

SITE DATA

LOCATION: 4700 EUBANK BLVD. NE
ALBUQUERQUE, NM 87111

LEGAL DESCRIPTION: LOT 012, BLOCK 022, TRACT, A UNIT A
NORTH ALBUQUERQUE ACRES

UPC #: 102106103214630404

OWNER: HAGEN PROPERTIES LLC
PO BOX 10837
ALBUQUERQUE NM 87184

CURRENT ZONING: MX-T

ZONE ATLAS PAGE: F-21

BUILDING CONSTRUCTION: 5B (NON-SPRINKLED AND SPRINKLED)

APPLICABLE CODE: 2015 IBC

TOTAL LOT AREA: (1.00 AC) 43,560 S.F.

MAX. BUILDING HEIGHT ALLOWED: 30 FEET

MAX. BUILDING HEIGHT: 23 FEET

MAX. BUILDING FOOTPRINT AREA: 8,818 S.F.

NET LOT AREA (GROSS LOT AREA): 34,985 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 19.7 %

PAVED AREA: 28,342 S.F.

LANDSCAPE AREA: 6,605 S.F.

LANDSCAPE % NET LOT AREA: 15.1 %

LANDSCAPE TO PAVED AREA RATIO: 1 : 4.29

REQUIRED PARKING: 44 SPACES
MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA
8,613 S.F. / 1000 SF GFA = 8.613 x 5 = 43.06 SPACES

PARKING PROVIDED: 51 ON-SITE SPACES SPACES

REQUIRED H.C. PARKING: 3 SPACES (1 VAN)

H.C. PARKING PROVIDED: 3 SPACES (1 VAN)

REQUIRED MOTORCYCLE PARKING: 3 SPACES

MOTORCYCLE PARKING PROVIDED: 3 SPACES

REQUIRED BICYCLE PARKING: 5 SPACES

BICYCLE PARKING PROVIDED: 5 SPACES

GENERAL NOTES

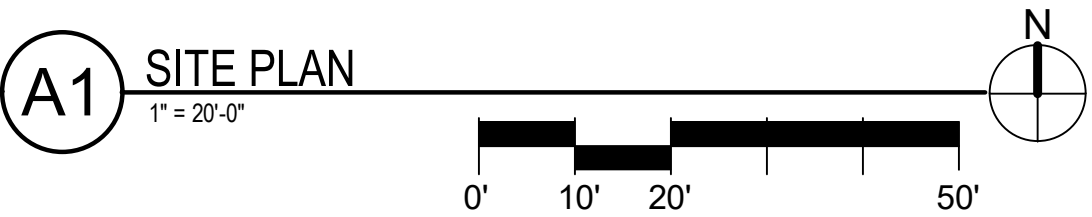
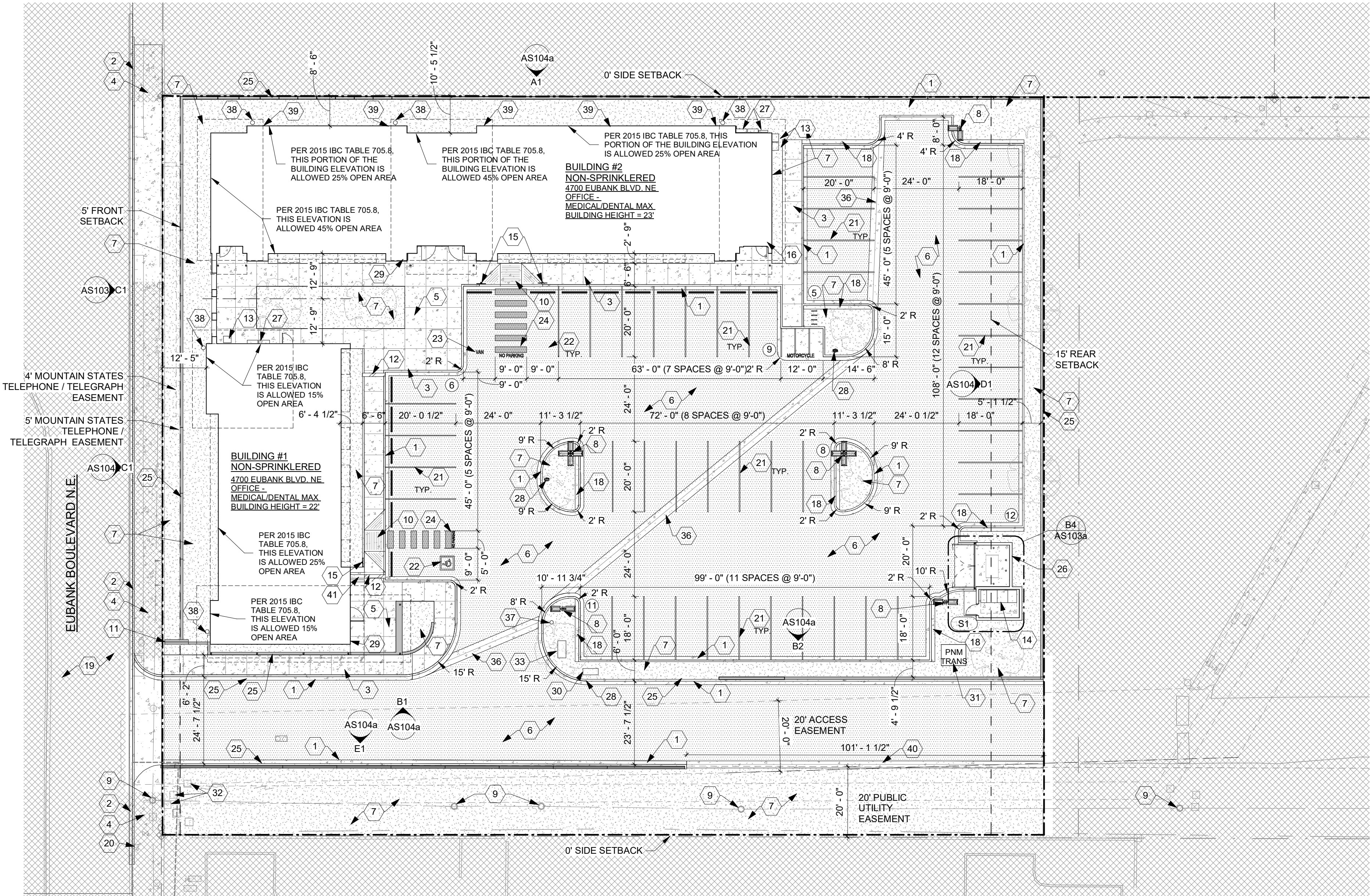
- A. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- B. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- C. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
- D. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
- E. LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- F. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

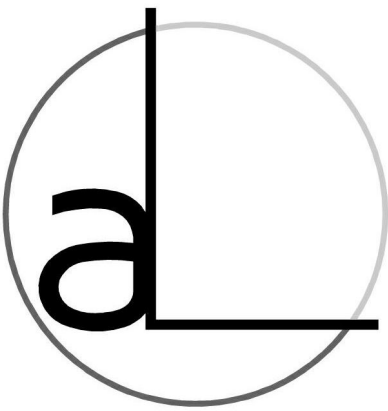
1. CONCRETE CURB AND GUTTER, RE: D1/AS102a.
2. EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
3. CONCRETE SIDEWALK PER DETAIL D3/AS102a.
4. EXISTING CONCRETE SIDEWALK TO REMAIN.
5. 4" THICK CONCRETE FLAST WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE. RE: D4/AS102a.
6. ASPHALT PAVING, RE: SOILS REPORT.
7. LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
8. POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C5/AS102a.
9. EXISTING POWER POLE TO REMAIN.
10. ACCESSIBLE SIDEWALK RAMP, RE: C4/AS102a.
11. MONUMENT SIGN, RE: A1 & A3/AS102a.
12. 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT. PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1-1/2"x1-1/2"x1/4" STEEL ANGLE, PAINT, TYPICAL. RE: A4/AS102a.
13. GAS METER.
14. ELECTRICAL GEAR ENCLOSURE WITH DISCONNECT AND METER. SEE ELECTRICAL DRAWINGS.
15. ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B2/AS102a.
16. BICYCLE RACK, RE: B4/AS102a.
17. CONCRETE HEADER CURB, RE: D2/AS102a.
18. 4" THICK, 12" WIDE CONCRETE FLATWORK FLUSH WITH TOP OF CURB.
19. EXISTING ASPHALT PAVEMENT.
20. EXISTING FIRE HYDRANT.
21. PARKING STRIPING - 4" WIDE - SAFETY WHITE.
22. HANDICAP PARKING SPACE WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
23. HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
24. HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACE.
25. NEW RETAINING WALL, RE: C4/AS103a.
26. TRASH ENCLOSURE, RE: A1/AS102a.
27. ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS.
28. NEW FIRE HYDRANT.
29. "KNOX BOX" INSTALLED PER FIRE DEPT STANDARDS.
30. LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: LANDSCAPE FOR REQUIREMENTS.
31. ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS.
32. COMMUNICATIONS PEDESTAL, RE: ELECTRICAL DRAWINGS.
33. WATER UTILITY REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: CIVIL FOR REQUIREMENTS.
34. BOLLARD LIGHT, RE: ELECTRICAL DRAWINGS.
35. EXISTING POWER POLE TO REMAIN.
36. 3'-0" CONCRETE VALLEY GUTTER, RE: CIVIL.
37. FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE.
38. DOWNSPOUT CONNECTION TO STORM DRAIN, RE: CIVIL DETAIL.
39. ROOF DRAIN CONNECTION TO STORM DRAIN, RE: DETAIL A5/AS102a.
40. 2'-0" VALLEY GUTTER, RE: B5/AS102a.
41. 2'-0" WIDE CONCRETE CHANNEL.

LEGEND

- NEW ASPHALT PAVING
- NEW CONCRETE PAVING
- NEW LANDSCAPING
- NO WORK THIS AREA



A1 SITE PLAN
1" = 20'-0"



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ARCHITECT/ENGINEER



4700 EUBANK OFFICE DEVELOPMENT

4700 EUBANK BLVD NE
ALBUQUERQUE, NM 87113

BID / PERMIT SET

REVISIONS

REV DATE DESCRIPTION

DATE 10-25-2022

PROJECT NO. 21-018

DRAWING NAME

SITE PLAN

SHEET NO.

AS101a