

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

May 15, 2015

Mr. Slagle
Slagle Herr Architects, Inc.
1606 Central Ave. S.E., Suite 201
Albuquerque, NM 87106

**Re: Project Name – HLP Endodontics
10429 Lagrima De Oro NE
Traffic Circulation Layout**
Engineer's/Architect's Stamp dated ~~5-6-15~~ (F21-D063)
5-15-15

Dear Mr. Slagle,

5-15-15
The TCL submittal received ~~5-6-15~~ is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

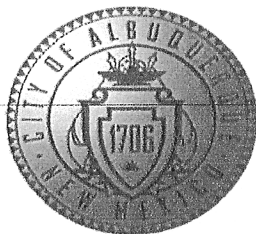
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

c: File
CO Clerk



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: HLP Endodontics Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lot 1-A Lands of Bryant and Witaker

City Address: 10429 Lagrima de Oro NE, Albuquerque, NM

Engineering Firm: Rio Grande Engineering Contact: David Soule

Address: 1606 Central Ave, SE, Suite 201 Albuquerque, NM 87106

Phone#: 505 872 0999 Fax#: _____ E-mail: david@riograndeengineering.com

Owner: HLP Endodontics Contact: Scott Connely

Address: 10409 Montgomery Parkway NE, Ste 109 Albuquerque, NM 87111

Phone#: 505 291-8630 Fax#: _____ E-mail: Scott.Connely @sandia .org

Architect: Slagle Herr Architects Inc. Contact: Joe Slagle

Address: 413 Second Street SW, Albuquerque, NM 87102

Phone#: 505 246 0870 Fax#: _____ E-mail: joe@slagleherr.com

Surveyor: Harris Surveying Contact: Robert Guterrez

Address: 2412-d Monroe St NE, Albuquerque NM 87110

Phone#: 505 889 8056 Fax#: _____ E-mail: _____

Contractor: N/A Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☒ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 4-29-15 By: Joe Slagle

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

May 6, 2015

Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Re: HLP Endodontics, 10429 Lagrima de Oro NE.
Traffic Circulation Layout
Plan dated 04-23-15 (F21-D063)

Ms. Wolfenbarger,

The following is a list of our method of addressing your comments for our original submittal per your letter dated May 1, 2015.

1. Site data has been added at the right side margin. The number of parking spaces required by the zoning code is listed as well as the other applicable code data.
2. R.O.W. width, street width and curb cut width on Lagrima de Oro have been added to the site plan.
3. The width of the parking spaces at the western edge of the property has been added to the site plan.
4. Keynote 19 at the south end of the parking row indicates motorcycle parking.
5. On detail 17/A001, "Violators are subject to a fine and/or towing" has been added to the sign detail.
6. The letters "NO PARKING" have been added to the accessible aisle. Note 17 has been changed accordingly.
7. The curb radii are shown on the site plan, including the north end of the building. As this is a small site, delivery trucks park along the curb on Lagrima de Oro, which is in keeping with the adjacent properties of the same size. For the purposes of this submittal, the delivery truck route onto the property has been shown. The Fire Marshal and Refuse Dept. have approved the site plan.
8. The accessible path from the public sidewalk is provided via the 8' sidewalk extending north to the ramp at the northwest corner of the building. This ramp then extends back south to the entry. The site has a substantial slope from east to west, which necessitates the stairs and ramp. The ramp has been widened to 6' as requested in comment 9.
9. The site plan has been revised to show 6' width at the ramp and the entire length of the accessible route.
10. As mentioned in item 7, the small size of the property preclude delivery truck circulation. As with the adjacent existing properties of similar size, delivery trucks park along the curb in Lagrima de Oro. Should a truck choose to enter the property, an access route is shown on the plan, however, it must be understood that this would require backing onto the street.

11. The clear sight triangle has been added to the site plan.
12. The note has been added to the site plan: keynote 29.
13. Keynote 1 has been revised to include COA dwg. numbers. Keynote 23 has been corrected to refer to detail 15. 12:1 slope has been added to keynote 2 of the enlarged entry plan.
14. It is understood that work in the public right of way requires a work order with DRC approved plans.
15. We have reviewed Chapter 23, section 6 of the Albuquerque Development Process Manual and according to sub category 8.b. two way driveways at local streets shall be 25' to 35' wide. The drivepad at 26' wide as shown is permissible.

Two copies of the revised TCL are attached with this letter. Should you have questions or need additional information, please contact me.

Sincerely,

A handwritten signature in blue ink, consisting of a large, stylized 'S' followed by a horizontal line and a small flourish.

Joe Slagle
SlagleHerr Architects

Site data:

LOCATION:	10429 LAGRIMA DE ORO NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	LOT 1-A LANDS OF BRANT AND WITMER
UPC #:	102106131005040365
CURRENT ZONING:	O-1
STREET REQUIREMENTS:	5' FRONT, 15' REAR
ZONE ATLAS PAGE:	F-21
BUILDING CONSTRUCTION:	5B (NON-SPRINKLED)
APPLICABLE CODE:	2009 IBC C.O.A. ZONING ORDINANCE
TOTAL LOT AREA:	(0.465 AC) 20,250 S.F.
BUILDING FOOTPRINT AREA:	4370 S.F.

NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	16,880 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	21.5 %
PAVED AREA:	9910 S.F.
LANDSCAPE AREA:	6970 S.F.
LANDSCAPE % NET LOT AREA:	42 %
LANDSCAPE TO PAVED AREA RATIO:	.7
REQUIRED PARKING:	
MEDICAL AND DENTAL OFFICE:	5 SPACES PER DOCTOR (3 DENTISTS)
PARKING PROVIDED:	3 DENTISTS x 5 SPACES = 15 SPACES
REQUIRED H.C. PARKING:	23 SPACES
H.C. PARKING PROVIDED:	1 SPACE
BICYCLE PARKING PROVIDED:	3 SPACES
REQUIRED MOTORCYCLE PARKING:	1 SPACE
MOTORCYCLE PARKING PROVIDED:	1 SPACE

a new dental office development for :

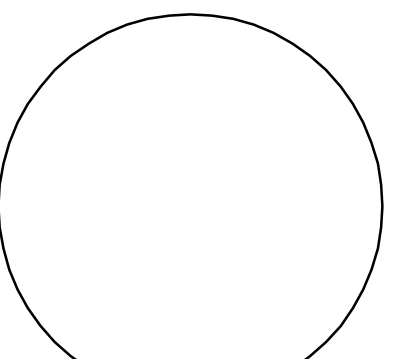
HADLEY
LASH
PACHECO
ENDODONTICS

10429 lagrima de oro ne albuquerque, new mexico

singlehennarchitects

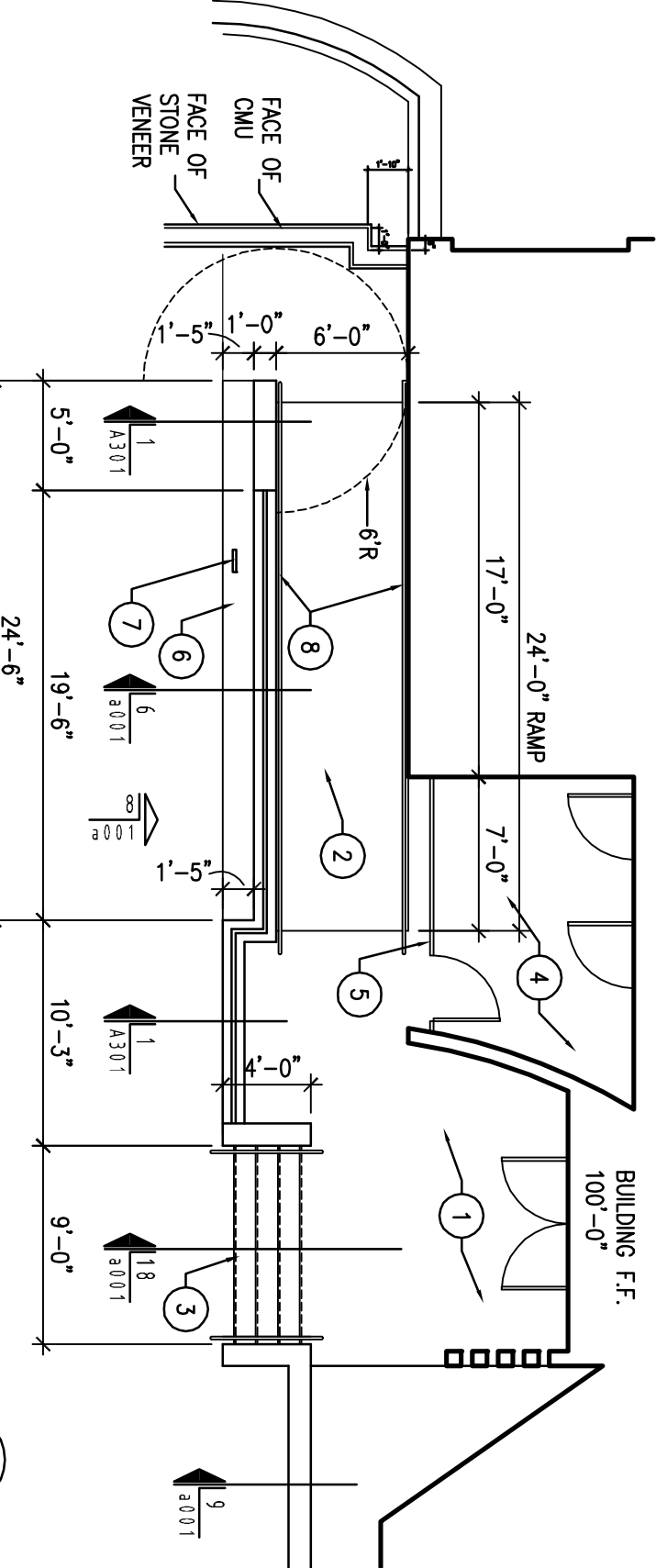
SITE PLAN
SITE DETAILS

revisions



5-6-15 TOL COMMENTS

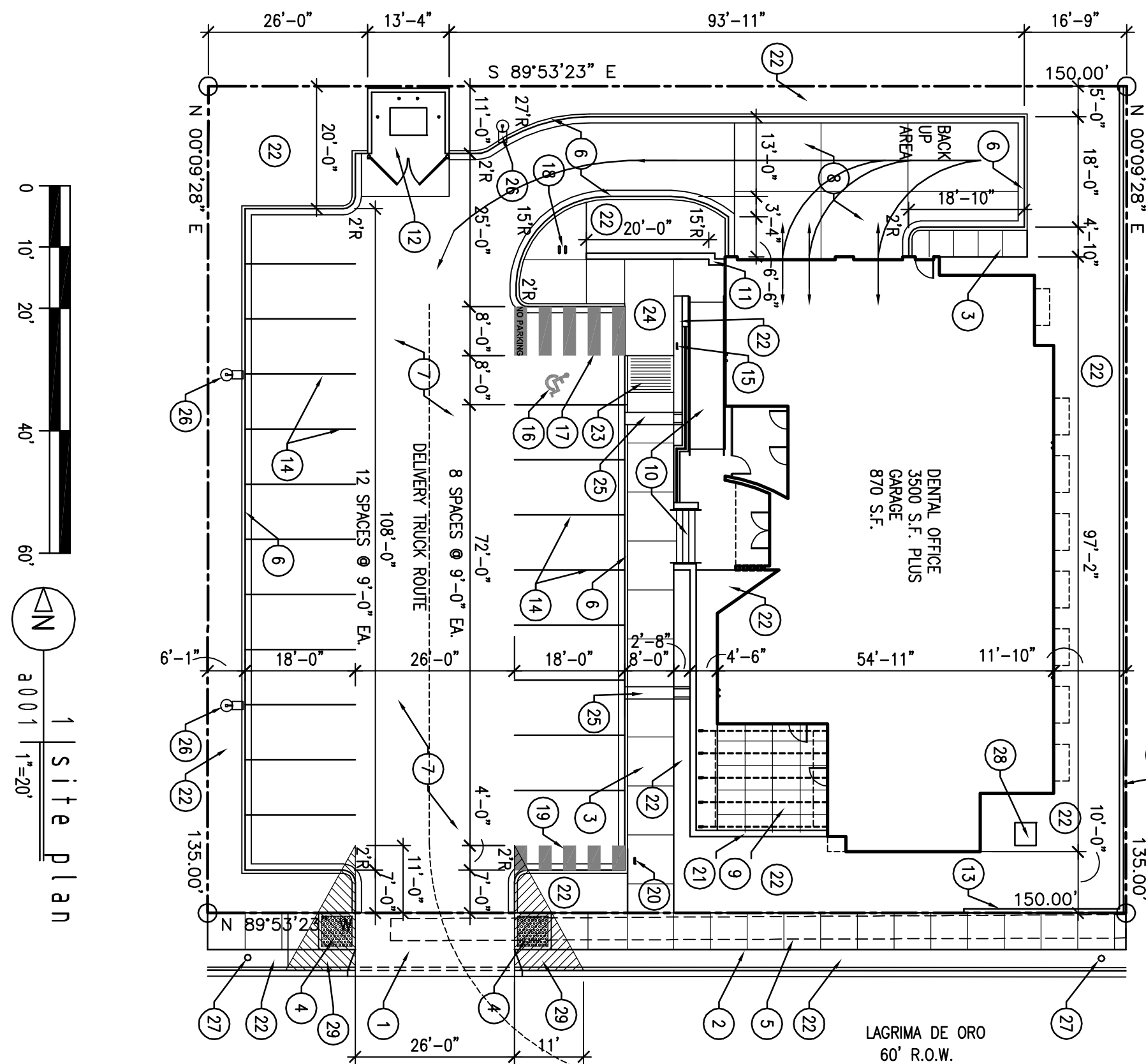
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4-23-15
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A001



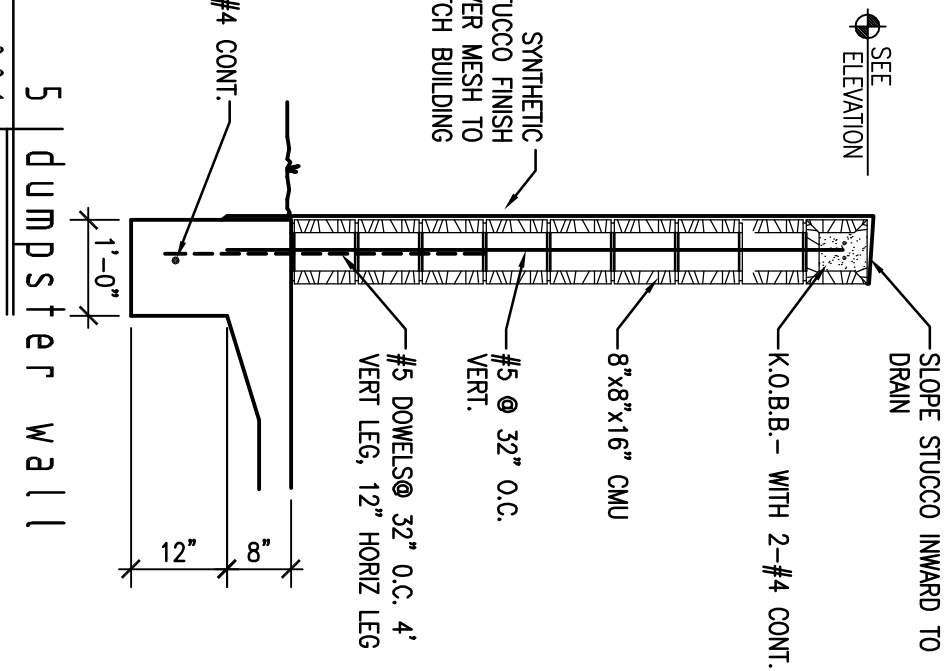
11 enlarged entry plan

KEYED NOTES

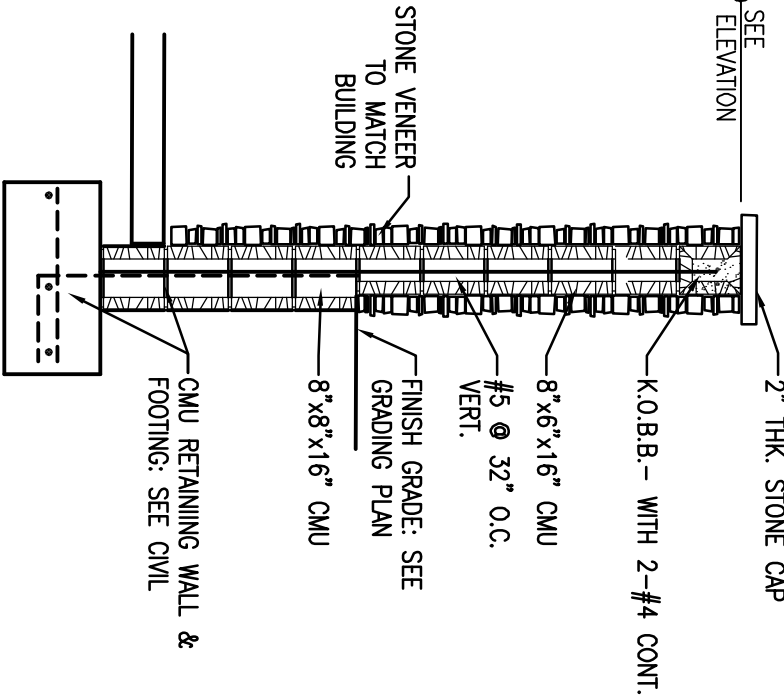
- REMOVE EXISTING DRIVEWAY AND INSTALL NEW DRIVEWAY AND SIDEWALK PER C.O.A. STD. #2463 AND #2450.
- NEW 6" WIDE CONCRETE WALK PER C.O.A. STD.
- NEW 4" THK. CONCRETE WALK
- NEW HCP RAMP W/ TRUNCATED DOMES @ SLOPED SURFACES. SEE C.O.A. STD. DING 2441.
- EXIST. CONC. WALK TO BE REMOVED SHOWN DASHED
- NEW CONC. CURB AND GUTTER. SEE 11
- ASPHALT PAVING: SEE SOUS REPORT FOR PAVING SECTION
- CONCRETE PAVING: 4" SLAB W/ #5 @ 24" O.C. OVER 4" COMPACTED STRUCTURAL FILL OVER COMPACTED SUBGRADE
- PATIO W/ SHADE STRUCTURE. SEE FLOOR PLAN
- STEPS AND HCP. RAMP. SEE 111
- NEW YARD WALL/RETAINING WALL. SEE 18
- DUMPSTER ENCLOSURE. SEE 13
- NEW RETAINING WALL. SEE 18
- 4" WIDE WHITE PARKING STRIPES
- HCP PARKING SIGN. SEE 117
- INTERNATIONAL ACCESSIBLE PARKING SYMBOL PAINTED ON ASPHALT-BUILT
- 6'X2' WHITE PAINT ACCESSIBLE ASLE MARKING. PROVIDE 12" HIGH BLACK LETTERS "NO PARKING" AS SHOWN.
- BKE RACK. SEE 10
- 4'X2' WHITE PAINT MOTORCYCLE PARKING MARKING
- MOTORCYCLE PARKING SIGN. SEE 111
- NEW YARD WALL/RETAINING WALL. SEE 18
- LANDSCAPE AREA. SEE LANDSCAPE PLAN
- ADA RAMP. SEE 115
- CONC. WALK: THIS AREA FLUSH W/ ASPHALT
- SIDEWALK CULVERT. SEE 13
- LIGHT POLE. SEE 12
- NEW FIRE HYDRANT
- TRANSFORMER ON CONC. PAD PER PNM SPEC. SEE ELEC.
- CLEAR SIGN TRIMAGE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' & 8' TALL (MEASURED FROM THE GUTTER PAV) WILL NOT BE ACCEPTABLE IN THIS AREA.



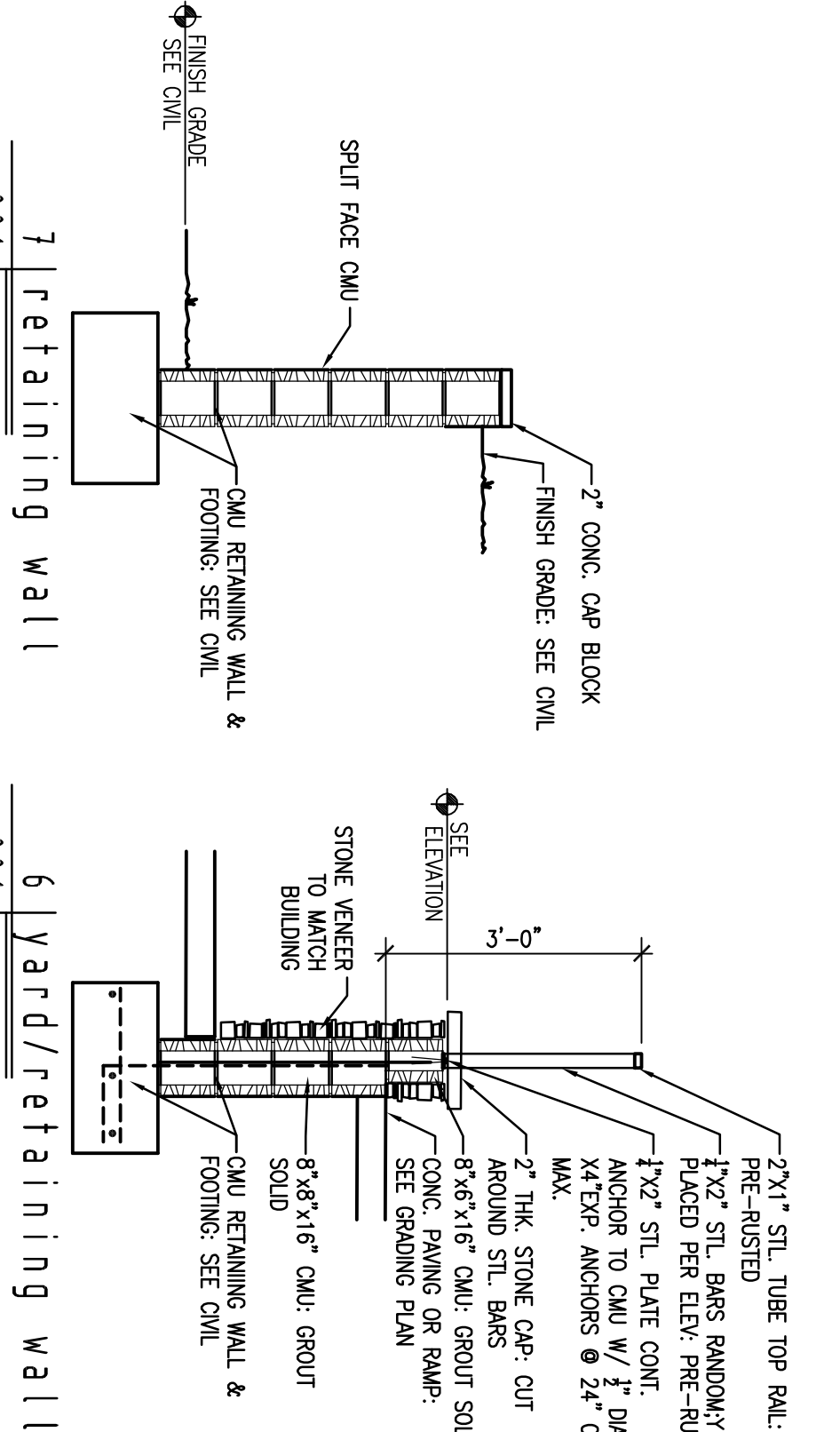
1 site plan



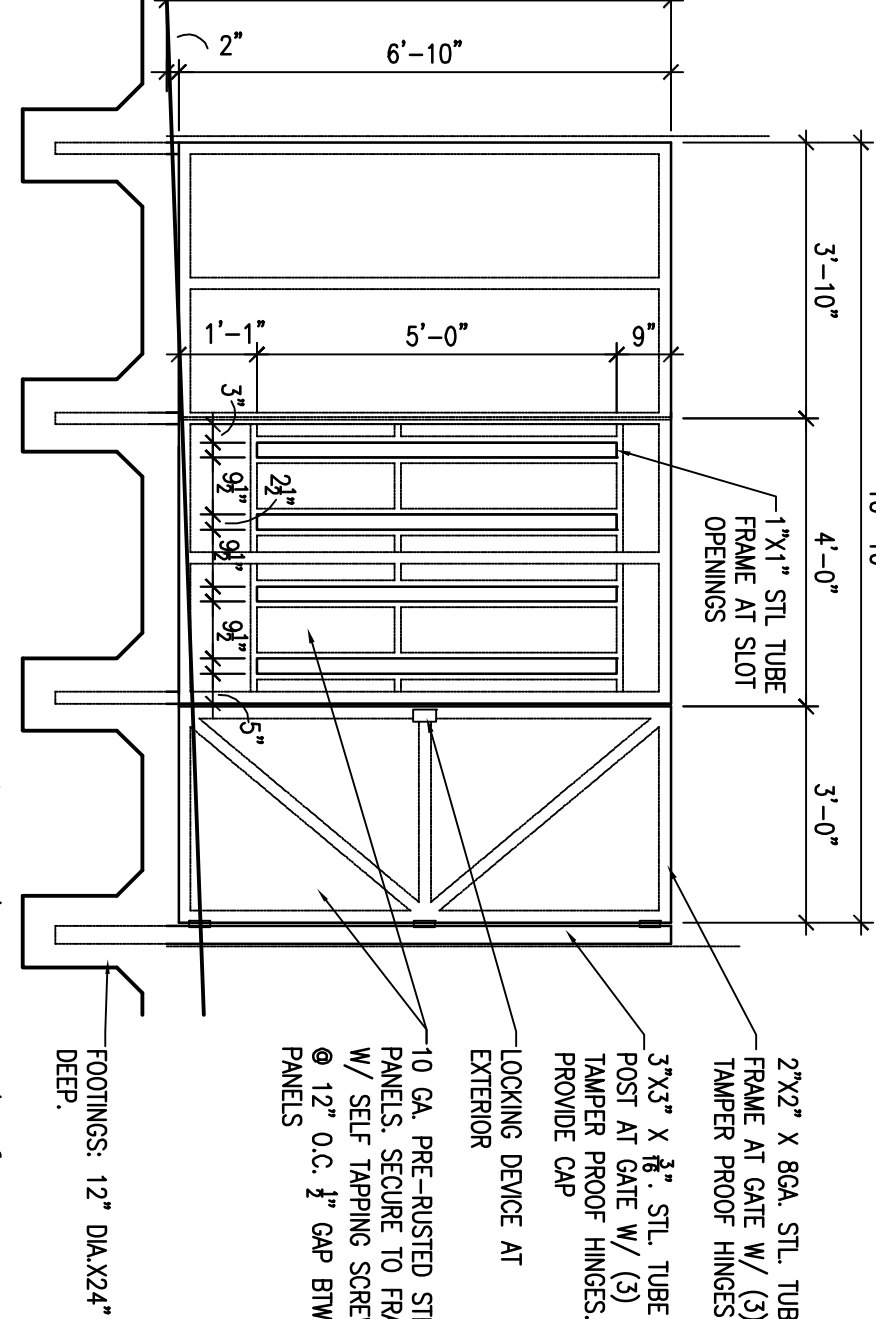
5 dumpster wall



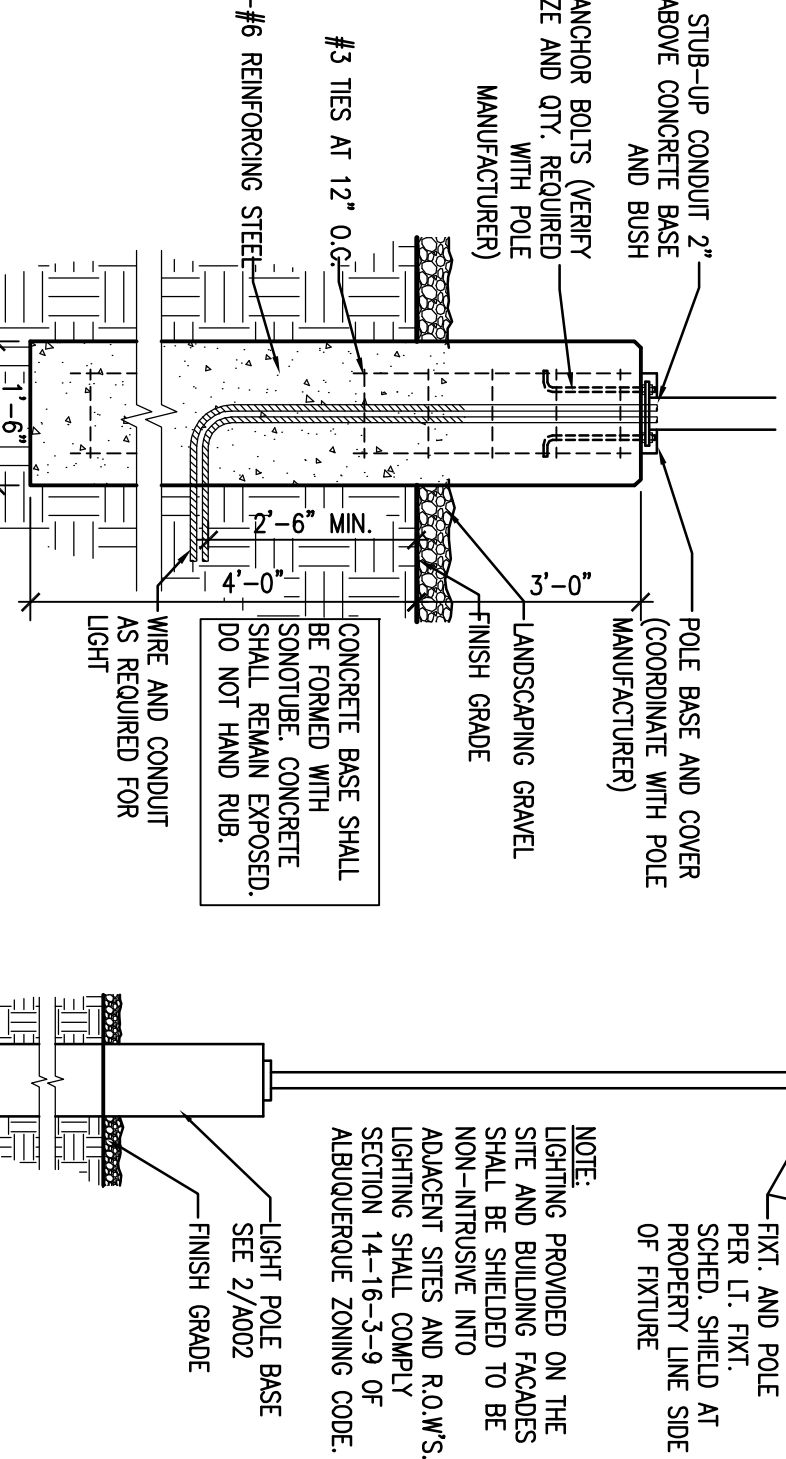
6 yard/retaining wall



7 retaining wall

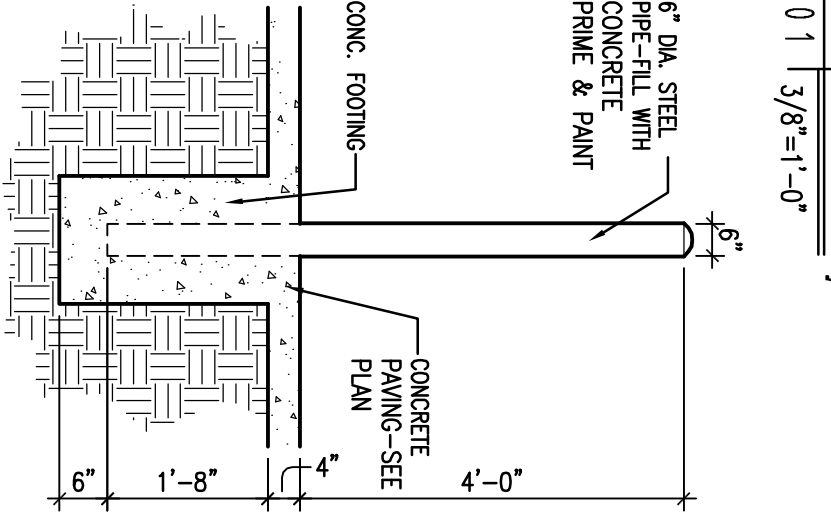


10 mech. yard fence



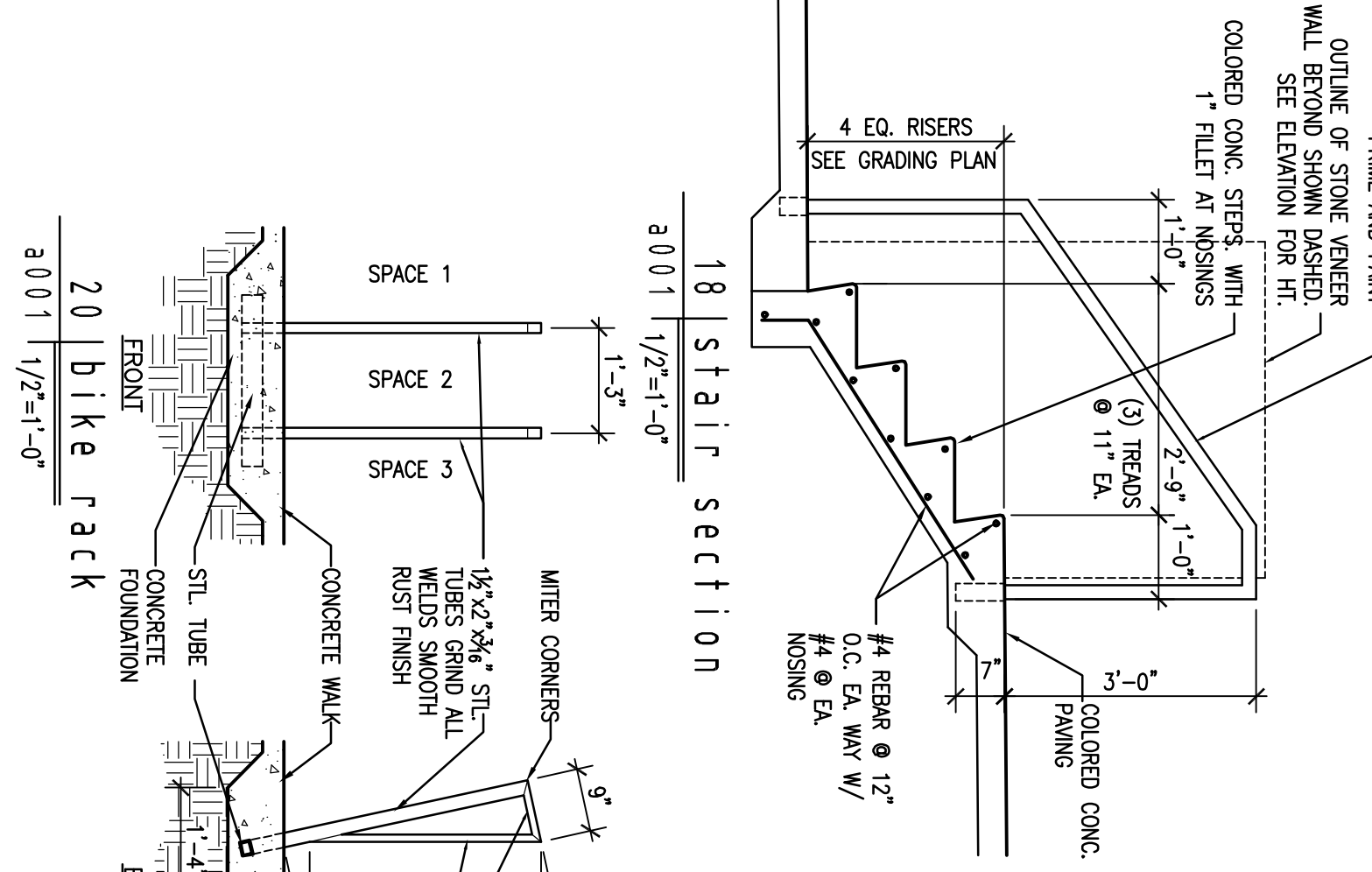
12 light pole

13 light pole base

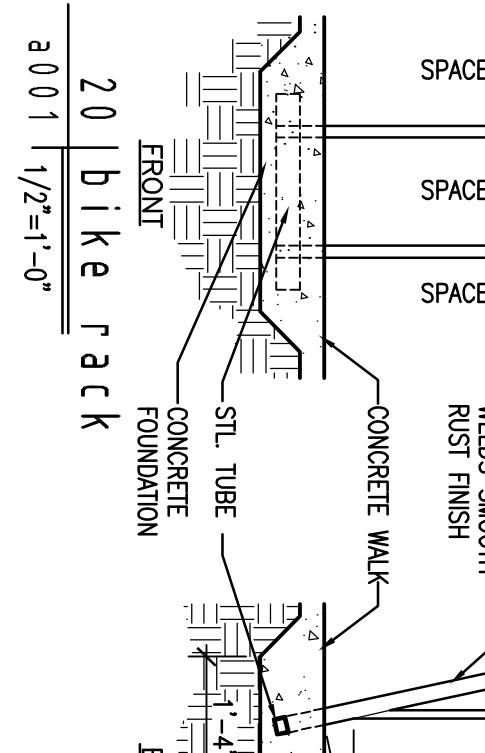


14 bollard

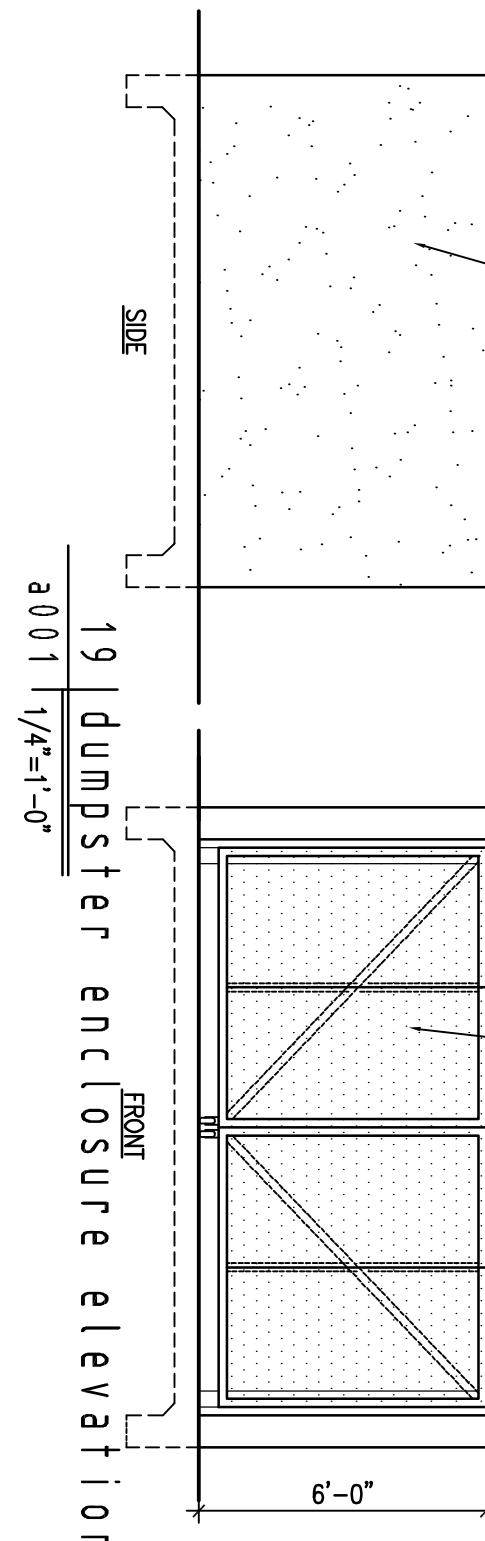
15 hcp ramp



18 stair section



20 bike rack



19 dumpster enclosure elevations