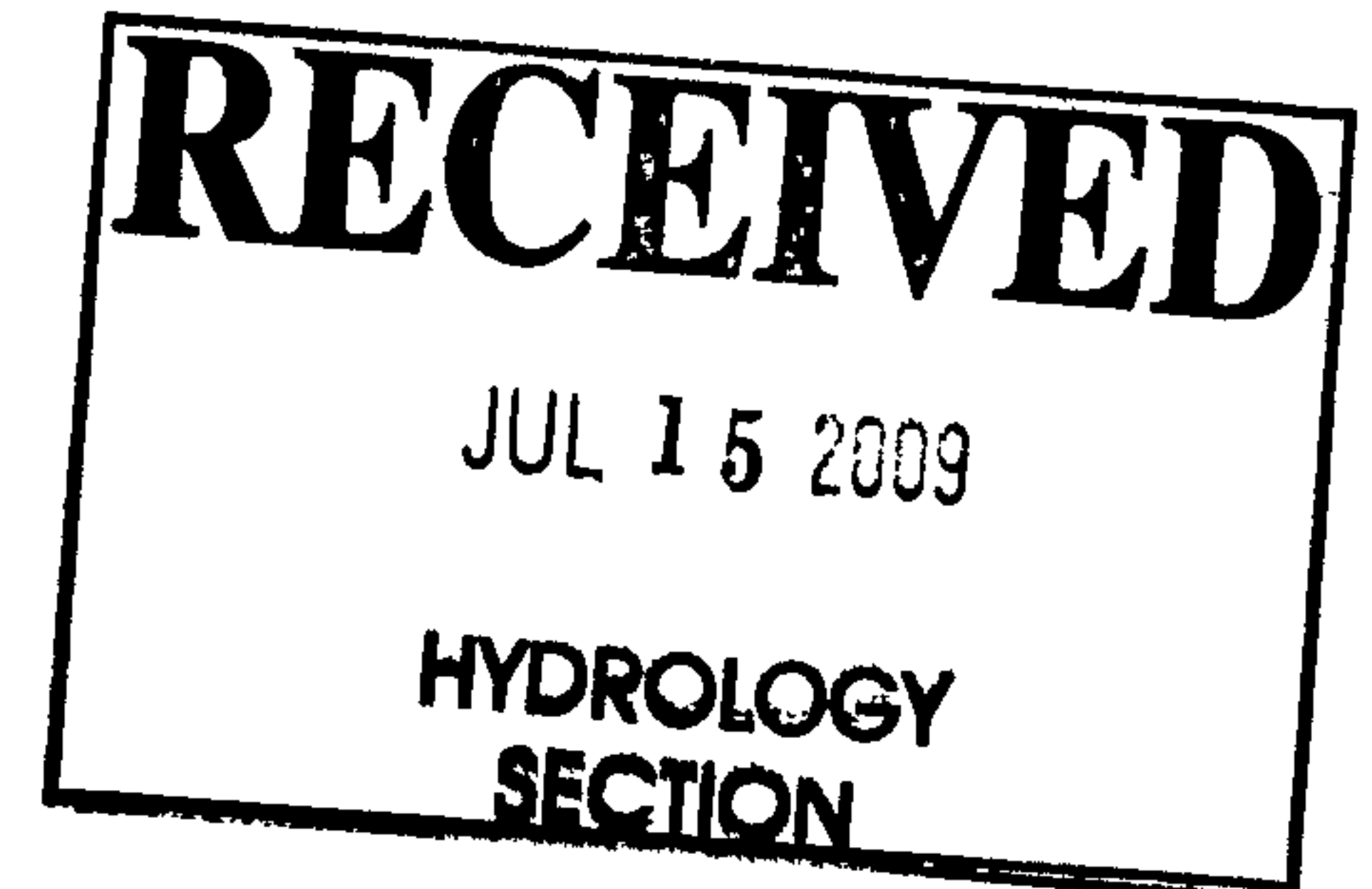
RAL::jj
Enclosure

CITY OF ALBUQUERQUE



June 30, 2009

Richard A. Lozano, P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg F
Albuquerque, NM 87107



Re: Lagrima De Ecco Grading and Drainage Plan
Engineer's Stamp date 6-23-09 (F21/D063)

Dear Mr. Lozano,

Based upon the information provided in your submittal received 6-24-09, the above referenced plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

PO Box 1293

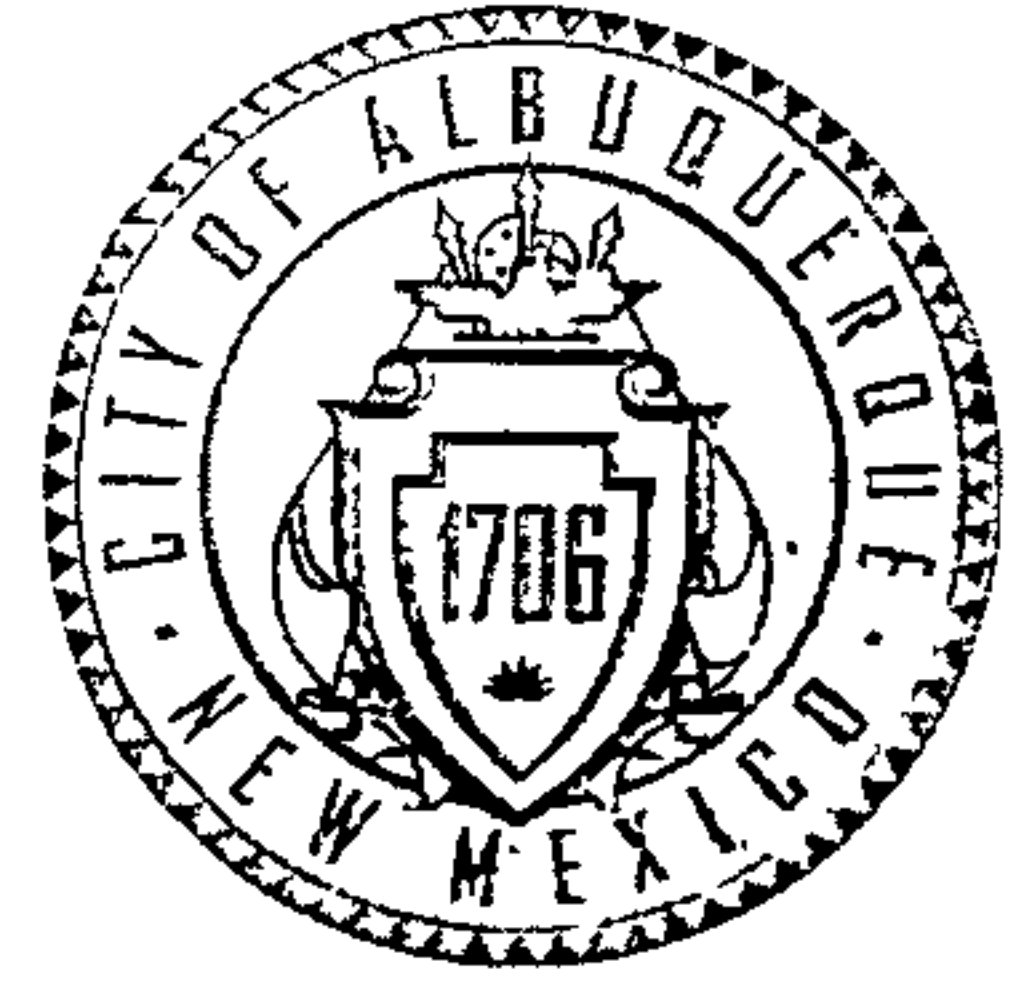
Albuquerque

NM 87103

www.cabq.gov

- ✓① Per COA STD DWG 2236, sidewalk culverts can't be wider than 2 feet. In addition, the curb should not be cut as indicated in the note. The standard specifies that the curb and gutter be poured.
- ✓① It is not apparent that runoff will enter the valley gutter along the western edge of the parking lot with the grades provided. On Sheet C-503 Detail A-A, the Flow line is proposed at 56.5 which is the same as the flow line elevation at the top of the valley gutter. This 56.50 on Detail A-A is shown as 57.00 on Sheet C-101.
- ✓① The sidewalk has a proposed cross-slope of 0.8%, while the longitudinal slope of the walk is 7% or 8%. Unless a sump is provided, the runoff will most likely run past the 6" weep holes. A 2% cross-slope without a sump would be acceptable.
- ✓① The weep holes or similar in the cross walk should be shown on the Detail on Sheet C-503.
- ✓① I could not find the "concrete swale" (build Note 14) on Sheet C-501. There is a concrete channel on Sheet C-501.
- ✓① The proposed sidewalk culvert in the east landscape area could be omitted.
- ✓① There are two Note 22s.
- ✓① The City standard for the invert on the drive entrance valley gutter is 0.125 feet, not 0.03 feet.
- ✓① Please provide 2 copies of Sheet C-101. We give one copy to the inspector when there is work in the City ROW.

CITY OF ALBUQUERQUE



If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in cursive script, reading 'Curtis A. Cherne'.

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

C: file

Albuquerque

NM 87103

www.cabq.gov

PROJECT TITLE: SUN VALLEY SYSTEMS ZONE ATLAS/DRNG. FILE #: F-21/063
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOT 1, LAND OF BRYANT AND WITAKER, VILLA PACIFICA
CITY ADDRESS: 10425 LAGRIMA DE ORO NE
ENGINEERING FIRM: JMA CONTACT: GRAEME MEANS
ADDRESS: 6010-B MIDWAY PARK BLVD NE PHONE: 345-4250
OWNER: SUN VALLEY SYSTEMS CONTACT: ARCHITECT
ADDRESS: _____ PHONE: _____
ARCHITECT: DURA BILT PRODUCTS CONTACT: JEFF FOSS
ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100
SURVEYOR: JEFF MORTENSON & ASSOC CONTACT: GRAEME MEANS
ADDRESS: 6010 B MIDWAY PARK BLVD NE PHONE: 345-4250
CONTRACTOR: DURA BILT PRODUCTS CONTACT: JEFF FOSS
ADDRESS: 4808 JEFFERSON NE PHONE: 883-9100

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED:

10/26/94

BY:

Graeme Means

OCT 26 1994



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 29, 1994

Jeff Mortensen
Jeff Mortensen & Associates
6010-B Midway Park Blvd. NE
Albuquerque, NM 87199

RE: DRAINAGE PLAN FOR SUN VALLEY SYSTEMS (F21-D63) ENGINEER'S
STAMP DATED 10/25/94.

Dear Mr. Mortensen:

Based on the information provided on your October 26, 1994
submittal, the above referenced site is approved for Building
Permit.

Please be advised that a separate permit is required for
construction within City Right-of-Way. A copy of this approval
letter must be on hand when applying for the excavation permit.

Please attach a copy of this approved plan to the construction
sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer
Certification per the D.P.M. Checklist will be required.

If I can be of further assistance, please feel free to contact me
at 768-2667.

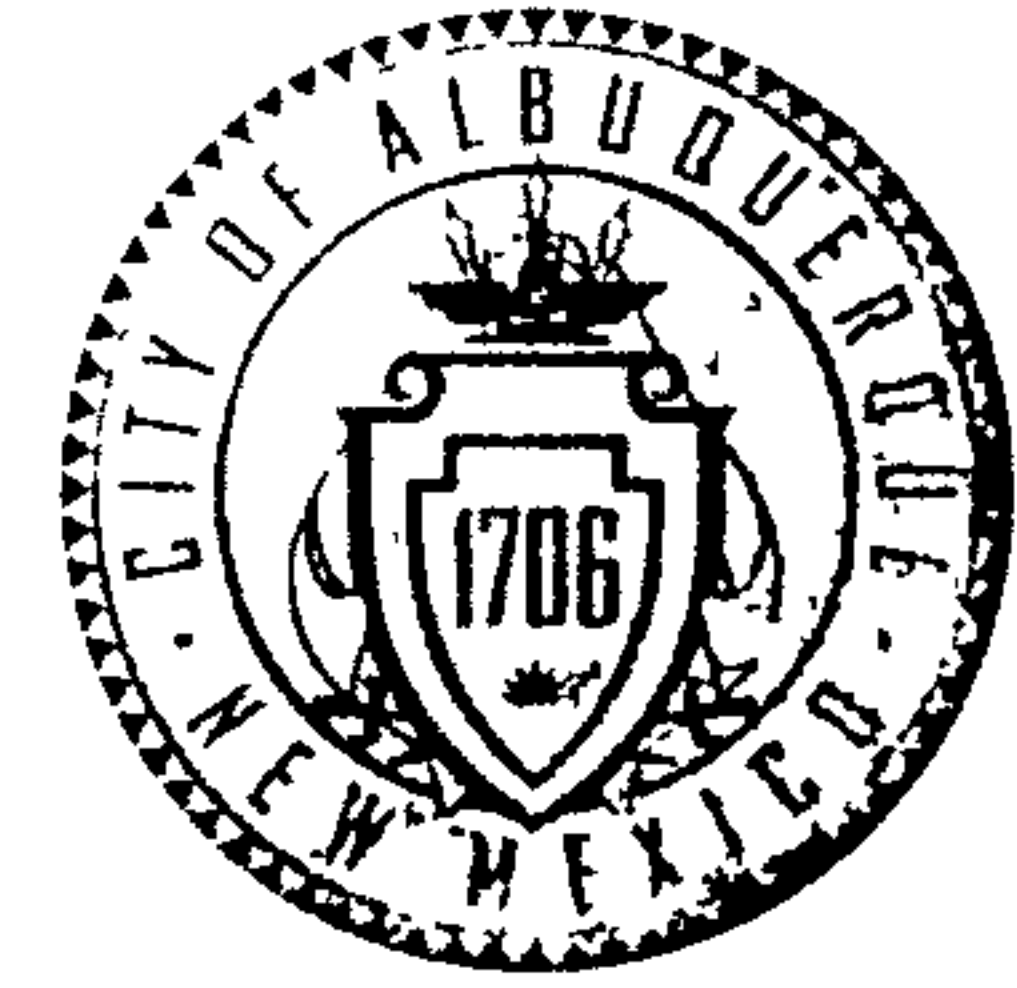
Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl/

c: Andrew Garcia
Arlene Portillo
File

CITY OF ALBUQUERQUE



If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

PO Box 1293

C: file

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



June 30, 2009

Richard A. Lozano, P.E.
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

Re: Lagrima De Ecco Grading and Drainage Plan
Engineer's Stamp date 6-23-09 (F21/D063)

Dear Mr. Lozano,

Based upon the information provided in your submittal received 6-24-09, the above referenced plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

PO Box 1293

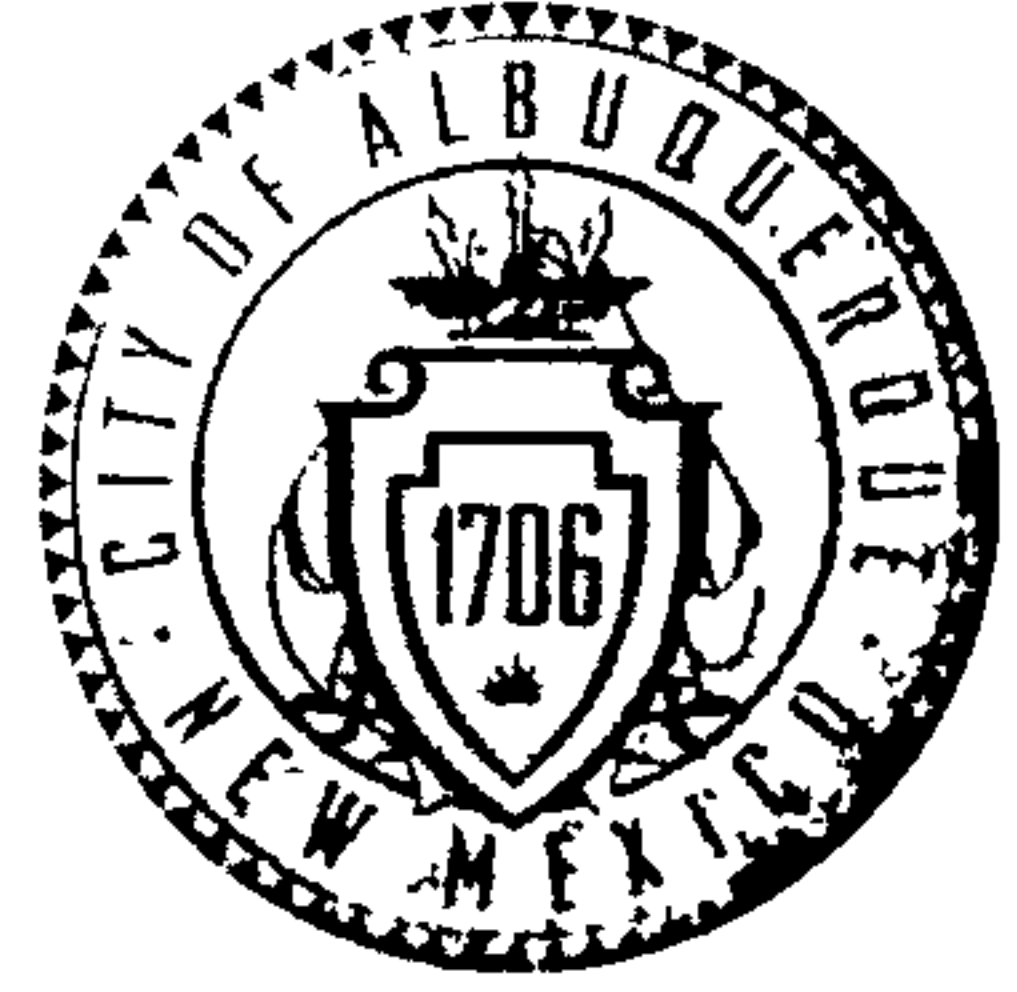
Albuquerque

NM 87103

www.cabq.gov

- Per COA STD DWG 2236, sidewalk culverts can't be wider than 2 feet. In addition, the curb should not be cut as indicated in the note. The standard specifies that the curb and gutter be poured.
- It is not apparent that runoff will enter the valley gutter along the western edge of the parking lot with the grades provided. On Sheet C-503 Detail A-A, the Flow line is proposed at 56.5 which is the same as the flow line elevation at the top of the valley gutter. This 56.50 on Detail A-A is shown as 57.00 on Sheet C-101.
- The sidewalk has a proposed cross-slope of 0.8%, while the longitudinal slope of the walk is 7% or 8%. Unless a sump is provided, the runoff will most likely run past the 6" weep holes. A 2% cross-slope without a sump would be acceptable.
- The weep holes or similar in the cross walk should be shown on the Detail on Sheet C-503.
- I could not find the "concrete swale" (build Note 14) on Sheet C-501. There is a concrete channel on Sheet C-501.
- The proposed sidewalk culvert in the east landscape area could be omitted.
- There are two Note 22s.
- The City standard for the invert on the drive entrance valley gutter is 0.125 feet, not 0.03 feet.
- Please provide 2 copies of Sheet C-101. We give one copy to the inspector when there is work in the City ROW.

CITY OF ALBUQUERQUE



May 11, 2009

Richard A. Lozano, P.E.
Miller Engineering
3500 Comanche NE, Bldg F
Albuquerque, NM 87107

**Re: Lagrima De Ecco Grading and Drainage Plan
Engineer's Stamp dated 4-24-09 (F21/D063)**

Dear Mr. Miller,

Based upon the information provided in your submittal received 4-27-09, the above referenced plan cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Per COA STD DWG 2236, sidewalk culverts can't be wider than 2 feet. If a smaller sidewalk culvert is proposed, provide calculations.
- Provide a build note for the pipe between the inlet and the rip-rap rundown.
- COA STD DWG 2415A does not have a spill curb (Note 9A), but does have a depressed curb.
- The sidewalk along the west boundary should drain east into the gutter. Provide drain holes in the wall or similar.
- The west landscape area should drain to the rip-rap rundown.
- Provide grades in the east landscape area. This area could drain out the drive pad (not over sidewalk).
- Sheet C-503 has a build note for a 2' valley gutter along the sidewalk, while the grading plan specifies curb and gutter.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file

DEVELOPMENT & BUILDING SERVICE CENTER

ONE STOP SHOP

600 SECOND ST. N.W.

ATTENTION: Arlene

505-924-3900

Records Withdrawal Form

Project No. F-21/D63.

Date: April 23, 2004

Project Title: SUN VALLEY SYSTEMS

a. File

b. Mylars

c. Redlines/Comments

d. Other _____

Requested by: Frank Lovelady

Phone No.: 345-2267

Name

and

Company

Comments:

Copy entire file

Anticipated Return Date: _____

I hereby accept full responsibility for the security of the above noted records/plans until return receipt acknowledgement is completed. Records/plans will be returned to the Development and Building Services Center on or before the indicated anticipated return date.

Delivery Picked Up By:

Name: Robert Clum

Print

Organization: Academy Repro

Signed: Robert Clum

Date: 4-26-04

Office Use Only

Return Acknowledged:

Received By: Leslie Duranseau

Print

Date: 4-27-04