

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 2, 2022

R. Jarrod Cline, RA  
arcLINE Architectural Design LLC  
PO Box 91462  
Albuquerque, NM 87199

**Re: 4700 Eubank Development**  
**4700 Eubank Blvd. NE**  
**Traffic Circulation Layout**  
Architect's Stamp 10-25-22 (F21-D073)

Dear Mr. Cline,

Based upon the information provided in your submittal received 11-14-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Eubank Blvd. NE.
4. Driveway access off Eubank Blvd.: this access need to be built per COA std dwg 2426, and radius need to be provided. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
5. Key note 10: Provide details for the interior ADA ramps, or reference COA std dwg.
6. Key note 16: Please revise the site plan because key note 16 is referring to the building and it should be referred to the Bike Rack. Also, please provide Bike Racks' details.
7. ADA curb ramps on the City Right of Way must be updated to current standards and have truncated domes installed.
8. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
10. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way. provide a copy of refuse approval.
11. Provide a copy of Fire Marshal approval.
12. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
13. Please specify the City Standard Drawing Number when applicable.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

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14. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
15. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
16. Please provide a letter of response for all comments given.
17. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\ma via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** 4700 Eubank Development Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: 2 FAITH ADD'N CONT 2.0349 AC

City Address: 4700 Eubank Blvd NE, 87111

**Applicant:** arcLINE Architectural Design LLC Contact: Jarrod Cline

Address: PO Box 91462

Phone#: 505-681-7274 Fax#: None E-mail: jarrod@arcline-arch.com

**Owner:** HAGEN PROPERTIES LLC Contact: Eric Tidmore

Address: PO Box 10837, Albuquerque NM 87184

Phone#: 505-459-1696 Fax#: 505-299-6732 E-mail: eric@trinityconstructionnm.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10/28/2022 By: Jarrod Cline

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



SITE DATA

LOCATION: 4700 EUBANK BLVD. NE  
ALBUQUERQUE, NM 87111

LEGAL DESCRIPTION: LOT 012, BLOCK 022, TRACT, A UNIT A  
NORTH ALBUQUERQUE ACRES

UPC #: 102106103214630404

OWNER: HAGEN PROPERTIES LLC  
PO BOX 10837  
ALBUQUERQUE NM 87184

CURRENT ZONING: MX-T

ZONE ATLAS PAGE: F-21

BUILDING CONSTRUCTION: 5B (NON-SPRINKLED AND SPRINKLED)

APPLICABLE CODE: 2015 IBC

TOTAL LOT AREA: (1.00 AC) 43,560 S.F.

MAX. BUILDING HEIGHT ALLOWED: 30 FEET

MAX. BUILDING HEIGHT: 23 FEET

MAX. BUILDING FOOTPRINT AREA: 8,818 S.F.

NET LOT AREA (GROSS LOT AREA): 34,985 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 19.7 %

PAVED AREA: 28,342 S.F.

LANDSCAPE AREA: 6,605 S.F.

LANDSCAPE % NET LOT AREA: 15.1 %

LANDSCAPE TO PAVED AREA RATIO: 1 : 4.29

REQUIRED PARKING: 44 SPACES  
MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA  
8,613 S.F. / 1000 SF GFA = 8.613 x 5 = 43.06 SPACES

PARKING PROVIDED: 51 ON-SITE SPACES SPACES

REQUIRED H.C. PARKING: 3 SPACES (1 VAN)

H.C. PARKING PROVIDED: 3 SPACES (1 VAN)

REQUIRED MOTORCYCLE PARKING: 3 SPACES

MOTORCYCLE PARKING PROVIDED: 3 SPACES

REQUIRED BICYCLE PARKING: 5 SPACES

BICYCLE PARKING PROVIDED: 5 SPACES

GENERAL NOTES

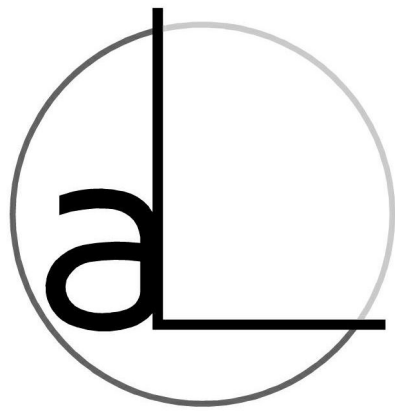
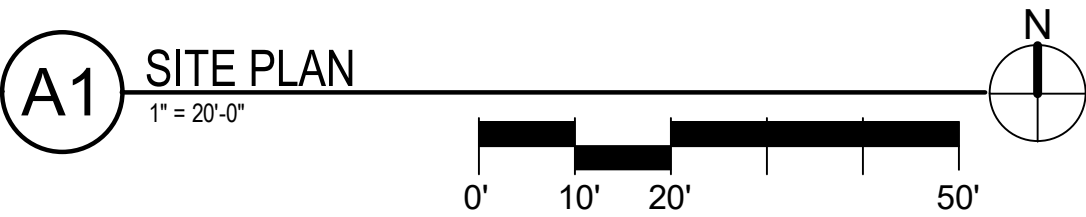
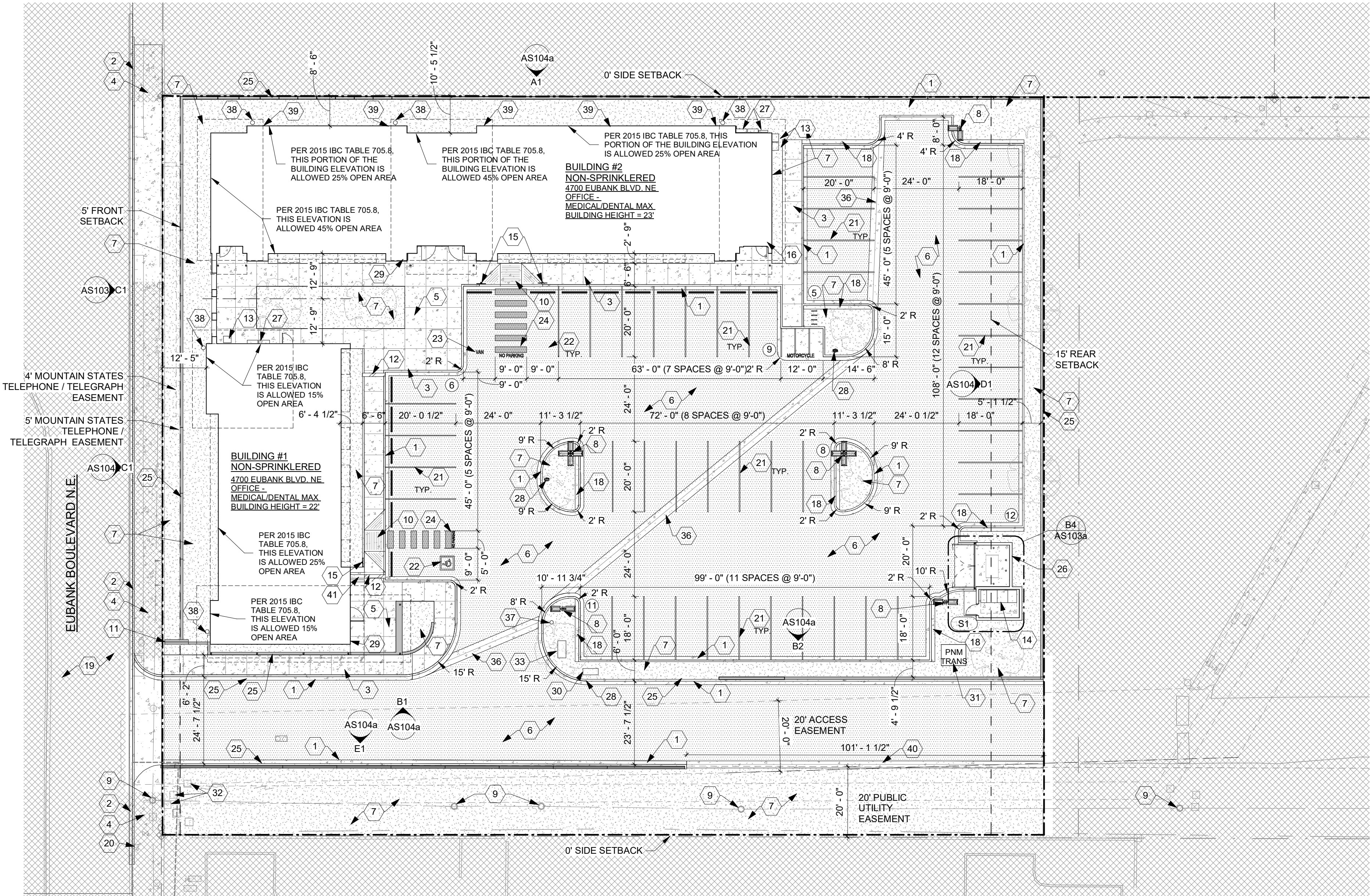
- A. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- B. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- C. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
- D. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
- E. LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- F. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

1. CONCRETE CURB AND GUTTER, RE: D1/AS102a.
2. EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
3. CONCRETE SIDEWALK PER DETAIL D3/AS102a.
4. EXISTING CONCRETE SIDEWALK TO REMAIN.
5. 4" THICK CONCRETE FLAST WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE. RE: D4/AS102a.
6. ASPHALT PAVING, RE: SOILS REPORT.
7. LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
8. POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C5/AS102a.
9. EXISTING POWER POLE TO REMAIN.
10. ACCESSIBLE SIDEWALK RAMP, RE: C4/AS102a.
11. MONUMENT SIGN, RE: A1 & A3/AS102a.
12. 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT. PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1-1/2"x1-1/2"x1/4" STEEL ANGLE, PAINT, TYPICAL. RE: A4/AS102a.
13. GAS METER.
14. ELECTRICAL GEAR ENCLOSURE WITH DISCONNECT AND METER. SEE ELECTRICAL DRAWINGS.
15. ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B2/AS102a.
16. BICYCLE RACK, RE: B4/AS102a.
17. CONCRETE HEADER CURB, RE: D2/AS102a.
18. 4" THICK, 12" WIDE CONCRETE FLATWORK FLUSH WITH TOP OF CURB.
19. EXISTING ASPHALT PAVEMENT.
20. EXISTING FIRE HYDRANT.
21. PARKING STRIPING - 4" WIDE - SAFETY WHITE.
22. HANDICAP PARKING SPACE WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
23. HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
24. HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACE.
25. NEW RETAINING WALL, RE: C4/AS103a.
26. TRASH ENCLOSURE, RE: A1/AS102a.
27. ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS.
28. NEW FIRE HYDRANT.
29. "KNOX BOX" INSTALLED PER FIRE DEPT STANDARDS.
30. LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: LANDSCAPE FOR REQUIREMENTS.
31. ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS.
32. COMMUNICATIONS PEDESTAL, RE: ELECTRICAL DRAWINGS.
33. WATER UTILITY REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: CIVIL FOR REQUIREMENTS.
34. BOLLARD LIGHT, RE: ELECTRICAL DRAWINGS.
35. EXISTING POWER POLE TO REMAIN.
36. 3'-0" CONCRETE VALLEY GUTTER, RE: CIVIL.
37. FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE.
38. DOWNSPOUT CONNECTION TO STORM DRAIN, RE: CIVIL DETAIL.
39. ROOF DRAIN CONNECTION TO STORM DRAIN, RE: DETAIL A5/AS102a.
40. 2'-0" VALLEY GUTTER, RE: B5/AS102a.
41. 2'-0" WIDE CONCRETE CHANNEL.

LEGEND

- NEW ASPHALT PAVING
- NEW CONCRETE PAVING
- NEW LANDSCAPING
- NO WORK THIS AREA



arcLINE  
Architectural Design LLC  
PO Box 91462  
Albuquerque  
New Mexico 87199  
P 505.681.7274  
www.arcLINE-arch.com

ARCHITECT/ENGINEER



4700 EUBANK OFFICE DEVELOPMENT  
4700 EUBANK BLVD NE  
ALBUQUERQUE, NM 87113

BID / PERMIT SET

REVISIONS

REV DATE DESCRIPTION

DATE 10-25-2022

PROJECT NO. 21-018

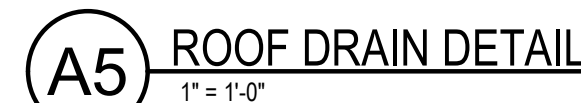
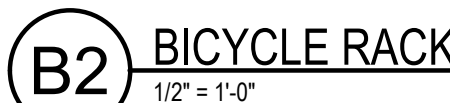
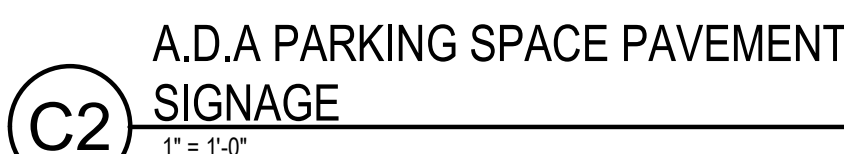
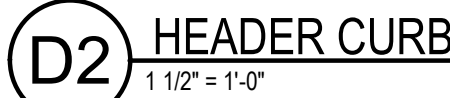
DRAWING NAME

SITE PLAN

SHEET NO.

AS101a





ARCHITECT/ENGINEER



BID / PERMIT SET

REVISIONS		
REV	DATE	DESCRIPTION

DATE	10-25-2022
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PROJECT NO.	21-018
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DRAWING NAME

## SITE DETAILS

SHEET NO.

AS102a