

SITE DATA

LOCATION: 4700 EUBANK BLVD. NE
ALBUQUERQUE, NM 87111

LEGAL DESCRIPTION: LOT 012, BLOCK 022, TRACT, A UNIT A
NORTH ALBUQUERQUE ACRES

UPC #: 102106103214630404

OWNER: HAGEN PROPERTIES LLC
PO BOX 10837
ALBUQUERQUE NM 87184

CURRENT ZONING: MX-T

ZONE ATLAS PAGE: F-21

BUILDING CONSTRUCTION: 5B (NON-SPRINKLED AND SPRINKLED)

APPLICABLE CODE: 2015 IBC

TOTAL LOT AREA: (1.00 AC) 43,560 S.F.

MAX. BUILDING HEIGHT ALLOWED: 30 FEET

MAX. BUILDING HEIGHT: 23 FEET

MAX. BUILDING FOOTPRINT AREA: 8,575 S.F.

NET LOT AREA (GROSS LOT AREA): 34,985 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 19.7 %

PAVED AREA: 28,342 S.F.

LANDSCAPE AREA: 6,605 S.F.

LANDSCAPE % NET LOT AREA: 15.1 %

LANDSCAPE TO PAVED AREA RATIO: 1 : 4.29

REQUIRED PARKING: 44 SPACES

MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA
8,613 S.F. / 1000 SF GFA = 8.613 x 5 = 43.06 SPACES

PARKING PROVIDED: 51 ON-SITE SPACES SPACES

REQUIRED H.C. PARKING: 3 SPACES (1 VAN)

H.C. PARKING PROVIDED: 3 SPACES (1 VAN)

REQUIRED MOTORCYCLE PARKING: 3 SPACES

MOTORCYCLE PARKING PROVIDED: 3 SPACES

REQUIRED BICYCLE PARKING: 5 SPACES

BICYCLE PARKING PROVIDED: 5 SPACES

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GENERAL NOTES

A. FIRE FLOW REQUIREMENTS
BUILDING #1:
CONSTRUCTION TYPE: 5B NON-SPRINKLERED
FINAL MAX SQUARE FOOTAGE: 10,000 SF
FIRE FLOW PER TABLE B105.1(2): 1,500 GPM
ACTUAL REQUIRED PER TABLE B105.2: 1,500 GPM @ 2 HOUR DURATION

BUILDING #2:
CONSTRUCTION TYPE: 5B SPRINKLERED
FINAL MAX SQUARE FOOTAGE: 10,000 SF
SPRINKLERED: 1/2" VALUE IN TABLE B105.1(2)
FIRE FLOW PER TABLE B105.1(2): 2,000 GPM
ACTUAL REQUIRED PER TABLE B105.2: 1,500 GPM @ 2 HOUR DURATION

TOTAL
ACTUAL TOTAL REQUIRED PER TABLE B105.2: 3,000 GPM @ 2 HOUR DURATION
NUMBER OF HYDRANTS REQUIRED PER TABLE C102.1: 3
FIRE LANE: LESS THAN 150 FEET

B. ALL FIRE APPARATUS ACCESS ROAD SURFACES SHALL BE CAPABLE OF SUPPORTING 75,000 POUNDS.

C. FIRE ACCESS ROADS SHALL NOT EXCEED 10 PERCENT GRADE.

D. KEY BOXES SHALL BE LOCATED AT THE MAIN BUILDING ENTRY AND SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE. KEY BOX SHALL BE ILLUMINATED.

E. REFERENCE 2015 INTERNATIONAL FIRE CODE APPENDIX B, C, AND D, FOR CODE CRITERIA.

F. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.





G. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.

H. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

1. EXISTING FIRE HYDRANT.
2. PROPOSED NEW FIRE HYDRANT PER CITY OF ALBUQUERQUE FIRE DEPT. STANDARDS.
3. "KNOX BOX" INSTALLED PER BERNALILLO COUNTY FIRE DEPT. AT 5'-0" ABOVE FINISH GRADE.
4. CURB PAINTED RED WITH "NO PARKING FIRE LANE" PER IFC SECTION 505.3 MARKINGS.
5. 12" TALL BUILDING ADDRESS NUMBERS MOUNTED TO BUILDING FACE NEAR THE TOP OF THE WALL.
6. FIRE DEPARTMENT CONNECTION (SIAMESE CONNECTION)

LEGEND

	NEW ASPHALT PAVING
	NEW CONCRETE PAVING
	NEW LANDSCAPING
	NO WORK THIS AREA



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4700 EUBANK BLVD NE
ALBUQUERQUE, NM 87113

FIRE 1



A1 FIRE 1 - SITE PLAN
1/16" = 1'-0"

Adrian Marez

ADRIAN MAREZ COA SOLID WASTE DEPARTMENT CONDITIONAL APPROVAL FOR ACCESS 11-15-22

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GENERAL NOTES

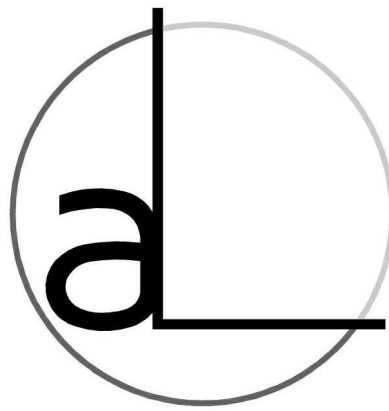
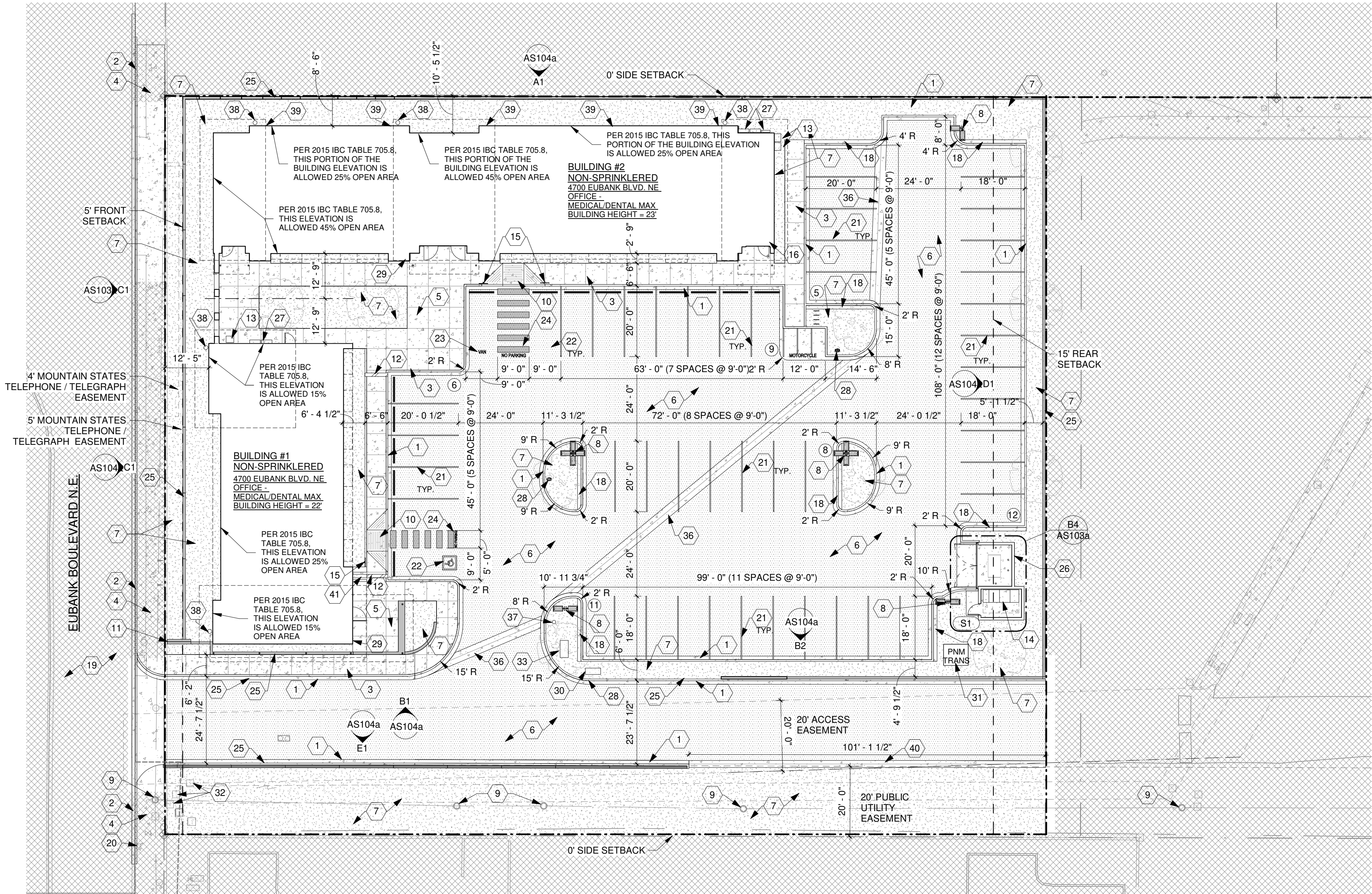
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
- VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
- LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

- CONCRETE CURB AND GUTTER, RE: D1/AS102a.
- EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
- CONCRETE SIDEWALK PER DETAIL D3/AS102a.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4" THICK CONCRETE FLAST WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE. RE: D4/AS102a.
- ASPHALT PAVING, RE: SOILS REPORT.
- LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C5/AS102a.
- EXISTING POWER POLE TO REMAIN.
- ACCESSIBLE SIDEWALK RAMP, RE: C4/AS102a.
- MONUMENT SIGN, RE: A1 & A3/AS102a.
- 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT. PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1-1/2"x1-1/2"x1/4" STEEL ANGLE, PAINT, TYPICAL. RE: A4/AS102a.
- GAS METER.
- ELECTRICAL GEAR ENCLOSURE WITH DISCONNECT AND METER. SEE ELECTRICAL DRAWINGS.
- ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B2/AS102a.
- BICYCLE RACK, RE: B4/AS102a.
- CONCRETE HEADER CURB, RE: D2/AS102a.
- 4" THICK, 12" WIDE CONCRETE FLATWORK FLUSH WITH TOP OF CURB.
- EXISTING ASPHALT PAVEMENT.
- EXISTING FIRE HYDRANT.
- PARKING STRIPING - 4" WIDE - SAFETY WHITE.
- HANDICAP PARKING SPACE WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
- HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
- HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACE.
- NEW RETAINING WALL, RE: C4/AS103a.
- TRASH ENCLOSURE, RE: A1/AS102a.
- ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS.
- NEW FIRE HYDRANT.
- "KNOX BOX" INSTALLED PER FIRE DEPT STANDARDS.
- LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE, RE: LANDSCAPE FOR REQUIREMENTS.
- ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS.
- COMMUNICATIONS PEDESTAL, RE: ELECTRICAL DRAWINGS.
- WATER UTILITY REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE, RE: CIVIL FOR REQUIREMENTS.
- BOLLARD LIGHT, RE: ELECTRICAL DRAWINGS.
- EXISTING POWER POLE TO REMAIN.
- 3'-0" CONCRETE VALLEY GUTTER, RE: CIVIL.
- FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE.
- DOWNSPOUT CONNECTION TO STORM DRAIN, RE: CIVIL DETAIL.
- ROOF DRAIN CONNECTION TO STORM DRAIN, RE: DETAIL A5/AS102a.
- 2'-0" VALLEY GUTTER, RE: B5/AS102a.
- 2'-0" WIDE CONCRETE CHANNEL.

LEGEND

	NEW ASPHALT PAVING
	NEW CONCRETE PAVING
	NEW LANDSCAPING
	NO WORK THIS AREA



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ARCHITECT/ENGINEER



4700 EUBANK OFFICE DEVELOPMENT

4700 EUBANK BLVD NE
ALBUQUERQUE, NM 87113

REVISIONS

REV DATE DESCRIPTION

DATE 09-26-2022

PROJECT NO. 21-018

DRAWING NAME

SITE PLAN

SHEET NO.

AS101a