

CITY OF ALBUQUERQUE



September 1, 2005

Gilbert Aldaz, P.E.
Applied Engineering Inc.
1605 Blair Dr.
Albuquerque, NM 87112

**Re: Manor Care Parking Lot, 5123 Juan Tabo Blvd NE, Grading and
Drainage Plan**

Engineer's Stamp dated 8-19-05 (F21-D65)

Dear Mr. Aldaz,

Based upon the information provided in your submittal received 8-22-05, the above referenced plan is approved for Paving Permit and Grading Permit. Upon completion of the project, please provide an Engineer Certification for our files.

P.O. Box 1293

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

New Mexico 87103

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: Matt Cline, Arroyo Maintenance
Liz Sanchez, Excavation Permits
Charles Caruso, DMD Storm Drainage Design
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: MANOR CARE PARKING Lot ZONE MAP/DRG. FILE #: F-21/D65
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract D-3, Academy Place Subd
 CITY ADDRESS: 5123 Juan Tabo Blvd NE

ENGINEERING FIRM: Applied Engr. Inc.
 ADDRESS: 1605 Blair Dr NE
 CITY, STATE: Albany, NM

CONTACT: Gilbert Aldaz
 PHONE: 505-237-1456
 ZIP CODE: _____

OWNER: George Garza
 ADDRESS: 224 Glenarm St
 CITY, STATE: SAN ANTONIO, TEXAS

CONTACT: George Garza
 PHONE: 210-269-3794
 ZIP CODE: 78201

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Applied Engr. Inc.
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

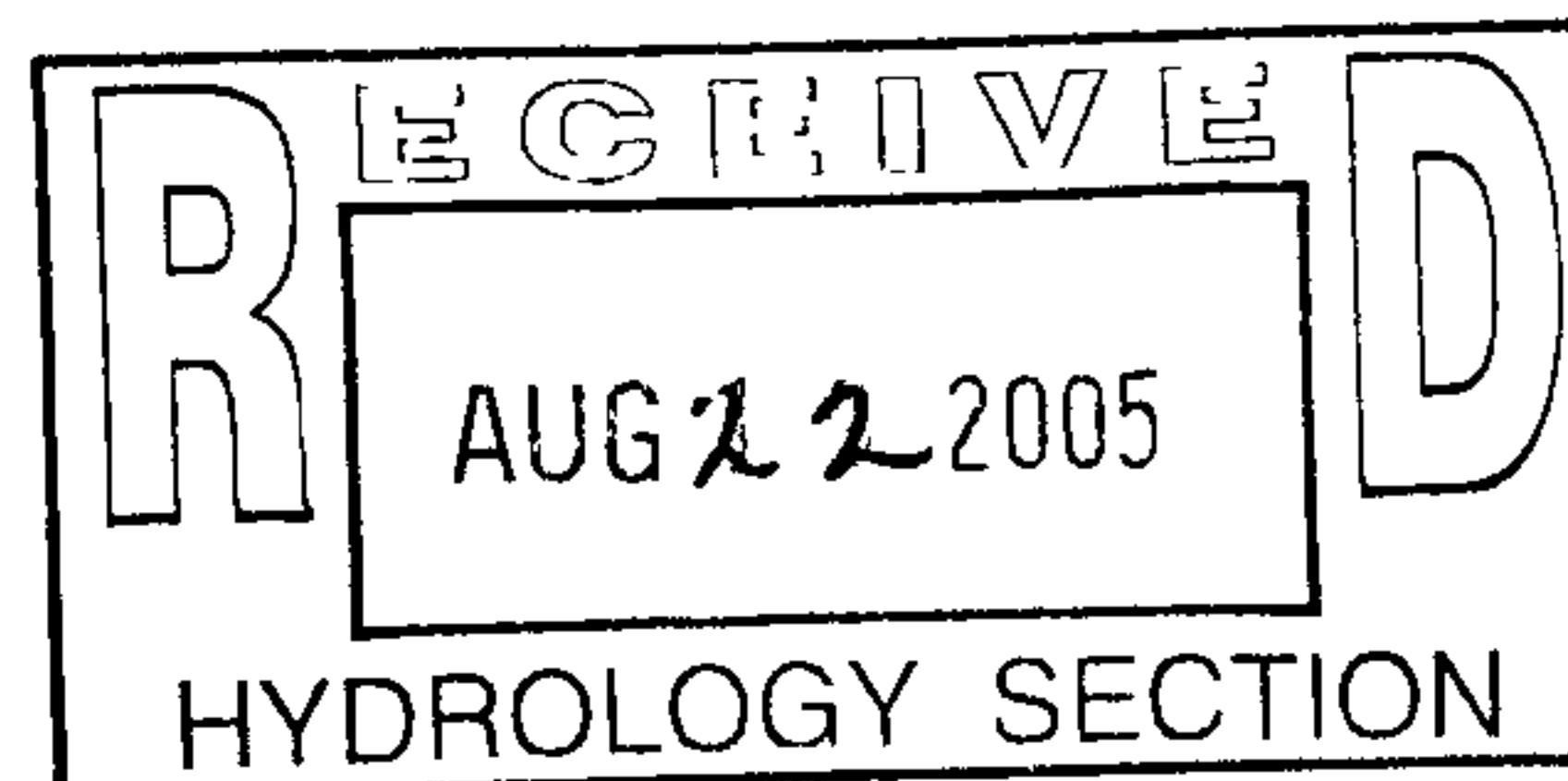
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: *copies, then approve*

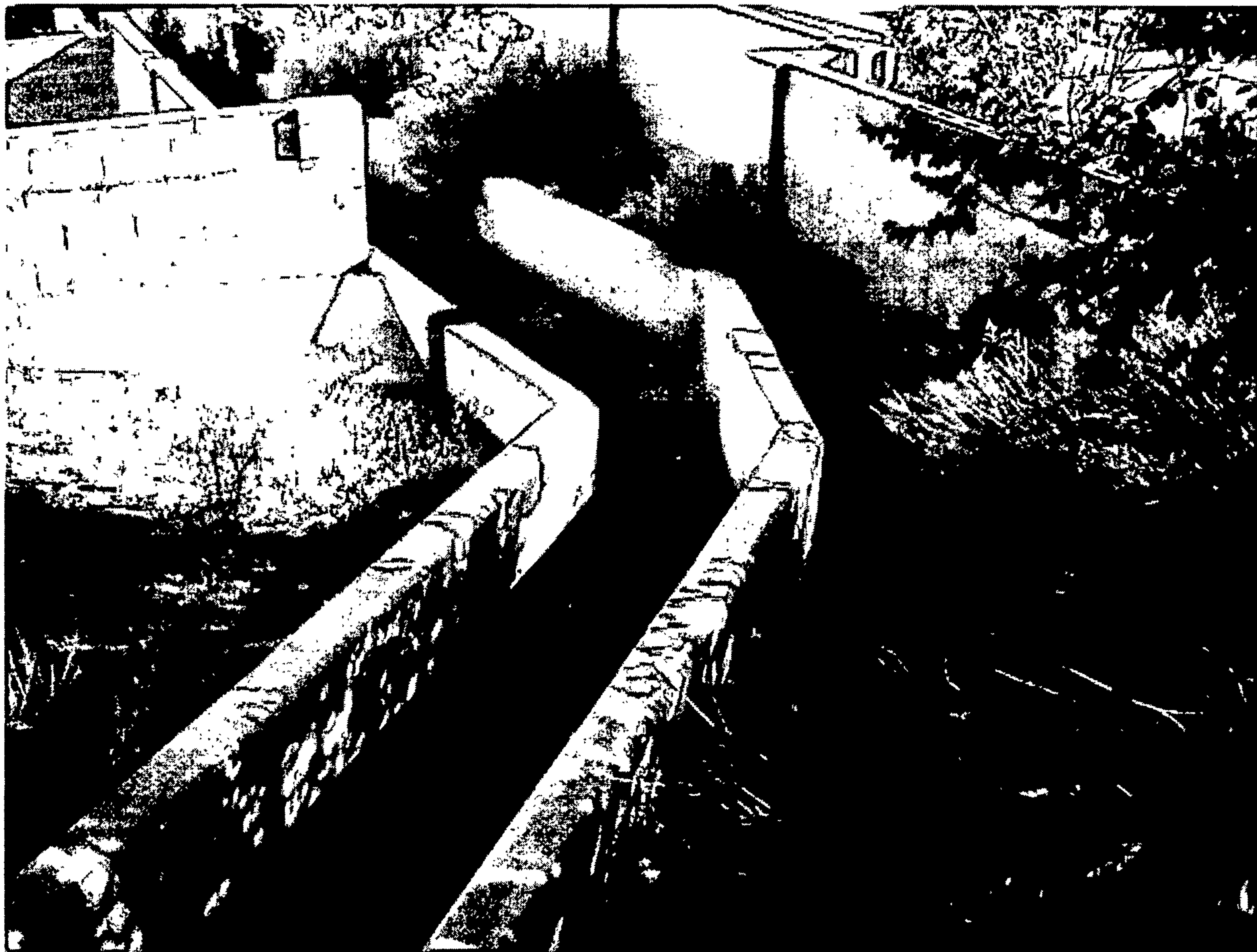
- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



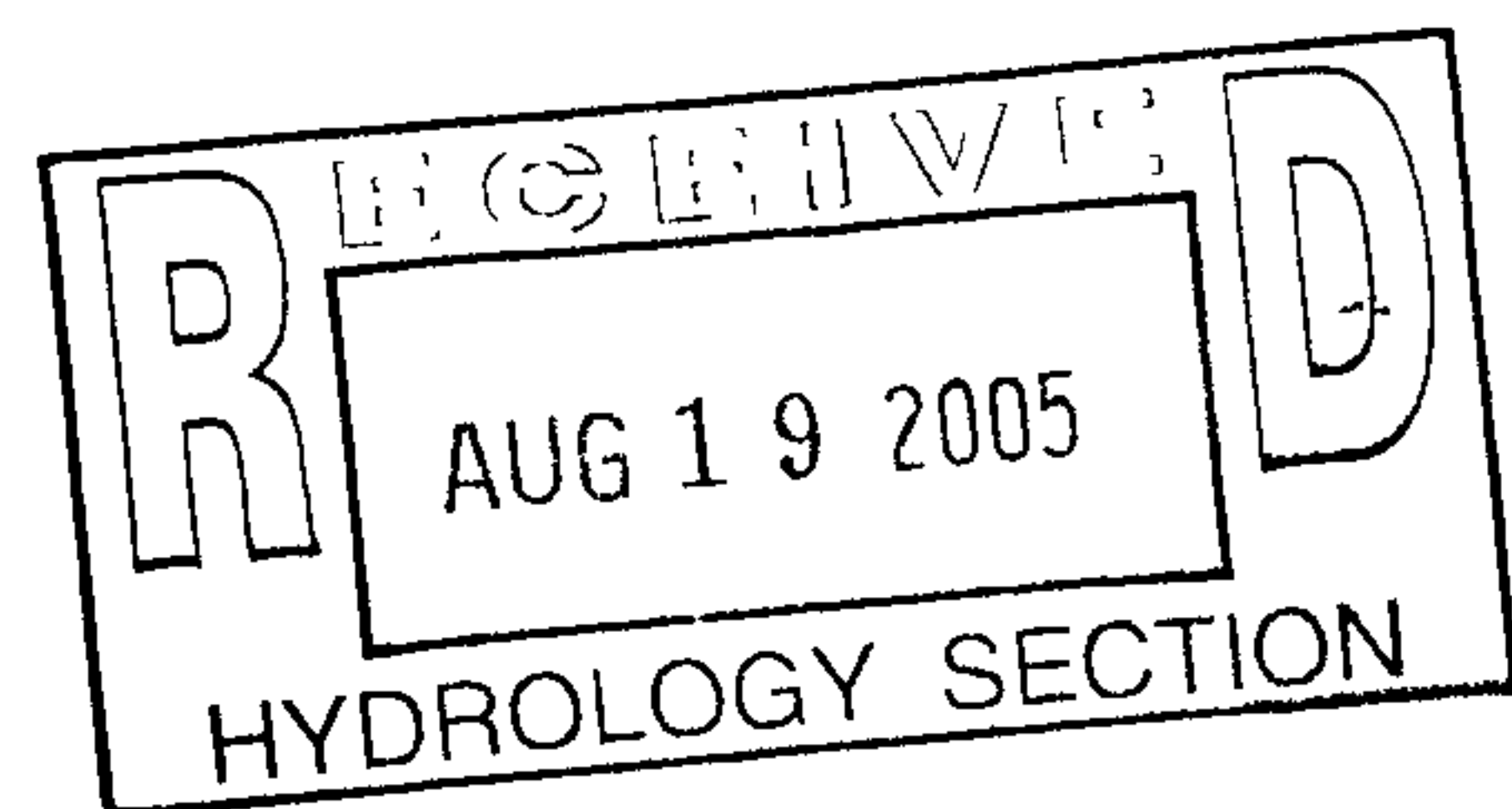
DATE SUBMITTED: 08-19-05 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

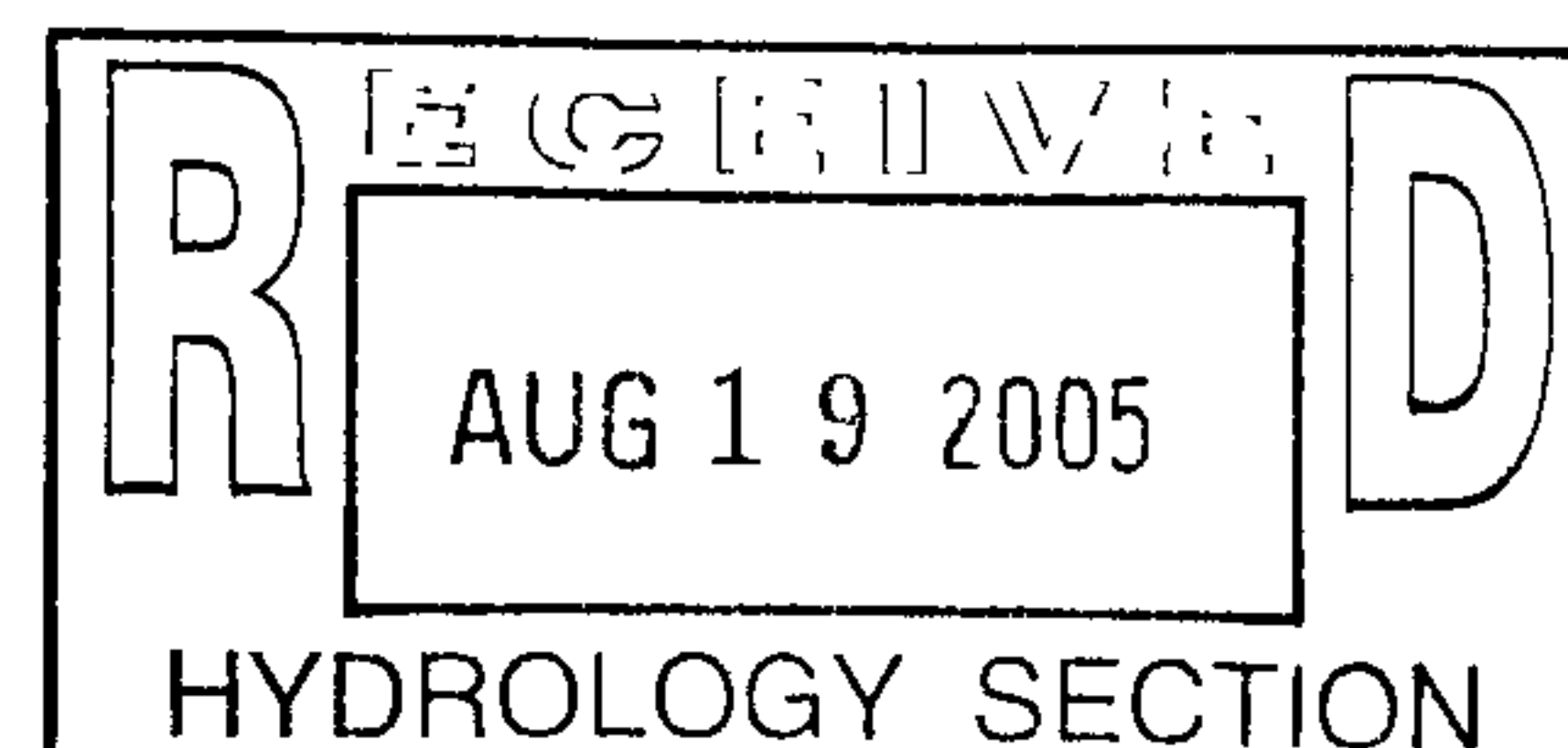


Existing Channel
At SW Corner of
MANOR CARE





Existing Channel
Opening At
MANOR CARE

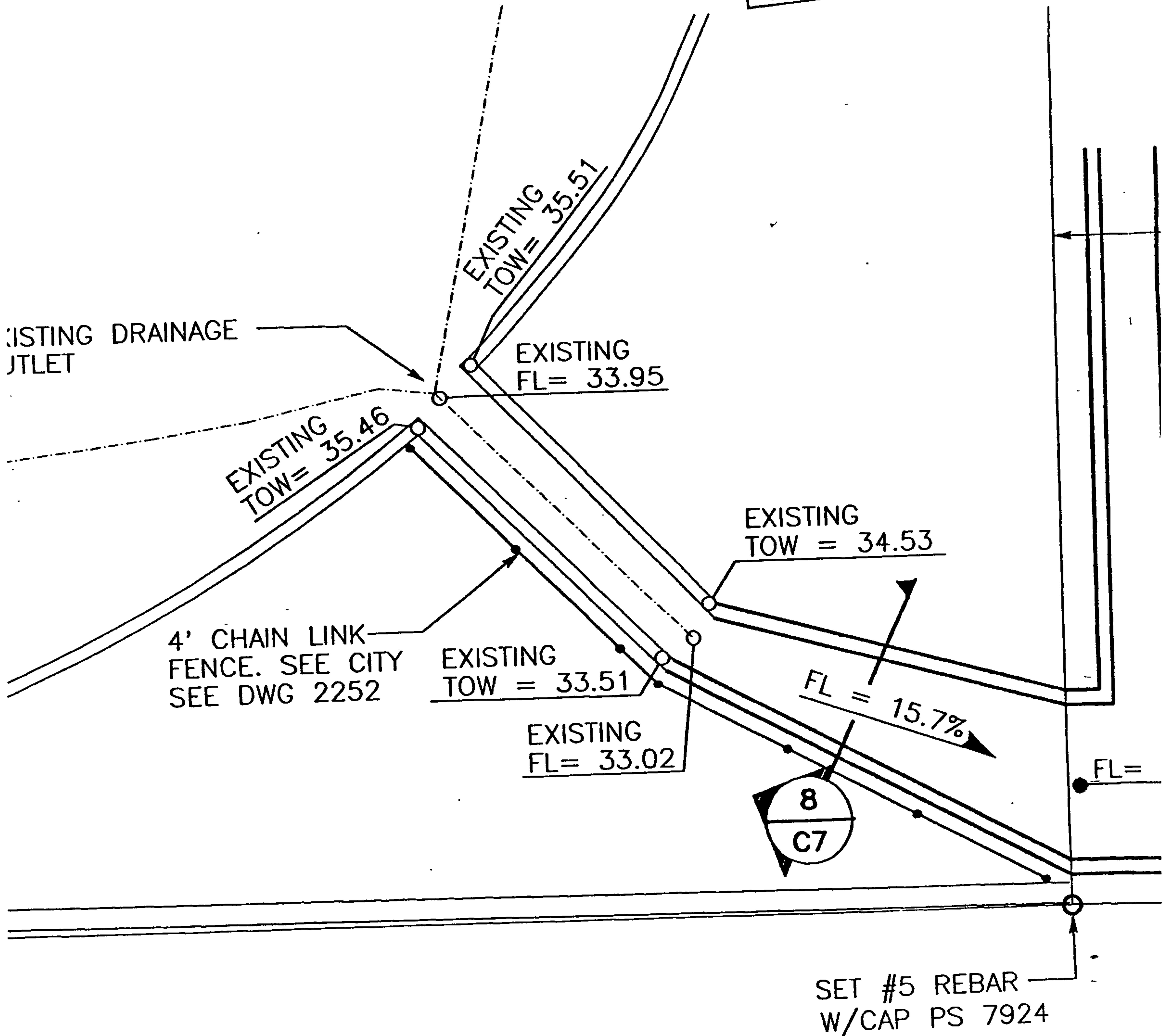
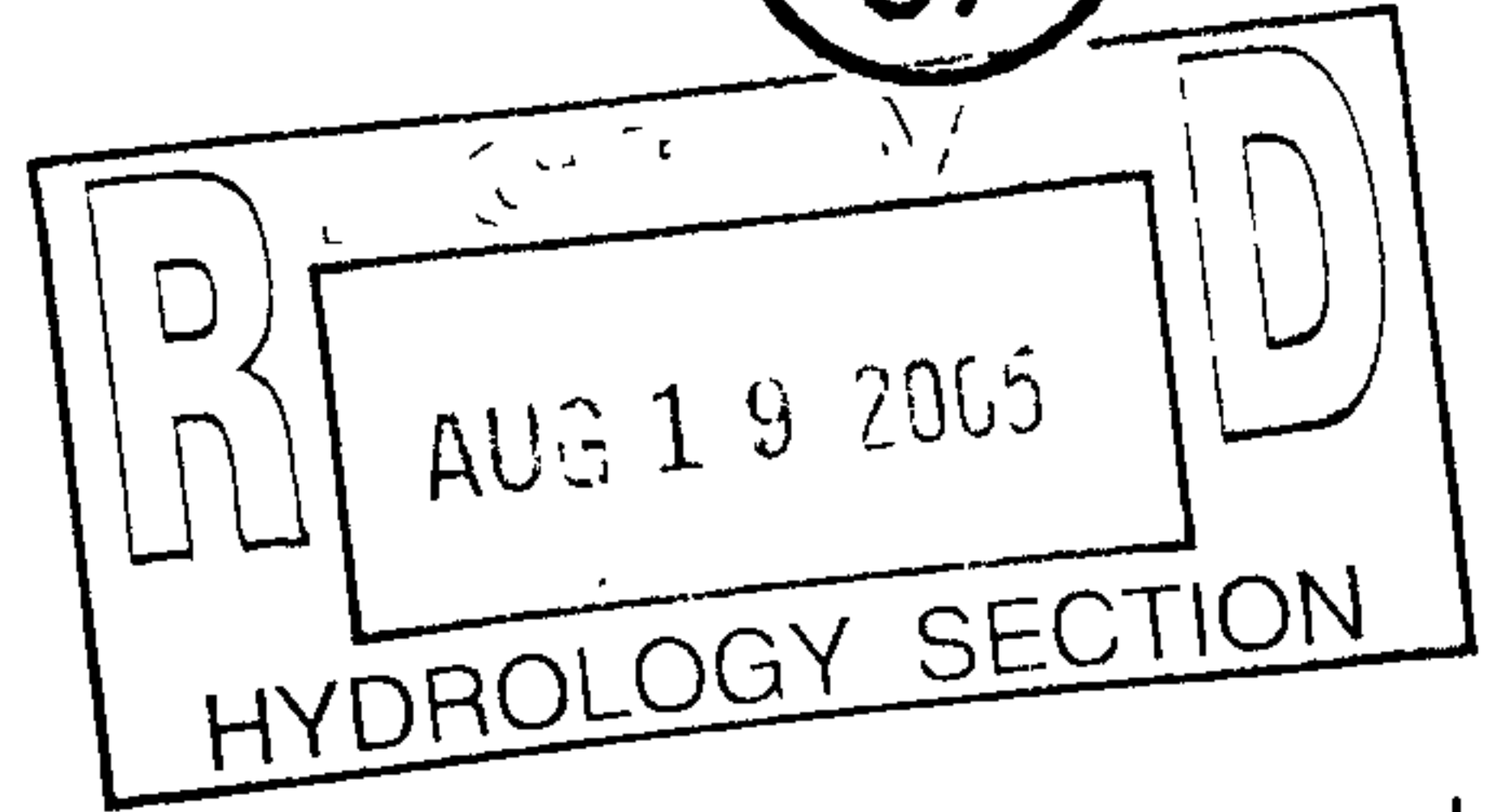


CHANNEL SECTION

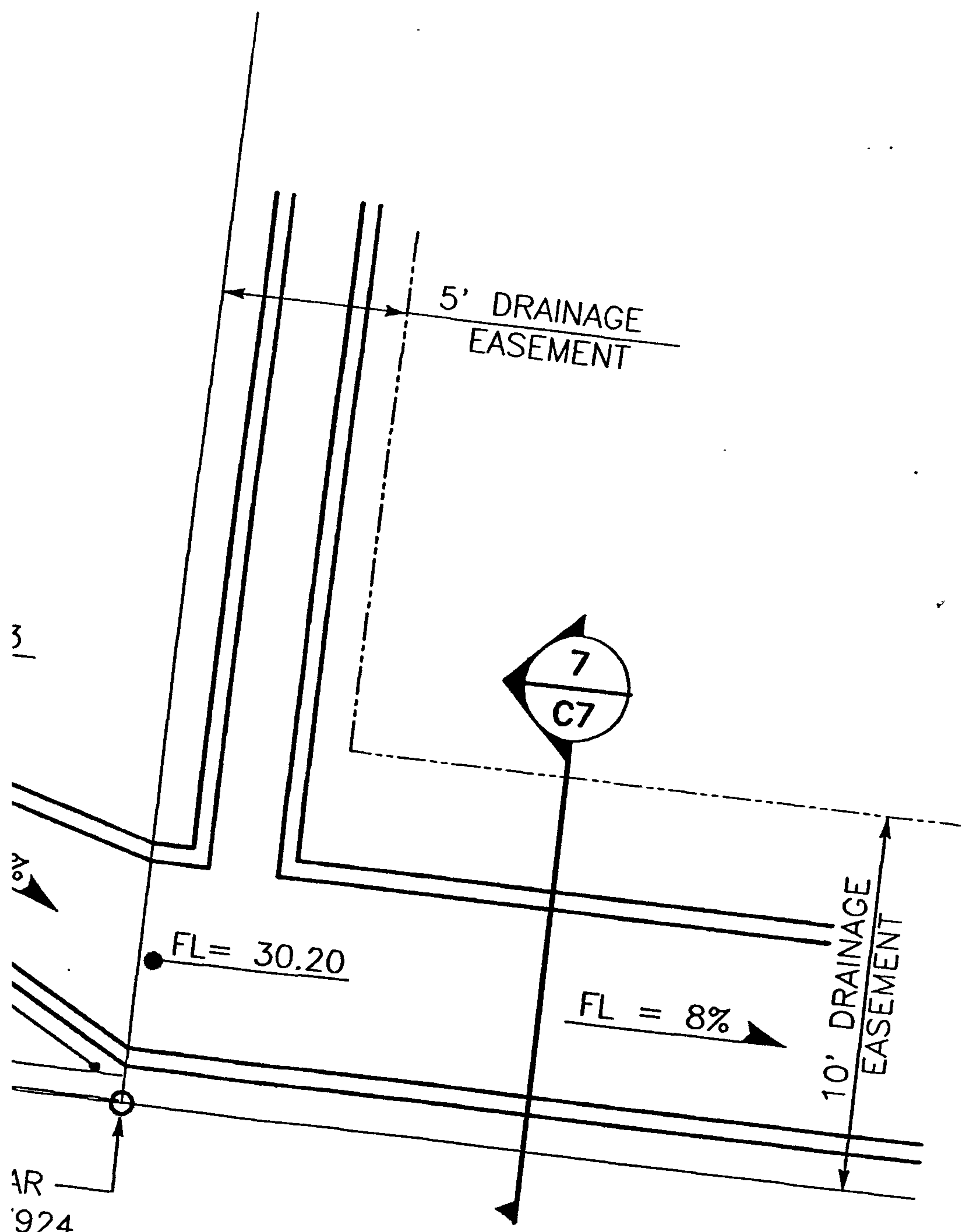
N.T.S.

8

C7



END OF OUTLET



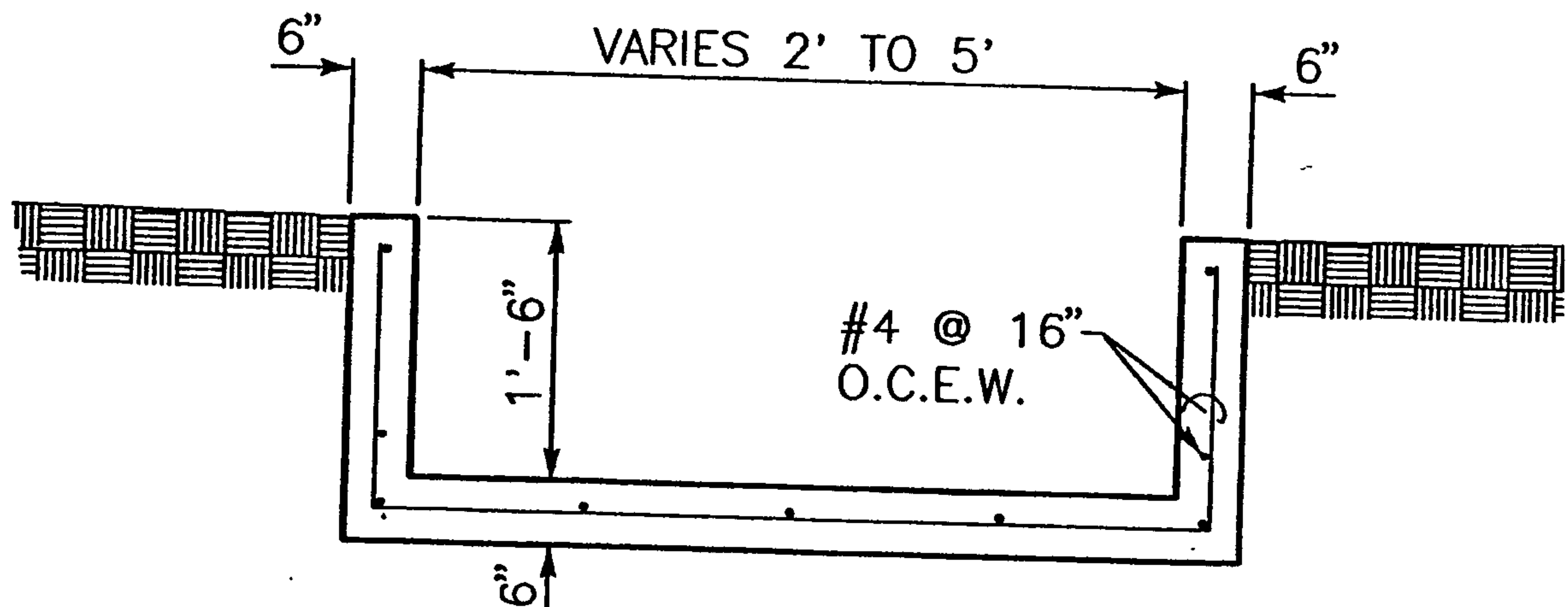
PROPERTY

4' SIL

EXISTING CURB & GL

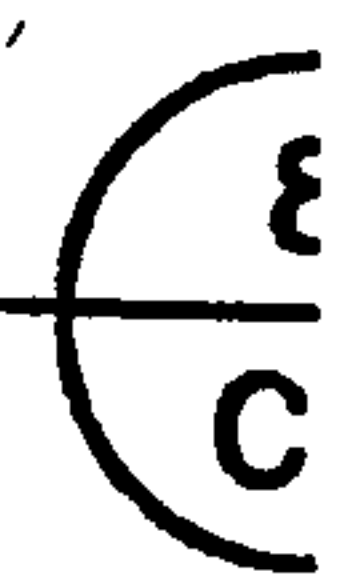
RECEIVED
AUG 19 2005
HYDROLOGY SECTION

DRA
N.T.S.

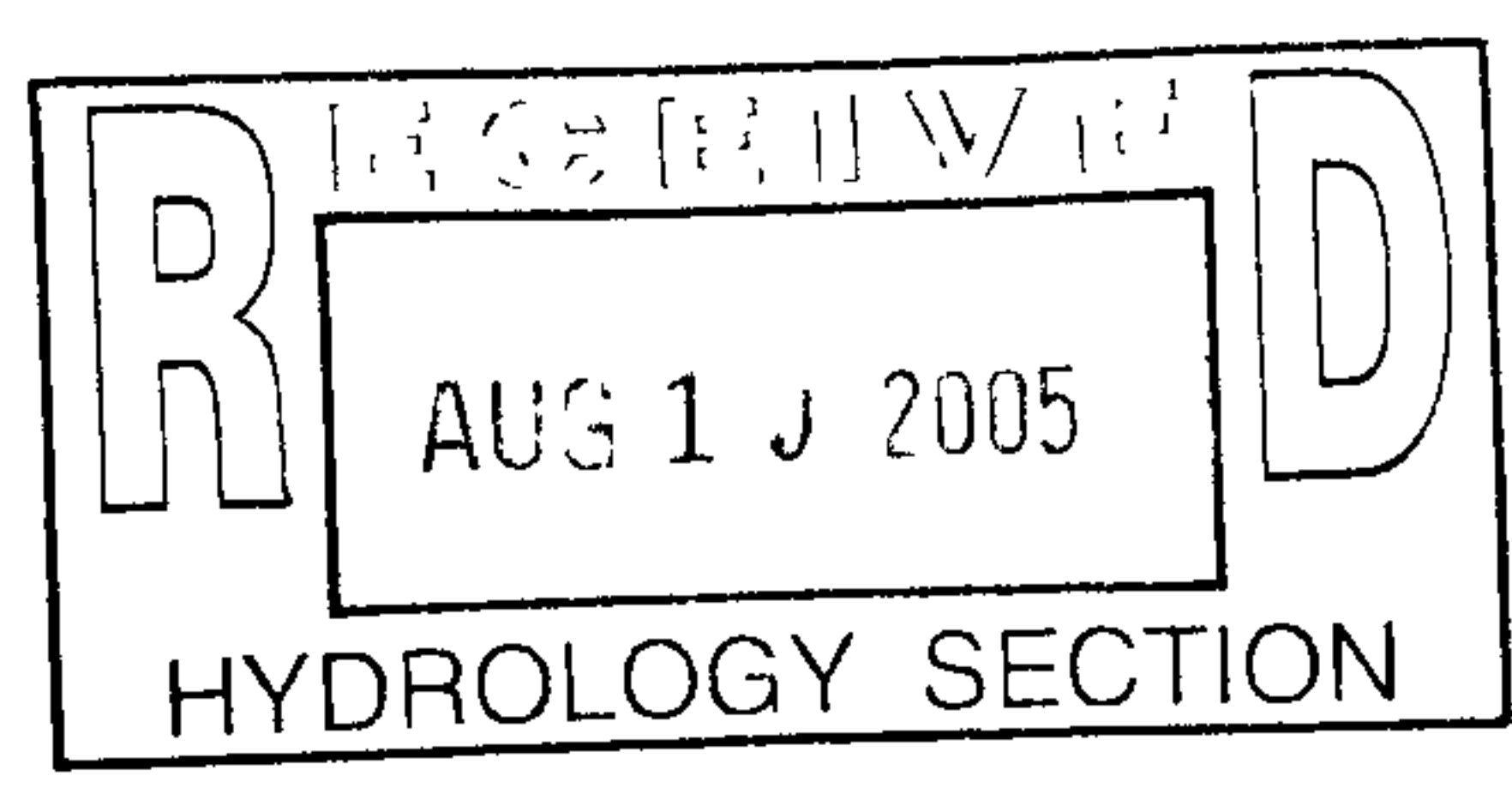
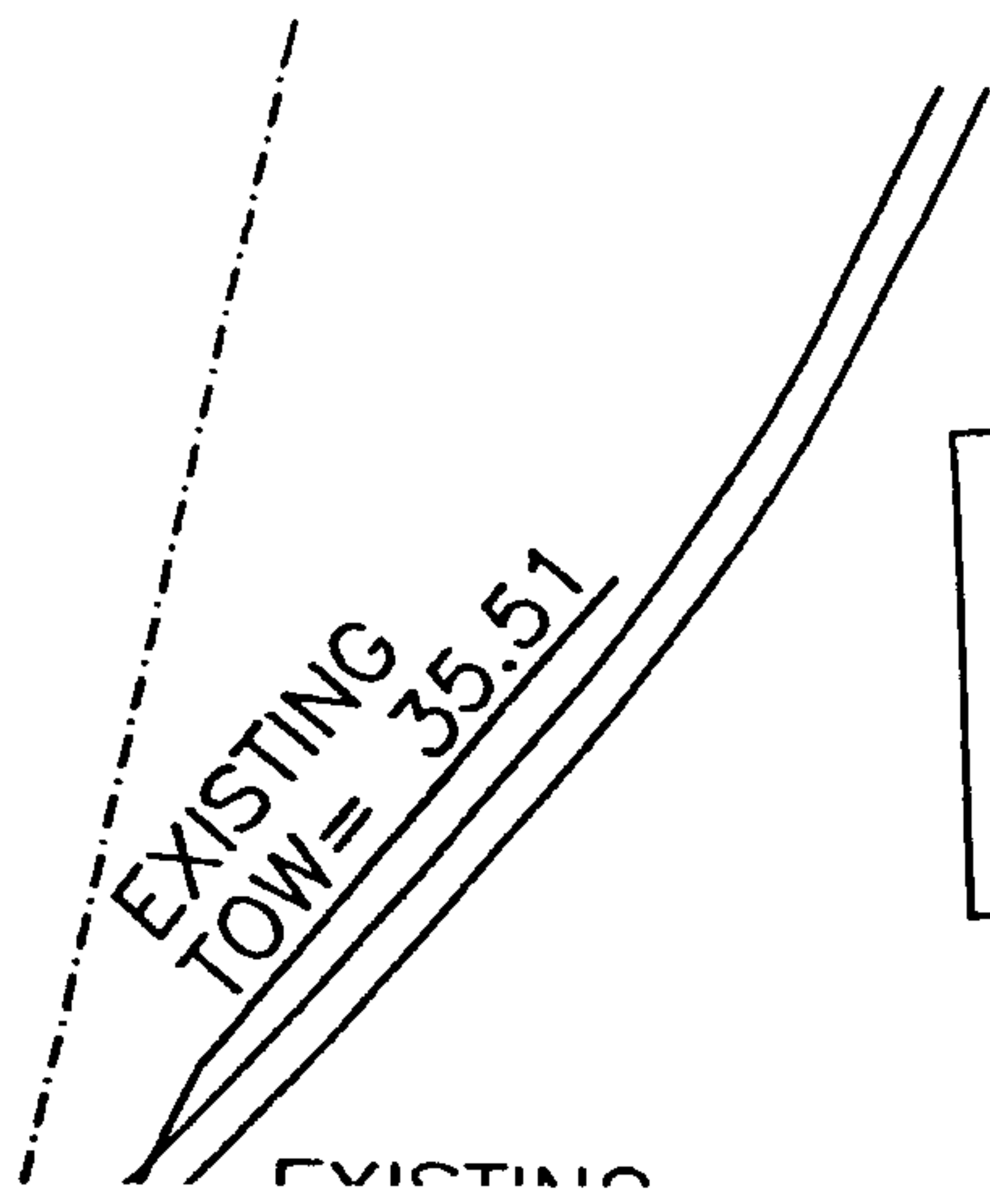


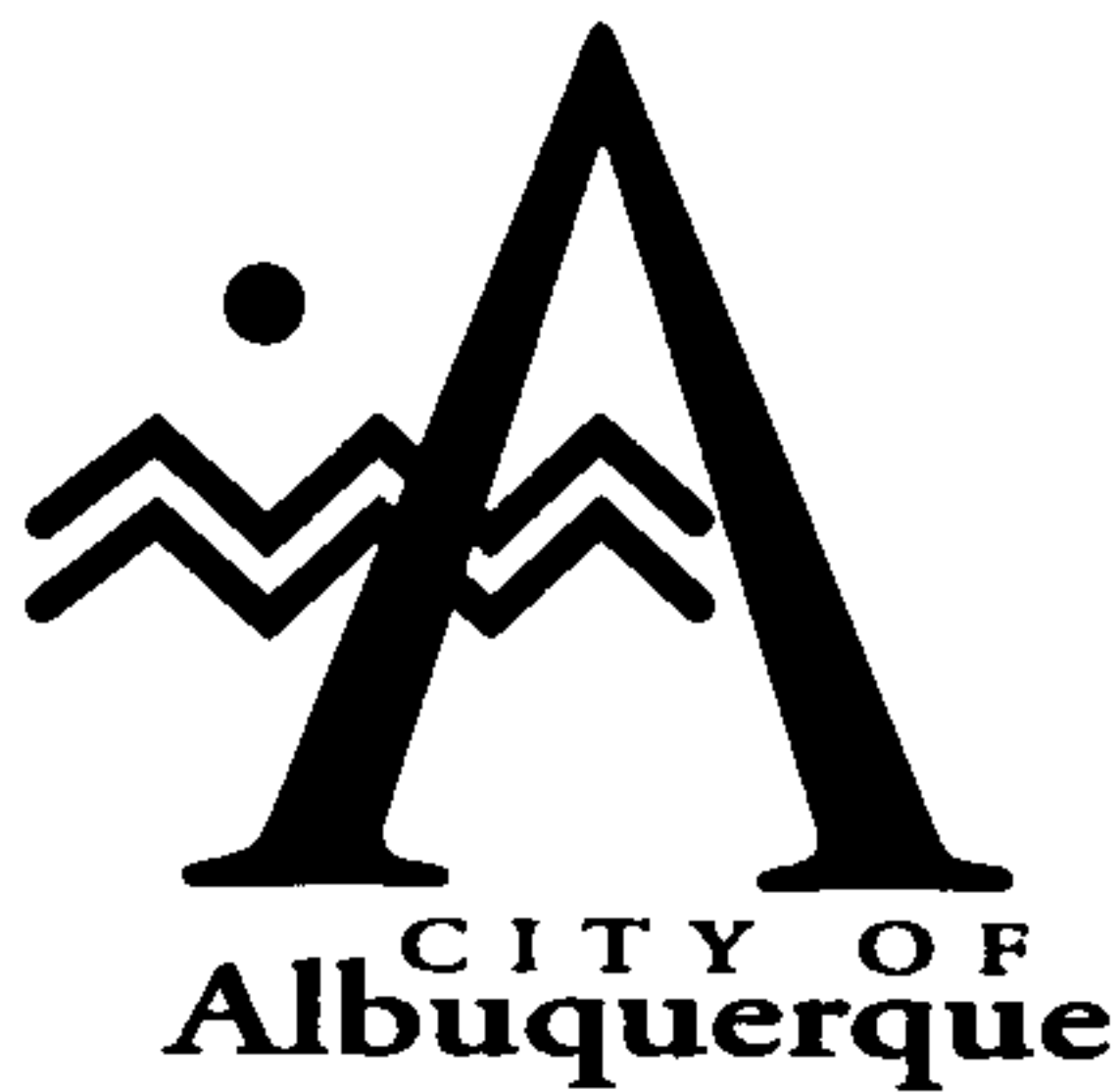
CHANNEL SECTION

N.T.S.



EXISTING DRAINAGE
OUTLET





December 9, 1996

Martin J. Chávez, Mayor

Dave Larrow
Holmes & Narver Inc.
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

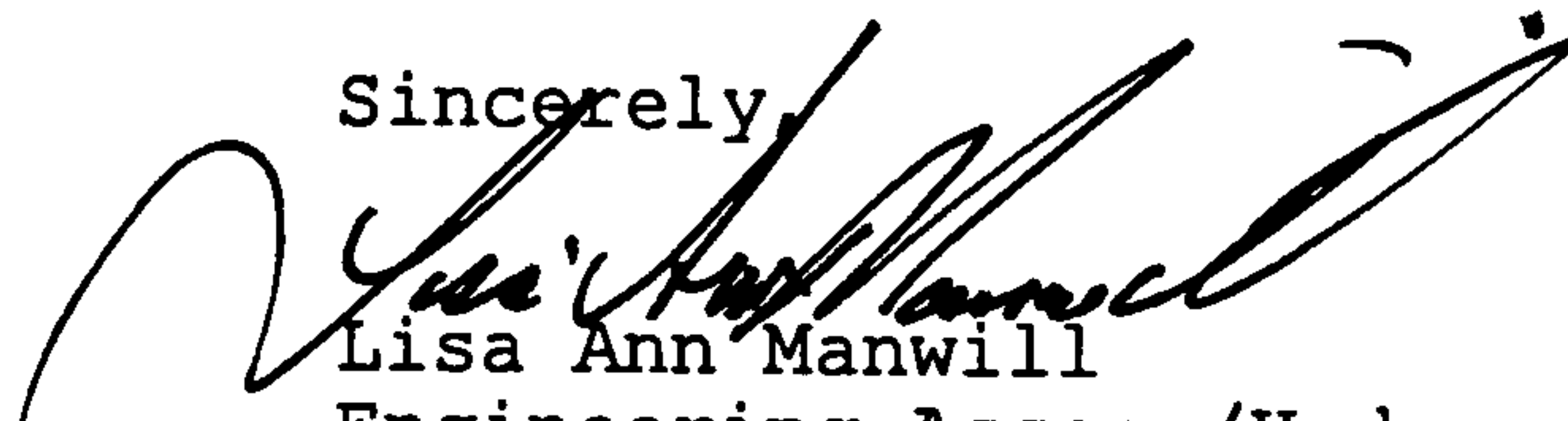
**RE: MANOR CARE - SANDIA ARCADIA (F21-D65). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. ENGINEER'S
CERTIFICATION DATED DECEMBER 5, 1996.**

Dear Mr. Larrow:

Based on the information provided on your December 5, 1996
submittal, the above referenced project is approved for
Certificate of Occupancy.

If I can be of further assistance, or you have any questions,
please feel free to contact me at 768-3622.

Sincerely,

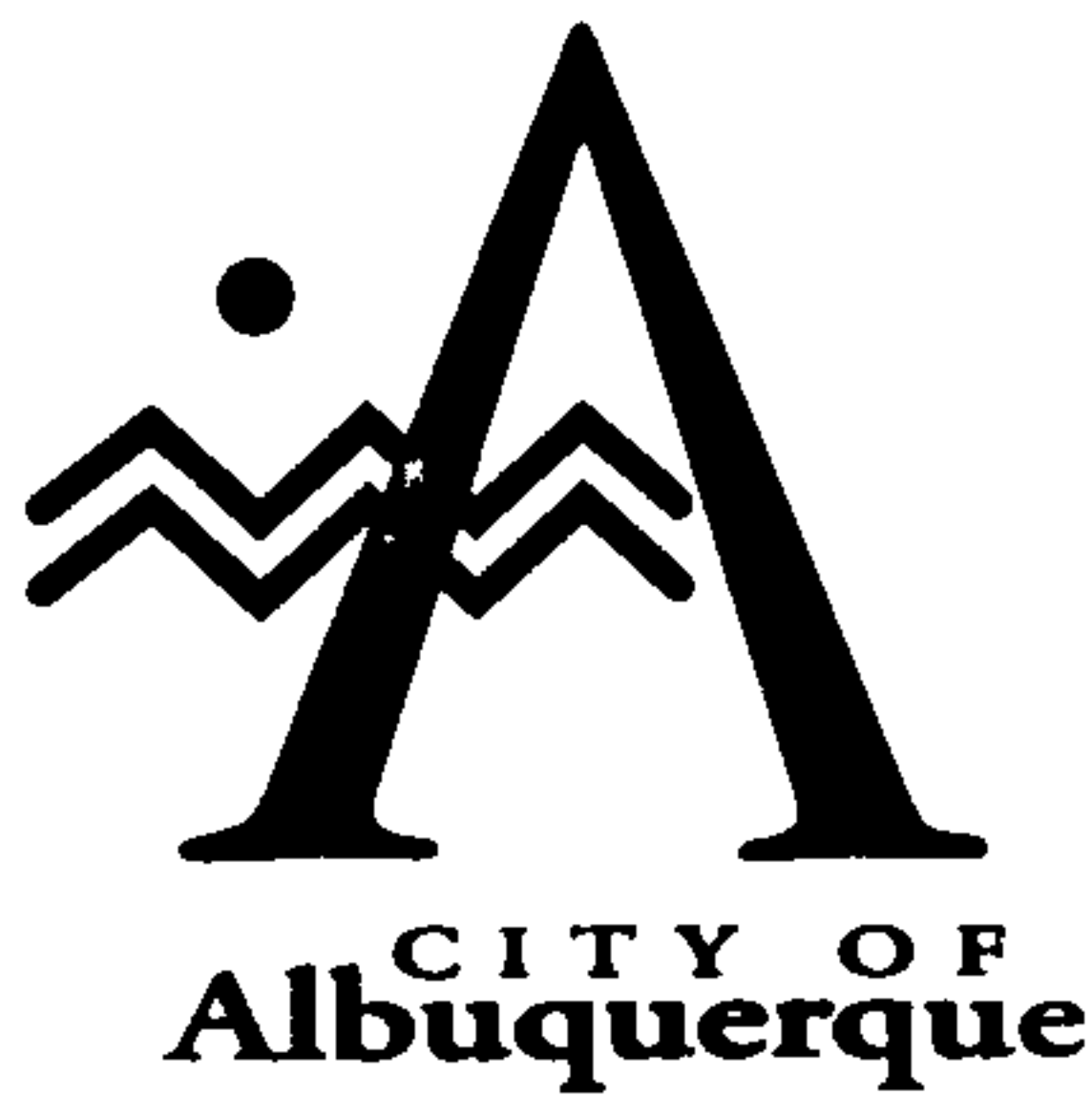


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





November 6, 1996

Martin J. Chávez, Mayor

Dave Larrow
Holmes & Narver Inc.
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

**RE: MANOR CARE - SANDIA ARCADIA (F21-D65). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. ENGINEER'S
CERTIFICATION DATED NOVEMBER 1, 1996. ENGINEER'S STAMP
DATED FEBRUARY 27, 1995.**

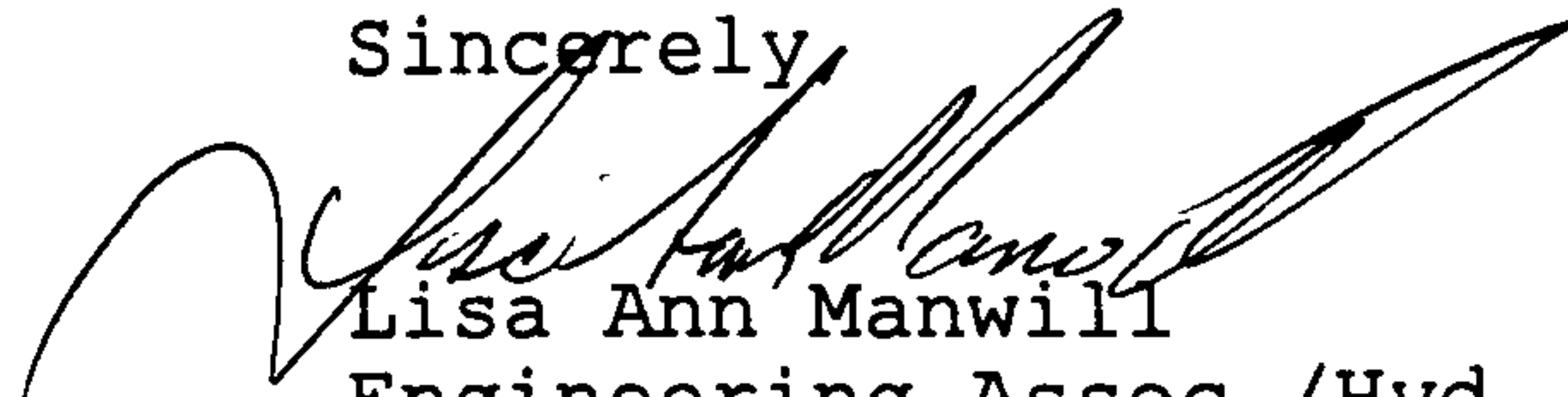
Dear Mr. Larrow:

Based on the information provided on your November 4, 1996
submittal, the above referenced project is approved for a 15-
day Temporary Certificate of Occupancy. Prior to final approval,
please address the following comments:

1. The channel improvements must be complete.
2. The grading and drainage plan that I originally approved
was stamped 2-27-96. The stamp with the date must be
shown on the drawing you certify to insure that it is
the same plan that was approved.

If I can be of further assistance, or you have any questions,
please feel free to contact me at 768-3622.

Sincerely,

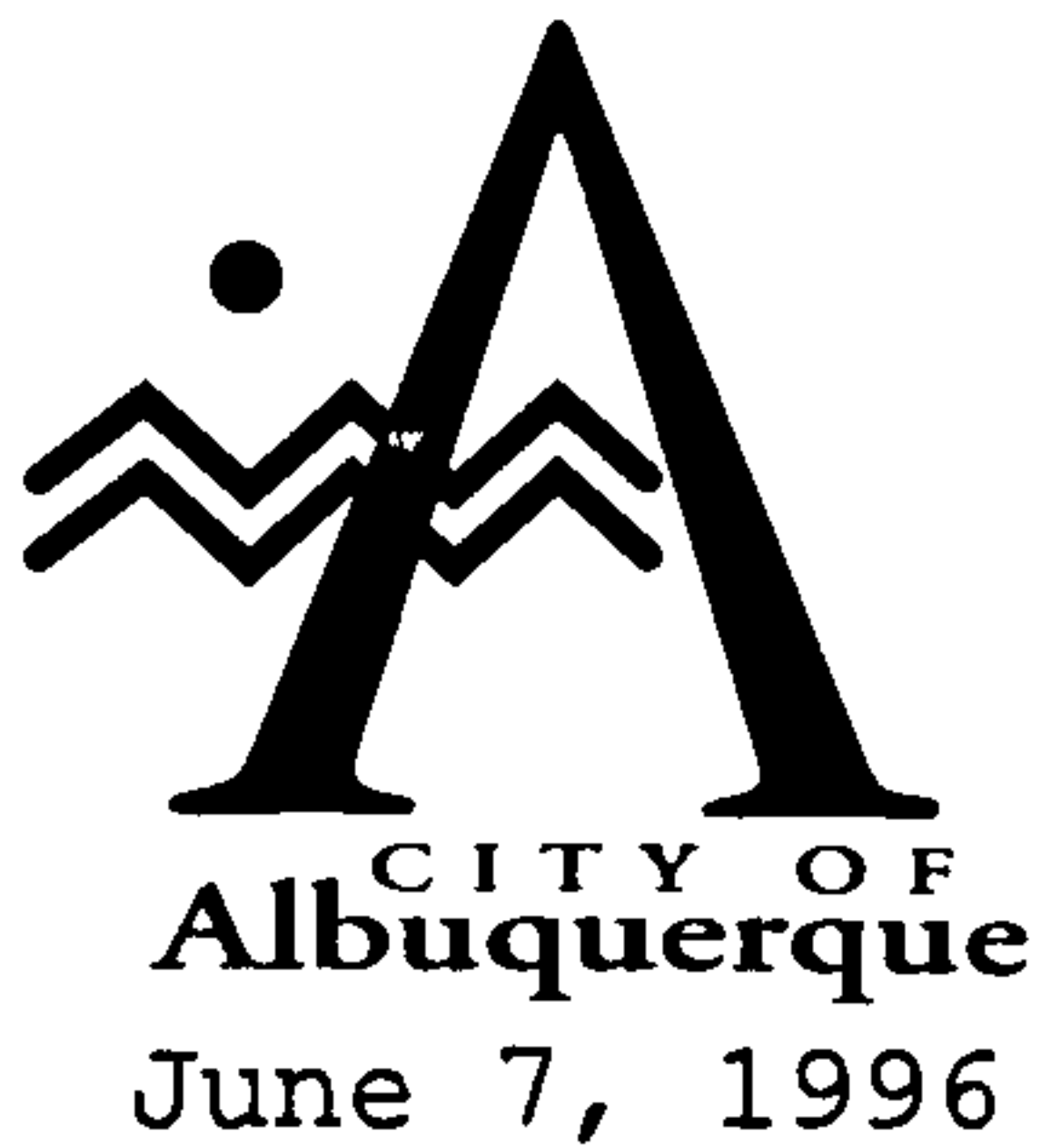


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File

Good for You, Albuquerque!





Martin J. Chávez, Mayor

Dave Larrow
Holmes & Narver Inc.
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

**RE: MANOR CARE - SANDIA ARCADIA (F21-D65) GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED,
FEBRUARY 27, 1995.**

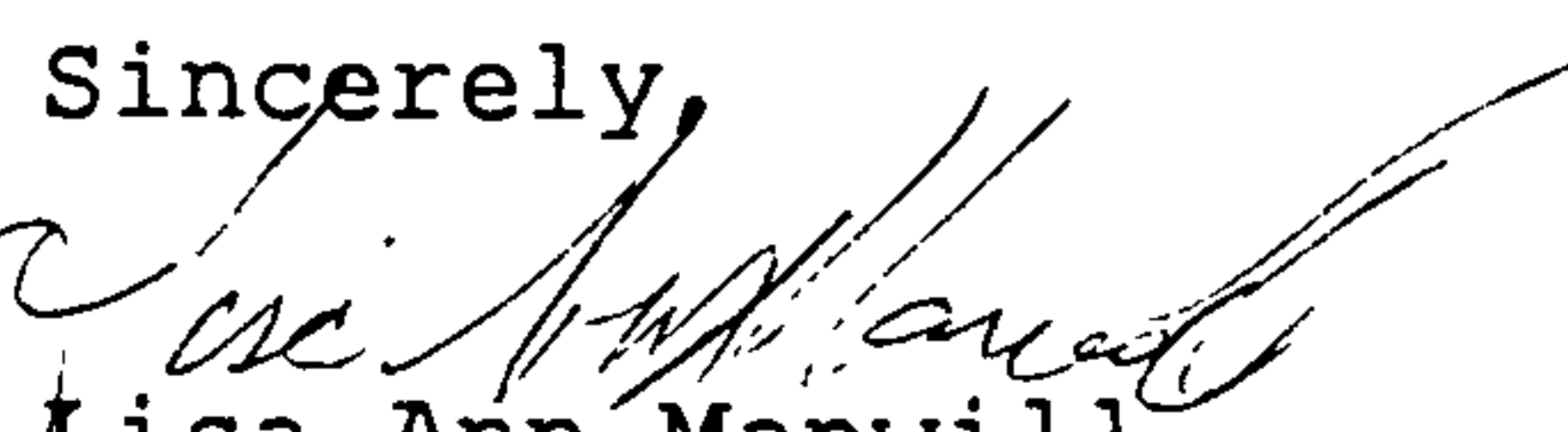
Dear Mr. Larrow:

Based on the information provided on your March 5, 1996
submittal, and the required drainage easements being obtained,
the above referenced project is approved for Building and SO #19
Permits.

Prior to Certificate of Occupancy approval, an Engineer's
Certification will be required.

If I can be of further assistance, or you have any questions,
please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 18, 1996

Dave Larrow
Holmes & Narver Inc.
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

**RE: MANOR CARE - SANDIA ARCADIA (F21-D65) GRADING AND DRAINAGE
PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED
FEBRUARY 27, 1995.**

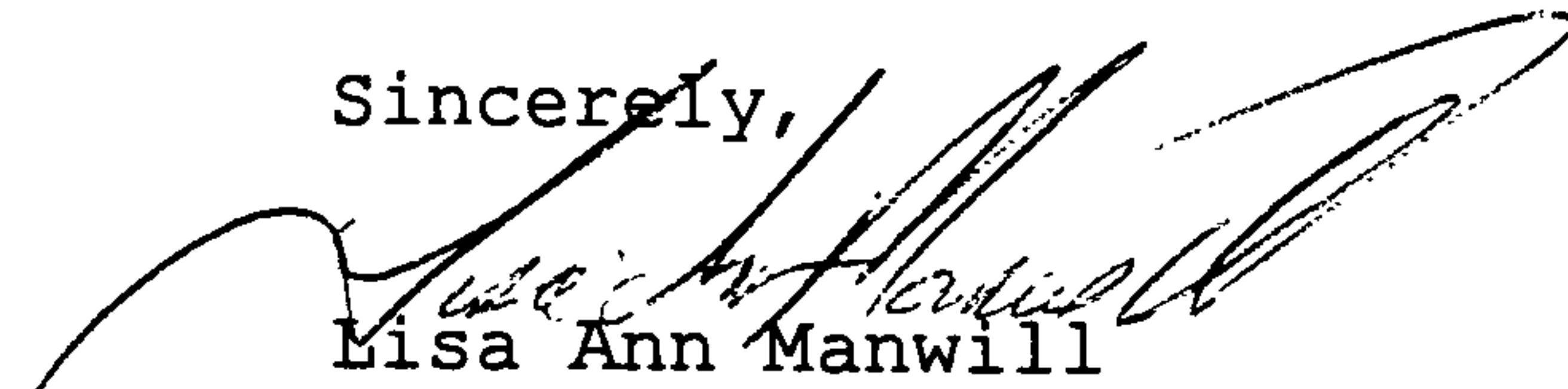
Dear Mr. Larrow:

Based on the information provided on your March 5, 1996 submittal, the above referenced project is conditionally approved for Building and SO #19 Permits.

Prior to final approval, a signed (both parties) drainage covenant for the channel will be required. The maintenance of the channel will be the property owners responsibility. The channel maintenance must be defined in the covenant. Please contact me as soon as the document has been signed, so that I can expedite your final approval.

If I can be of further assistance, or you have any questions, please feel free to contact me at 768-3622.

Sincerely,



Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Mark Allard - Manor Healthcare Corp.
Andrew Garcia
File

Rectangular Channel Analysis & Design
Open Channel - Uniform Flow

Worksheet Name: MANDR CARE

Comment: SANDIA

Solve For Depth

Given Input Data:

Bottom Width.....	2.00 ft
Manning's n.....	0.013
Channel Slope....	0.0542 ft/ft
Discharge.....	12.50 cfs

Computed Results:

Depth.....	0.49 ft	< 7" or 0.58 ft
Velocity.....	12.70 fps	
Flow Area.....	0.98 sf	
Flow Top Width...	2.00 ft	
Wetted Perimeter..	2.98 ft	
Critical Depth...	1.07 ft	
Critical Slope...	0.0063 ft/ft	
Froude Number....	3.19	(flow is Supercritical)

∴ 2 sidewalk drains are OK

Rectangular Channel Analysis & Design
Open Channel - Uniform Flow

Worksheet Name: MANDR CARE

Comment: SANDIA

Solve For Depth

Given Input Data:

Bottom Width.....	2.00 ft
Manning's n.....	0.013
Channel Slope....	0.0542 ft/ft
Discharge.....	12.50 cfs

Computed Results:

Depth.....	0.49 ft	< 7" or 0.58 ft
Velocity.....	12.70 fps	
Flow Area.....	0.98 sf	
Flow Top Width....	2.00 ft	
Wetted Perimeter..	2.58 ft	
Critical Depth...	1.07 ft	
Critical Slope...	0.0063 ft/ft	
Froude Number....	3.19	(flow is Supercritical)

∴ 2 sidewalk drains are OK



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 26, 1995

Dave Larrow
Holmes & Narver Inc.
6501 Americas Parkway NE Suite 700
Albuquerque, NM 87110

RE: MANOR CARE - SANDIA ARCADIA (F21-D65) CONCEPTUAL GRADING AND DRAINAGE PLAN FOR SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED DECEMBER 20, 1995.

Dear Mr. Larrow:

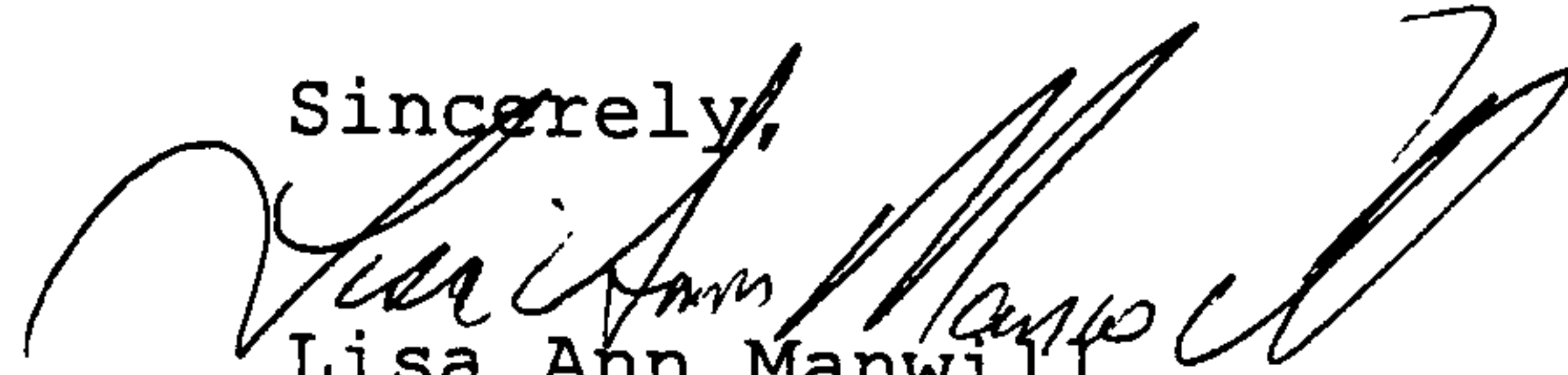
Based on the information provided on your December 20, 1995 submittal, the above referenced project is approved for Site Development Plan for Building Permit.

Along with all D.P.M. and SO #19 required items, please address the following comments with your next submittal:

1. Why does the width of the concrete channel (Section A-A) vary? Does the rate of flow change from the beginning of the channel (north end) to the channel outlet (south end)?
2. What is the minimum height (from existing grade to top of wall) of the existing retaining wall shown in Section A-A?
3. Please provide some type of safety fencing/barrier for the concrete channel wall shown in Detail B. I am concerned that a person walking in the vicinity may not see the 2 foot vertical drop.
4. It appears that proposed improvements to this site are a building and a channel. Please include a short narrative on plan sheet describing all proposed construction.

If I can be of further assistance, or you have any questions, please feel free to contact me at 768-3622.

Sincerely,


Lisa Ann Manwill
Engineering Assoc./Hyd.

c: Andrew Garcia
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 20, 1995

Paul Brasher
Brasher & Lorenz Engineering
4425 Juan Tabo Blvd. NE Suite 202
Albuquerque, NM 87111

RE: DRAINAGE PLAN FOR MANOR CARE-SANDIA (F21-D65)
ENGINEER'S STAMP DATED 10/17/95.

Dear Mr. Brasher:

Based on the information provided on your October 17, 1995 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File