

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 1, 2022

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: Office Development**  
**4700 Eubank Blvd NE**  
**Grading & Drainage Plans**  
**Engineer's Stamp Date: 10/12/22**  
**Hydrology File: F21D073**

Dear Mr. Miller:

Based upon the information provided in your submittal received 10/26/2022, the Grading & Drainage Plans are approved for Building Permit, Grading Permit and SO-19 Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the Drainage Covenant with Exhibit A for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Carrie Compton ([cacompton@cabq.gov](mailto:cacompton@cabq.gov)) on the 4th floor of Plaza de Sol.
3. Please pay the Payment-in-Lieu of \$ 2,624.00 by emailing the attached approved Waiver Application from Stormwater Quality Volume Management On-site to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Once this is received, a receipt will then produce and email back with instructions on how to pay online. Once paid, please email me proof of payment.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
**HYDROLOGY DEVELOPMENT SECTION**

**WAIVER APPLICATION FROM STORMWATER  
QUALITY VOLUME MANAGEMENT ON-SITE**

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**GENERAL INFORMATION**

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APPLICANT: Hagen Properties LLC DATE: 12-1-2022

DEVELOPMENT: 4700 Eubank Office Development

LOCATION: 4700 Eubank NE, Albuquerque, NM 87111

2 FAITH ADD'N CONT 2.0349 AC

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**STORMWATER QUALITY POND VOLUME**

Per the DPM Article 6-12 - Stormwater Quality and Low-Impact Development, the calculated sizing for required Stormwater Quality Pond volume is equal to the impervious area draining to the BMP multiplied by 0.42 inches for new development sites and by 0.26 inches for redevelopment sites.

The required volume is 850 cubic feet

The provided volume is 522 cubic feet

The deficient volume is 328 cubic feet

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**WAIVER JUSTIFICATION**

Per the DPM Article 6-12(C), private off-site mitigation and payment-in-lieu may only be considered if management on-site is waived in accordance with the following criteria and procedures.

1. Management on-site shall be waived by the City Engineer if the following conditions are met:




- a. Stormwater quality can be effectively controlled through private off-site mitigation or through an arrangement (approved by the City) to use a cooperator's existing regional stormwater management infrastructure or facilities that are available to control stormwater quality.
  - b. Any of the following conditions apply:
    - i. The lot is too small to accommodate management on site while also accommodating the full plan of development.
    - ii. The soil is not stable as demonstrated by a geotechnical report certified by a professional engineer licensed in the State of New Mexico.
    - iii. The site use is inconsistent with the capture and reuse of stormwater.
    - iv. Other physical conditions exist where compliance with on-site stormwater quality control leaves insufficient area.
    - v. Public or private off-site facilities provide an opportunity to effectively accomplish the mitigation requirements of the Drainage Ordinance (Part 14-5-2 ROA 1994) as demonstrated on as-built construction drawings and an approved drainage report.
    - vi. The developer constructs a project to replenish regional groundwater supplies at an off-site location.
    - vii. A waiver to State water law or acquisition of water rights would be required in order to implement management on site.
2. The basis for requesting payment-in-lieu or private off-site mitigation is to be clearly demonstrated on the drainage plan.

This project's justification: \_\_\_\_\_

The site is currently developed and there are minimal areas available for a water quality pond as a part of the redevelopment

of this site. As such, the owner is requesting to make payment in lieu of water quality ponding for this project.

  
\_\_\_\_\_  
Professional Engineer or Architect

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## PAYMENT-IN-LIEU

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Per the DPM Article 6-12(C)(1), the amount of payment-in-lieu is deficient volume (cubic feet) times \$6 per cubic feet for detached single-family residential projects or \$8 per cubic feet for all other projects.

AMOUNT OF PAYMENT-IN-LIEU = \$ 2,624.00

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## THIS SECTION IS FOR CITY USE ONLY

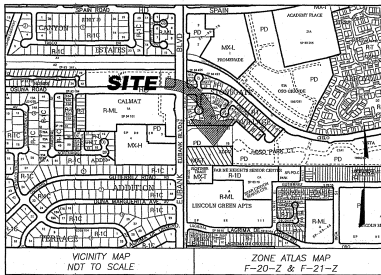
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☒ Waiver is approved. The amount of payment-in-lieu from above must be paid prior to Certificate of Occupancy.

☐ Waiver is DENIED.

*Renée C. Brissette*  
City of Albuquerque  
Hydrology Section

12/01/22



#### PURPOSE OF PLAT:

THE PURPOSE OF THIS REPLAT IS TO SUBDIVIDE LOT 2, FAITH ADDITION INTO 2 SEPARATE LOTS, GRANT A 20' PRIVATE WATER AND PRIVATE SEWER EASEMENT, GRANT A 20' PRIVATE ACCESS EASEMENT, GRANT A CROSS LOT DRAINAGE EASEMENT AND DEDICATE ADDITIONAL RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE AS SHOWN HEREON.

#### SUBDIVISION DATA:

DRB PROJ. NO. \_\_\_\_\_ GROSS SUBDIVISION ACREAGE 2.3467 ACRES  
ZONE ATLAS INDEX NO. F-20-2 & F-21-2 CURRENT ZONING MX-1  
DATE OF SURVEY AUGUST 2025  
TOTAL NO. OF LOTS EXISTING \_\_\_\_\_  
TOTAL NO. OF LOTS CREATED 2  
TOTAL MILEAGE OF STREETS CREATED 0.00 MILES  
TOTAL MILEAGE OF 1/2 WIDTH STREETS CREATED 0.00 MILES

#### NOTES:

- FIELD SURVEY PERFORMED IN AUGUST 2020.
- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- ALBUQUERQUE CONTROL STATIONS USED:  
ALBUQUERQUE CONTROL STATION "30-171 1995" DATA:  
STANDARD CITY OF ALBUQUERQUE 3 1/4 INCH ALUMINUM DISC (FOUND IN PLACE)  
NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
X=1,556,640.546 US SURVEY FEET Y=1,552,367.887 US SURVEY FEET  
ELEV.=5,608.768 US SURVEY FEET (NAD 1988)  
GROUND TO GRID FACTOR = 0.999643671 DELTA ALPHA = (-)00'09"39.03"
- ALBUQUERQUE CONTROL STATION "31-171 1995" DATA:  
STANDARD CITY OF ALBUQUERQUE 3 1/4 INCH ALUMINUM DISC (FOUND IN PLACE)  
NAD 1983 NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
X=1,558,298.549 US SURVEY FEET Y=1,553,005.627 US SURVEY FEET  
ELEV.=5,639.332 US SURVEY FEET (NAD 1988)  
GROUND TO GRID FACTOR = 0.999641635 DELTA ALPHA = (-)00'09"28.96"
- BASIS OF BEARING -- NAD 83 STATE PLANE, NM CENTRAL ZONE GRID BEARINGS USING FOUND MONUMENTS REFERENCED ABOVE IN NOTE NO. 3. (088707473).
- CORNERS IDENTIFIED AS "SET", ARE 1/2" REBAR WITH CAP STAMPED "CA MEDINA PS 15702", AND DEPICTED AS --(R)--, UNLESS OTHERWISE INDICATED.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ( ) ARE PER RECORDED PLAT REFERENCED IN DOCUMENTS USED.

#### SOLAR COLLECTOR NOTE:

NO PROPERTY WITHIN THE AREA OF THIS PLATTING SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT, OR BONDING AGREEMENT PREVENTING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT.

#### SURVEYOR'S CERTIFICATE:

I, CHRISTOPHER A. MEDINA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 15702, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST, MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE JULY 24, 2016; AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Christopher A. Medina APRIL 20, 2022  
CHRISTOPHER A. MEDINA, NMPLS NO. 15702 DATE

#### LEGAL DESCRIPTION:

LOT 2, FAITH ADDITION, AS THE SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF FAITH ADDITION" RECORDED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK'S OFFICE ON AUGUST 1, 1972, IN VOLUME CB, FOLIO 163, SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 33, TOWNSHIP 11 NORTH, RANGE 4 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, STATE OF NEW MEXICO, SAID TRACT OF LAND HEREIN DESCRIBED CONTAINS 2.3468 ACRES (102,055.31 SQUARE FEET) MORE OR LESS.

#### FREE CONSENT AND DEDICATION:

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THAT CERTAIN TRACT OF LAND HEREIN DESCRIBED AND BEING COMPRISED OF LOT 2, FAITH ADDITION, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDIVISIBLE TITLE IN FEE SIMPLE TO THE PARCELS HEREIN DESCRIBED, AND DO HEREBY GRANT EASEMENTS AS SHOWN HEREON AND DEDICATE TO THE CITY OF ALBUQUERQUE ADDITIONAL RIGHT-OF-WAY IN FEE SIMPLE WITH WARRANTY COVENANTS AS SHOWN HEREON, SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: Steve Lucero 5-25-2022  
LOTS 2-A & 2-B, FAITH ADDITION  
DATE  
BY: Hope Lucero 5-25-2022  
LOTS 2-A & 2-B, FAITH ADDITION  
DATE

#### ACKNOWLEDGMENT

STATE OF New Mexico )  
COUNTY OF Bernalillo )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 25 DAY OF May, 2022, BY STEVE LUCERO, LOTS 2-A & 2-B, FAITH ADDITION

NOTARY PUBLIC: Adrian July 19, 2025  
MY COMMISSION EXPIRES: July 19, 2025

#### ACKNOWLEDGMENT

STATE OF New Mexico )  
COUNTY OF Bernalillo )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 25 DAY OF May, 2022, BY HOPE LUCERO, LOTS 2-A & 2-B, FAITH ADDITION

NOTARY PUBLIC: Adrian July 19, 2025  
MY COMMISSION EXPIRES: July 19, 2025

#### DOCUMENTS USED:

- PLAT ENTITLED "FAITH ADDITION" FILED AUGUST 1, 1972 IN VOL. CB, FOLIO 163 WITH THE BERNALILLO COUNTY CLERKS OFFICE.
- PLAT ENTITLED "LOTS 1-A AND 1-B, FAITH ADDITION" FILED JULY 3, 1980 IN VOL. C17, FOLIO 10 WITH THE BERNALILLO COUNTY CLERKS OFFICE.
- PLAT ENTITLED "EAR NORTHEAST HEIGHTS SENIOR CENTER" FILED FEBRUARY 22, 1985 IN VOL. C26, FOLIO 99 WITH THE BERNALILLO COUNTY CLERKS OFFICE.
- PLAT ENTITLED "TRACT A PICHNER TRACT" FILED OCTOBER 1, 1996 IN VOL. 96C, FOLIO 450 WITH THE BERNALILLO COUNTY CLERKS OFFICE.
- PLAT ENTITLED "TRACT C-1-A-1, CIELO MSTA" FILED MAY 26, 2000 IN BK. 2000C, PG. 143 WITH THE BERNALILLO COUNTY CLERKS OFFICE.

#### PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PSC"), A NEW MEXICO CORPORATION, (PSC ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND ANY OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
- B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
- C. QWEST CORPORATION D/B/A CENTURYLINK FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
- D. COMCAST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL, DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, SECOND, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/ONTOHSEAR DOORS AND FIVE (5) FEET ON EACH SIDE.  
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PSC), NEW MEXICO GAS COMPANY (NMGCO) AND QWEST CORPORATION D/B/A CENTURYLINK DO NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON, CONSEQUENTLY, PSC, NMGCO, AND QWEST CORPORATION D/B/A CENTURYLINK DO NOT WAIVE OR RELEASE ANY EASEMENTS OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PLAT OF  
LOTS 2-A AND 2-B  
FAITH ADDITION  
SITUATE WITHIN  
PROJECTED SECTION 33, T. 11 N., R. 4 E., N.M.P.M.  
ELENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL 2022

PROJECT NUMBER: PR-2021-005089  
APPLICATION NUMBER: PS-2022-00037

UTILITY APPROVALS: RJA 05/20/2022  
PUBLIC SERVICE OF NEW MEXICO  
Jeff Estvanko  
NEW MEXICO GAS COMPANY  
Natalia Antonio  
QWEST CORPORATION D/B/A CENTURY LINK

DATE  
Date: 2022.05.20 15:59:25 -0600  
DATE  
4/26/22  
DATE  
5/20/22

#### CITY APPROVALS:

Lorena N. Bernalillo, P.S.  
CITY OF ALBUQUERQUE SURVEYOR  
N/A  
REAL PROPERTY DIVISION  
OFF PLAN  
CODE ENFORCEMENT  
Ernest Amigo  
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION  
Andre Houle  
ALBUQUERQUE BERNALILLO COUNTY WATER MUNICIPALITY AUTHORITY  
Parks & Recreation Department  
Shahab Buzar  
CITY ENGINEER  
DRB CHAIRPERSON, PLANNING DEPT.

#### THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE § 1-021-061-032146-3-04-04  
PROPERTY OWNER OF RECORD: STEVE AND HOPE LUCERO

#### BERNALILLO COUNTY TREASURER'S OFFICE:

#### NOTING INFORMATION FOR THE COUNTY CLERK:

OWNER: STEVE AND HOPE LUCERO  
LEGAL: LOTS 2-A & 2-B, FAITH ADDITION  
LOCATION: PROJECTED SECTION 33, T.11N., R.4E., N.M.P.M., ELENA GALLEGOS GRANT








TERRA LAND SURVEYS, LLC  
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-4513

SHEET 1 OF 2  
TERRA PROJECT NO. 2022-116

PLAT OF  
LOTS 2-A AND 2-B  
FAITH ADDITION  
SITUATE WITHIN  
SECTION 33, T. 11 N., R. 4 E., N.M.P.M.  
LENA GALLEGOS GRANT  
CITY OF ALBUQUERQUE  
LILLO COUNTY, NEW MEXICO  
APRIL 2022

LEGEND

-  FND. CONTROL MONUMENT (AS NOTED)  
 FND. REBAR W/CAP (UNLESS OTHERWISE NOTED)  
 FND. CHISELED "X"  
 SET 1/2" REBAR WITH CAP STAMPED  
     "CA MEDINA PS 15702"  
 ADDITIONAL R/W DEDICATED TO THE CITY OF  
     ALBUQUERQUE IN FEE SIMPLE  
     0.0038 AC./167.70 SQ. FT.

EASEMENT NOTES:

- A** 20.0' PUBLIC UTILITY EASEMENT  
08/01/1992  
VOL. 10, PLUD 163
- B** 4.0' MOUNTAIN STATE TELEPHONE  
& TELEGRAPH R/W EASEMENT  
10/16/1985  
MISC. BK. 185, PG. 667
- C** 3.0' MOUNTAIN STATE TELEPHONE  
TELEGRAPH R/W EASEMENT  
7/5/1979  
MISC. BK. 701, PG. 502
- D** LEASE AREA ACCESS & UTILITY EASEMENT  
6/15/2006  
BR. 4113, PG. 7394  
4/21/2000  
BR. 4113, PG. 6529  
11/19/2000  
DOC. NO. 2000127977
- E** 3.0' ORIENT EASEMENT  
6/15/2006  
DOC. NO. 200606702
- F** 20.0' PRIVATE WATER AND PRIVATE  
SANITARY SEWER EASEMENT TO BE  
CROSSED WITH THE FILING OF THIS PLAT
- G** 20.0' PRIVATE ACCESS EASEMENT TO BE  
CROSSED WITH THE FILING OF THIS PLAT
- H** A GRADED LOT DRAINAGE EASEMENT TO BE  
CROSSED WITH THE FILING OF THIS PLAT  
FOR THE BENEFIT OF LOT 2 - A AND LOT 3 -  
B AND C MAINTAINED BY OWNERS OF  
LOT 2 - A AND 2 - B

TRACT C-1-A-1  
CIELO VISTA  
(5/26/2000)  
(PLAT BK. 2000C, BK. 143)

GRAPHIC SCALE

0                      30                      60                      90

( IN FEET )  
1 inch = 30 ft.

**TERRA LAND SURVEYS, LLC**

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

SHEET 2 OF 2

TERRA PROJECT NO. 2020-118

EASEMENT TABLE											
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
E1	N00°04'48"E	72.00	E11	S89°34'35"W	21.69	E21	N08°05'05"W	20.00	E31	N00°04'48"E	25.00
E2	N00°51'28"E	156.53	E12	S04°00'34"W	51.02	E22	S88°51'29"W	1.55	E32	S89°49'05"E	25.00
E3	N00°04'48"E	25.00	E13	S00°00'00"W	1.00	E23	S00°00'00"W	1.00	E33	S00°00'00"W	1.00
E4	S29°23'14"W	97.84	E14	S29°41'27"E	7.18	E24	N89°43'48"E	28.69	E34	N89°49'05"E	25.00
E5	N60°10'39"W	6.09	E15	S04°00'34"W	4.78	E25	N01°17'12"E	18.55	E35	N60°17'42"E	5.00
E6	N29°45'33"E	8.78	E16	S00°00'00"W	1.76	E26	S00°00'00"W	1.00	E36	S24°33'57"E	8.77
E7	N00°14'29"E	25.00	E17	S00°00'00"W	1.00	E27	S00°00'00"W	1.00	E37	S00°00'00"W	1.00
E8	N29°08'41"E	46.47	E18	S85°15'59"W	145.30	E28	S59°34'38"E	11.46	E38	S88°40'04"E	15.50
E9	N01°50'02"W	23.67	E19	S00°05'12"E	16.06	E29	S51°12'26"E	18.92	E39	N04°54'12"E	8.06
E10	N00°14'29"E	25.00	E20	S00°00'00"W	1.00	E30	S00°00'00"W	1.00	E40	S29°23'14"W	16.16
E11	N00°04'48"E	21.00	E21	N00°04'48"E	19.95	E31	S00°04'48"E	8.78			

LINE	BEARING	DISTANCE
L1	N89°49'05"W	0.80'
L2	S89°55'12"E	0.80'
L3	S00°04'48"W	209.63'



△ DRAINAGE REPORT

SITE LOCATION

The existing site is an approximate 1.2-acre parcel located 4700 Eubank Boulevard NE in Albuquerque. The site is located on the east side of Eubank Boulevard north of Montgomery Boulevard can be accessed via Eubank Boulevard (see vicinity map this sheet).

EXISTING CONDITIONS

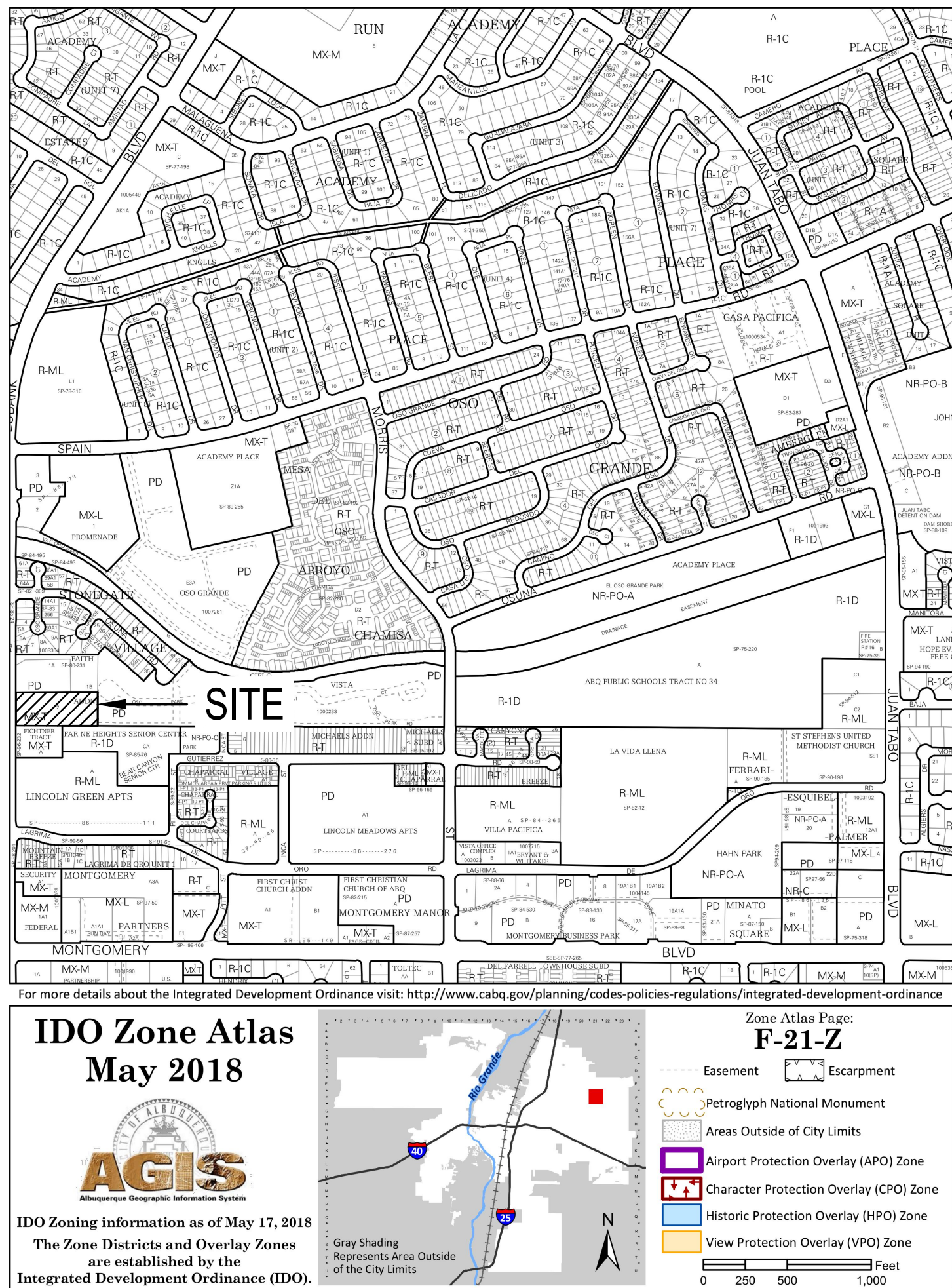
The existing site is a parcel that is estimated at 1.2-acres and is mostly developed with a paved asphalt parking lot area. The parcel to the east has a building and parking areas that was formerly a school and is not a part of this development. The site currently slopes from the east to west at a moderate slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of two new buildings to be located on the western portion of the site. Since the existing site is currently fully developed and there is a minimal increase in impervious area on the site. The total area of impervious disturbance for this site is estimated at 0.9 acres. The storm water quality volume for this disturbance area is estimated at 850 cubic feet. An effort has been made to accommodate storm water quality ponds in several islands located within the parking lot area. The total storm water quality pond volume is estimated at 522 cubic feet. The owner is requesting payment in lieu of for the difference in volume of 328 cubic feet. The drainage calculations and payment in lieu of calculations are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will increase by an estimated at 0.10 cfs and 0.012 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to its historical location west into Eubank Boulevard. Four storm water quality ponds have been provided on site. The owner is requesting payment in lieu of for the difference in volume of 328 cubic feet.



VICINITY MAP

ZONE MAP F-21-Z

DPM HYDROLOGY CALCULATIONS

Precipitation Zone 4 - 100-year Storm		P(360) = 2.92 in				P(1440) = 3.65 in			
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	1.20	0.00	0.00	0.37	0.83	2.28	0.228	0.279	5.74
Total	1.20								5.74
Proposed Conditions									
Site	1.20	0.00	0.00	0.30	0.90	2.35	0.235	0.291	5.84
Total	1.20								5.84

SWQV CALCULATIONS

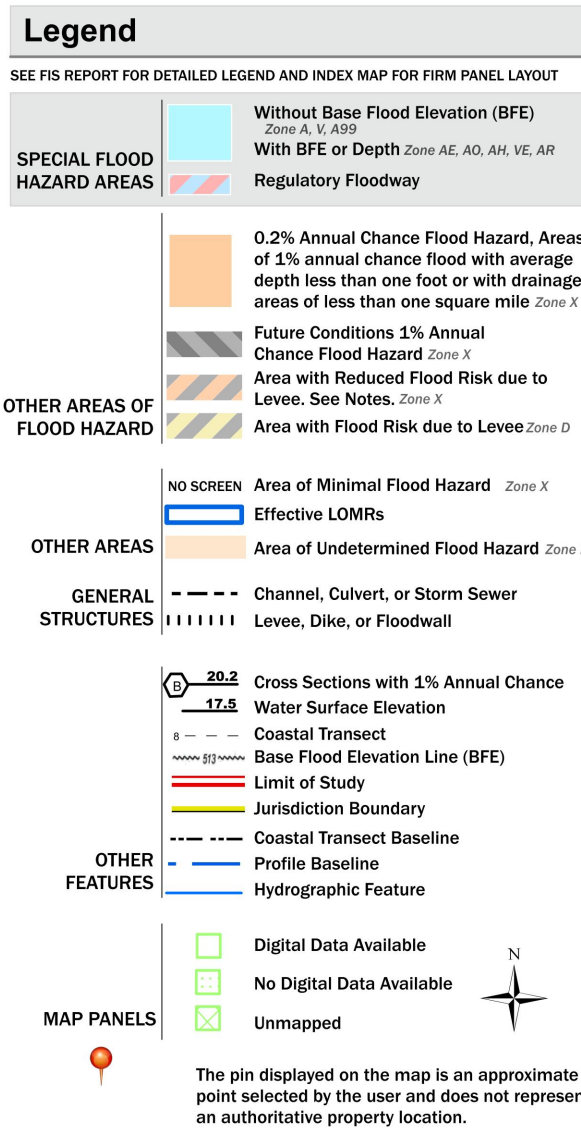
$$SWQR = (0.26/12" * 39,204 SF) = 850 CF$$

$$\triangle PAYMENT-IN-LIEU = (850 CF - 522 CF) * \$8/CF = \$2,624.00$$

△ POND VOLUMES

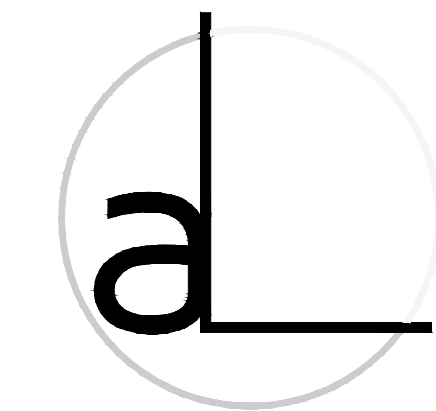
POND #1	= 87 CF
POND #2	= 130 CF
POND #3	= 130 CF
POND #4	= 175 CF
TOTAL	= 522 CF

National Flood Hazard Layer FIRMette



FLOOD ZONE MAP

FLOOD ZONE MAPS 35001C0143G AND 35001C0144G



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REVIEW SET

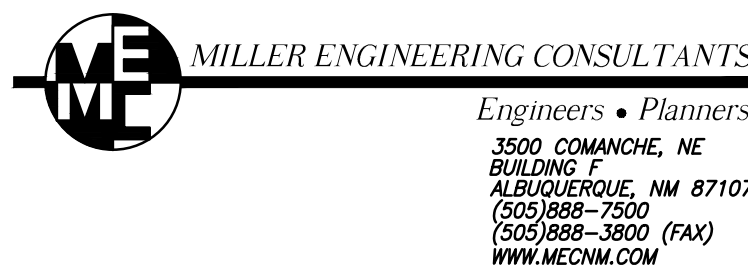
REVISIONS	
DATE	DESCRIPTION
11/28/22	ADDED POND VOL/ DRAINAGE REPORT

DATE	09-20-2022
PROJECT NO.	21-018
DRAWING NAME	

**4700 EUBANK BLVD NE  
HYDROLOGY  
PLAN**

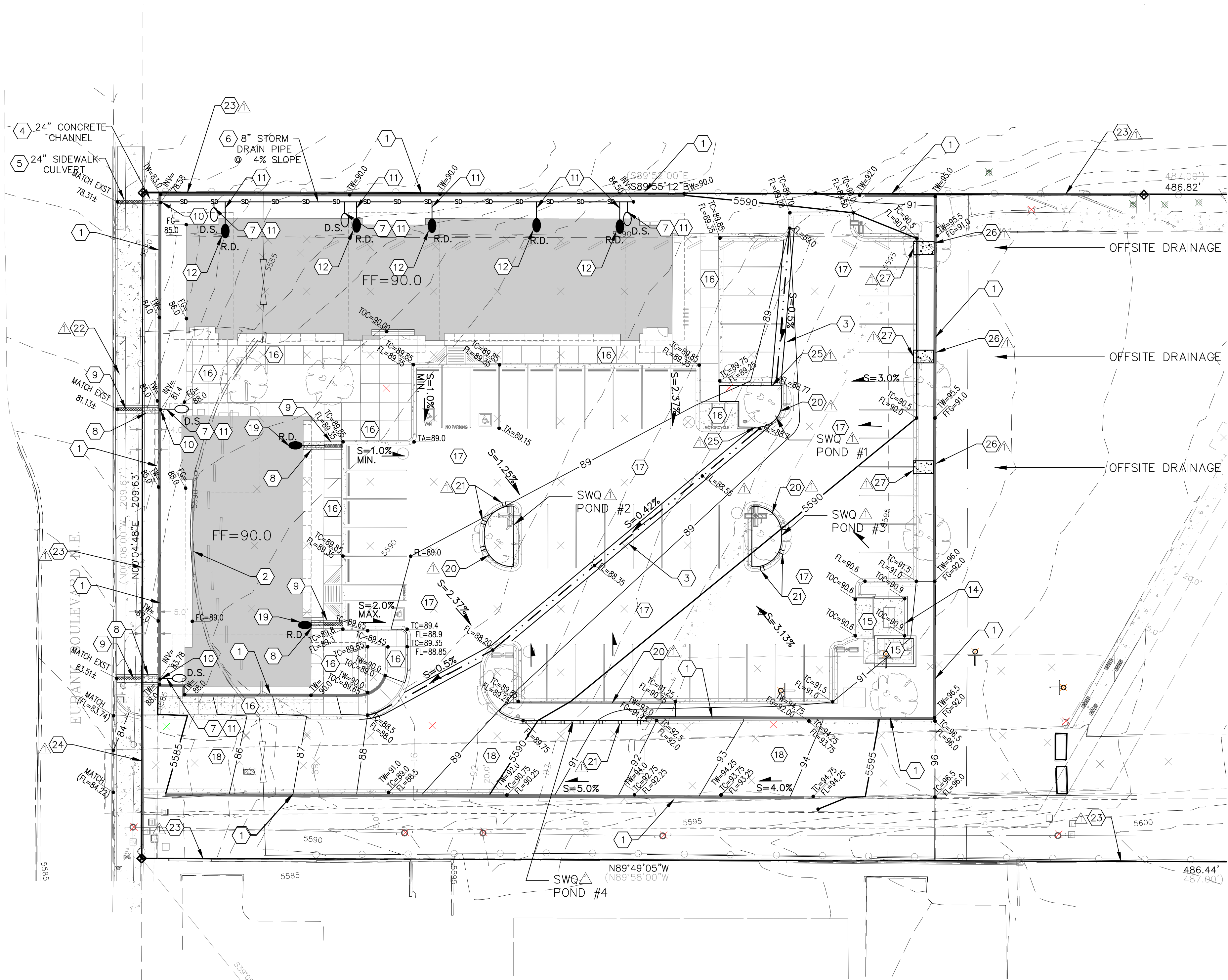
SHEET NO.

C-100





T:\Clients\ArcLine\4700 EUBANK\ACAD\Sheets\C-101 GRADING AND DRAINAGE PLAN-091422.dwg, Layout1, 12/1/2022 12:10:56 PM, Jacques, DWG to PDF.pc3, 11



**B2** GRADING AND DRAINAGE PLAN  
SCALE: 1"=20'

△ Private Drainage Facilities within City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "S0-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" or (505) 260-1990 for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.

**A3** SITE RETAINING WALL SECTION AT PROPERTY LINE  
SCALE: NOT TO SCALE

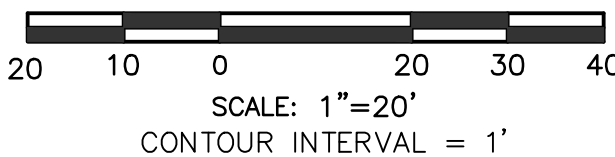


LEGEND:

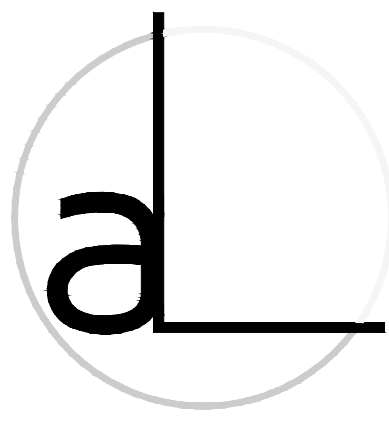
● 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
● MATCH (95.19)	MATCH EXISTING ELEVATIONS
TOC	TOP OF CONCRETE
FL	FLOW LINE, CURB
INV	INVERT
DS	DOWNSPOUT
FG	FINISH GRADE
TBC	TOP OF BASE COURSE
TC	TOP OF CURB
TG	TOP OF GRATE
TA	TOP OF ASPHALT
→	FLOW ARROW
~	GRADE BREAK-HIGH POINT
---	SWALE
SD	STORM DRAIN LINE
5595	PROPOSED MAJOR CONTOUR
5595	PROPOSED MINOR CONTOUR
5595	EXISTING MAJOR CONTOUR
5595	EXISTING MINOR CONTOUR

KEYED NOTES:

- 1 NEW RETAINING WALL. SEE STRUCTURAL FOR DETAILS.
- 2 EXISTING WALL TO BE REMOVED.
- 3 NEW 36" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL D1/C-501.
- 4 NEW 24" WIDE CONCRETE CHANNEL @ 2% SLOPE. SEE DETAIL C1/C-501.
- 5 NEW 24" WIDE SIDEWALK CULVERT @ 2% SLOPE. SEE DETAIL A1/C-501.
- 6 NEW 8" STORM DRAIN LINE @ 4% SLOPE. SEE DETAIL SHEET C2/C-501.
- 7 NEW 6" STORM DRAIN PIPE @ 2% MIN. SLOPE. SEE DETAIL SHEET C2/C-501.
- 8 NEW 12" WIDE CONCRETE CHANNEL @ 2% SLOPE. SEE DETAIL SHEET C1/C-501.
- 9 NEW 12" WIDE SIDEWALK CULVERT @ 2% SLOPE. SEE DETAIL SHEET A1/C-501.
- 10 PENETRATE RETAINING WALL WITH STORM DRAIN PIPE AT BASE OF WALL.
- 11 CONNECT NEW DOWN SPOUT TO 6" STORM DRAIN WITH ADAPTER, SEE DETAIL SHEET C4/C-501.
- 12 CONNECT NEW 6" SD PIPE TO ROOF DRAIN PIPE 5' FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
- 13 NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET A4/C-501.
- 14 NEW DUMPSTER ENCLOSURE, SEE ARCHITECTURAL FOR DETAIL.
- 15 NEW HEAVY DUTY CONCRETE PAVING, SEE DETAIL SHEET B3/C-501.
- 16 NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL FOR DETAILS.
- 17 NEW LIGHT DUTY HMA, SEE DETAIL SHEET C3/C-501.
- 18 NEW HEAVY DUTY HMA, SEE DETAIL SHEET A3/C-501.
- 19 DISCHARGE ROOF DRAIN INTO NEW 12" WIDE CONCRETE CHANNEL.
- 20 NEW SWQ PONDS (4 TYPICAL) WITH 1' OF DEPTH.
- 21 PLACE 12" CURB CUTS 6' ON CENTER ON UPSTREAM SIDE SO RUNOFF CAN ENTER SWQ PONDS.
- 22 EXISTING ENTRANCE TO BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER (COA STD. #2415A) AND SIDEWALK (COA STD. #2430). MATCH EXISTING ELEVATIONS.
- 23 EXISTING PROPERTY LINE.
- 24 NEW DRIVEWAY SHALL MATCH EXISTING ELEVATIONS AT BACK OF EXISTING SIDEWALK.
- 25 PROVIDE 3' WIDE CURB CUTS TO ACCOMMODATE DRAINAGE FROM CONCRETE VALLEY GUTTER.
- 26 PROVIDE TURN-DOWN BLOCK IN WALL AT EXISTING GRADE LOW POINTS TO ALLOW DRAINAGE TO FLOW ONTO SITE.
- 27 NEW 4' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET C-501. PROVIDE 4' WIDE CURB CUT IN PARKING LOT TO ACCEPT OFFSITE DRAINAGE.



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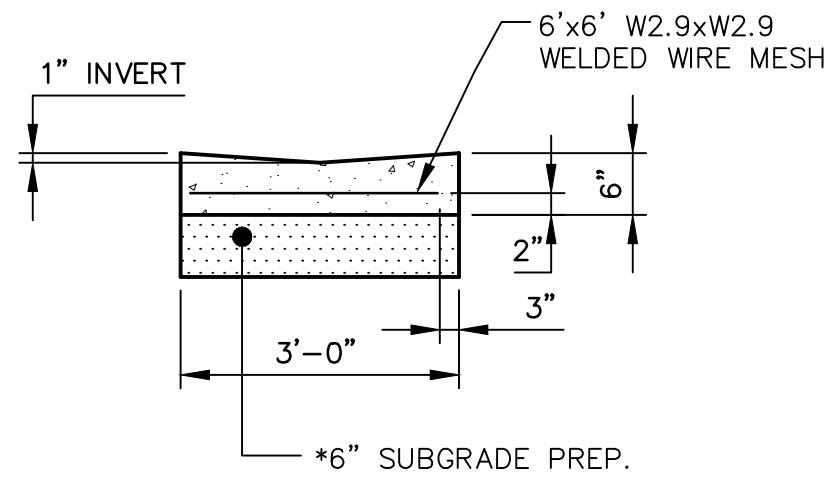
REVIEW SET

REVISIONS	
DATE	DESCRIPTION
11/28/22	GENERAL REVISIONS TO GRADING AND DRAINAGE
DATE 09-20-2022	
PROJECT NO. 21-018	
DRAWING NAME	

**4700 EUBANK BLVD NE  
GRADING AND DRAINAGE  
PLAN**

SHEET NO.

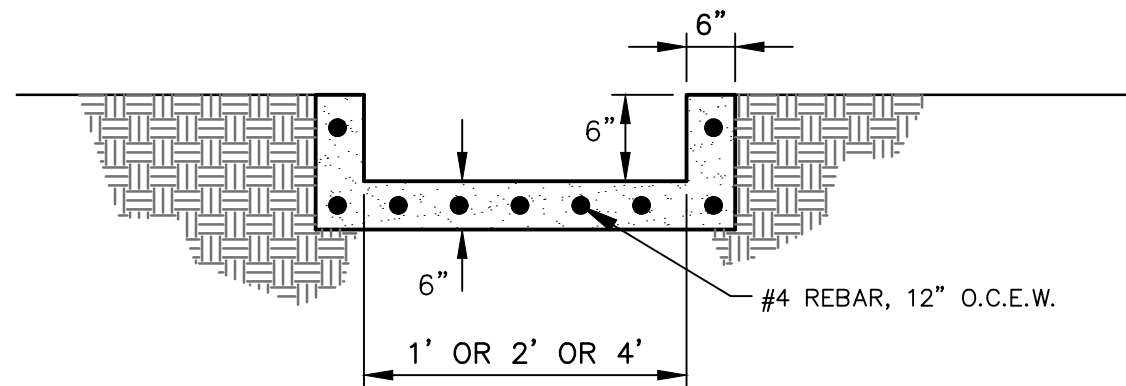




### D1 6"x36" CONCRETE VALLEY GUTTER DETAIL

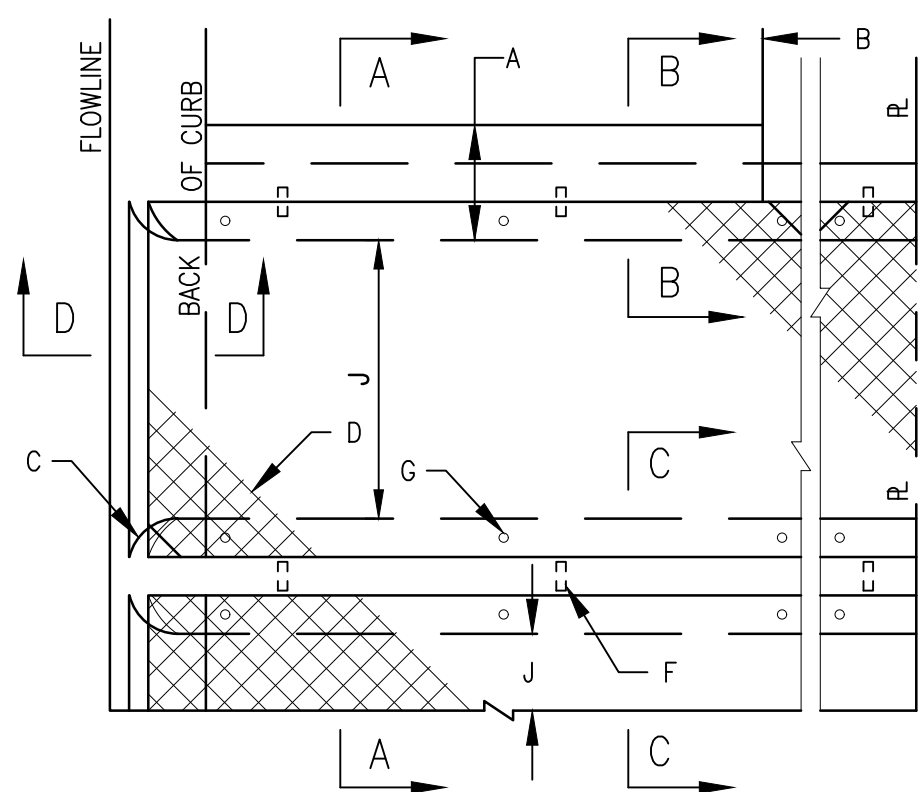
SCALE: NOT TO SCALE

\* 6" SUBGRADE PREP. SHALL BE CONSIDERED INCIDENTAL TO ITEM NO. 609636, CONCRETE VALLEY GUTTER - 6"x36" AND NO SEPERATE MEASUREMENT OR PAYMENT WILL BE MADE FOR THE WORK.

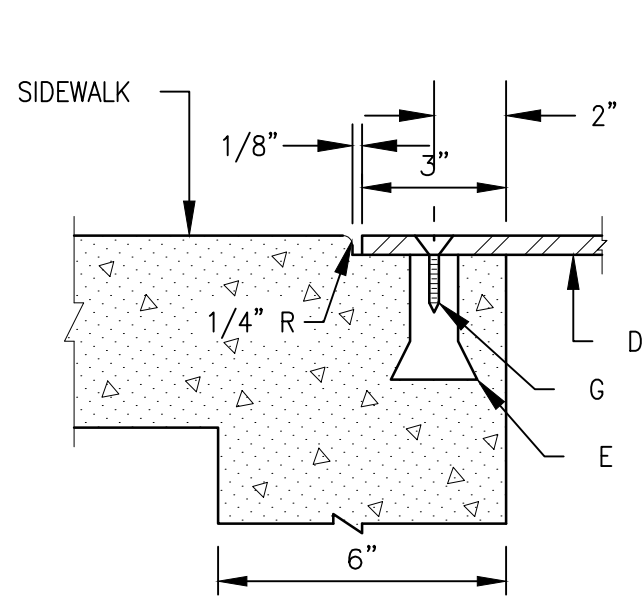


### C1 CONCRETE CHANNEL DETAIL

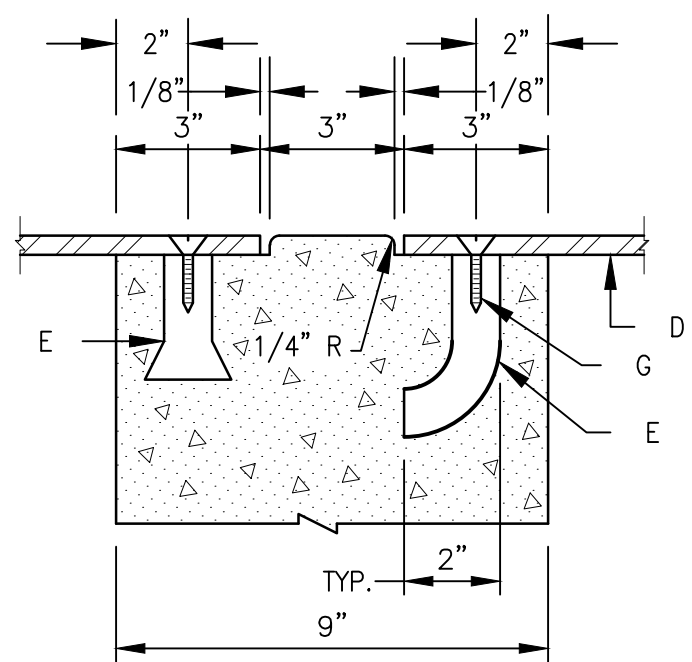
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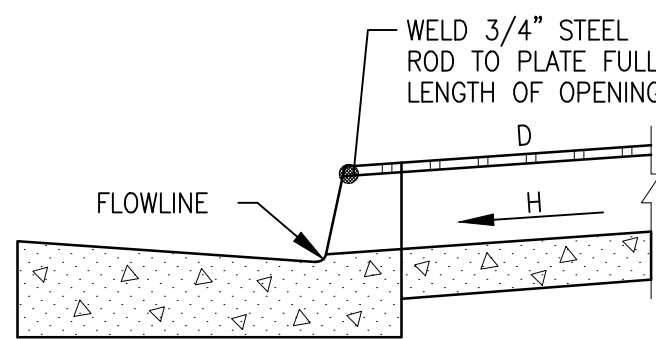
PLAN  
SINGLE AND OR MULTIPLE CULVERT



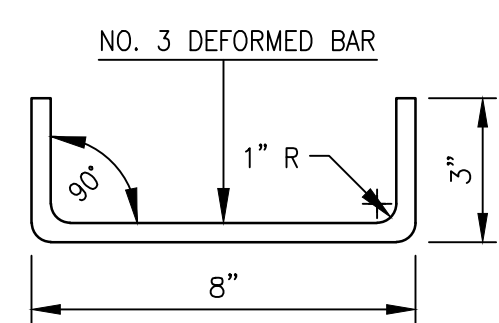
SECTION B-B



SECTION C-C



SECTION D-D



DOWEL DETAIL

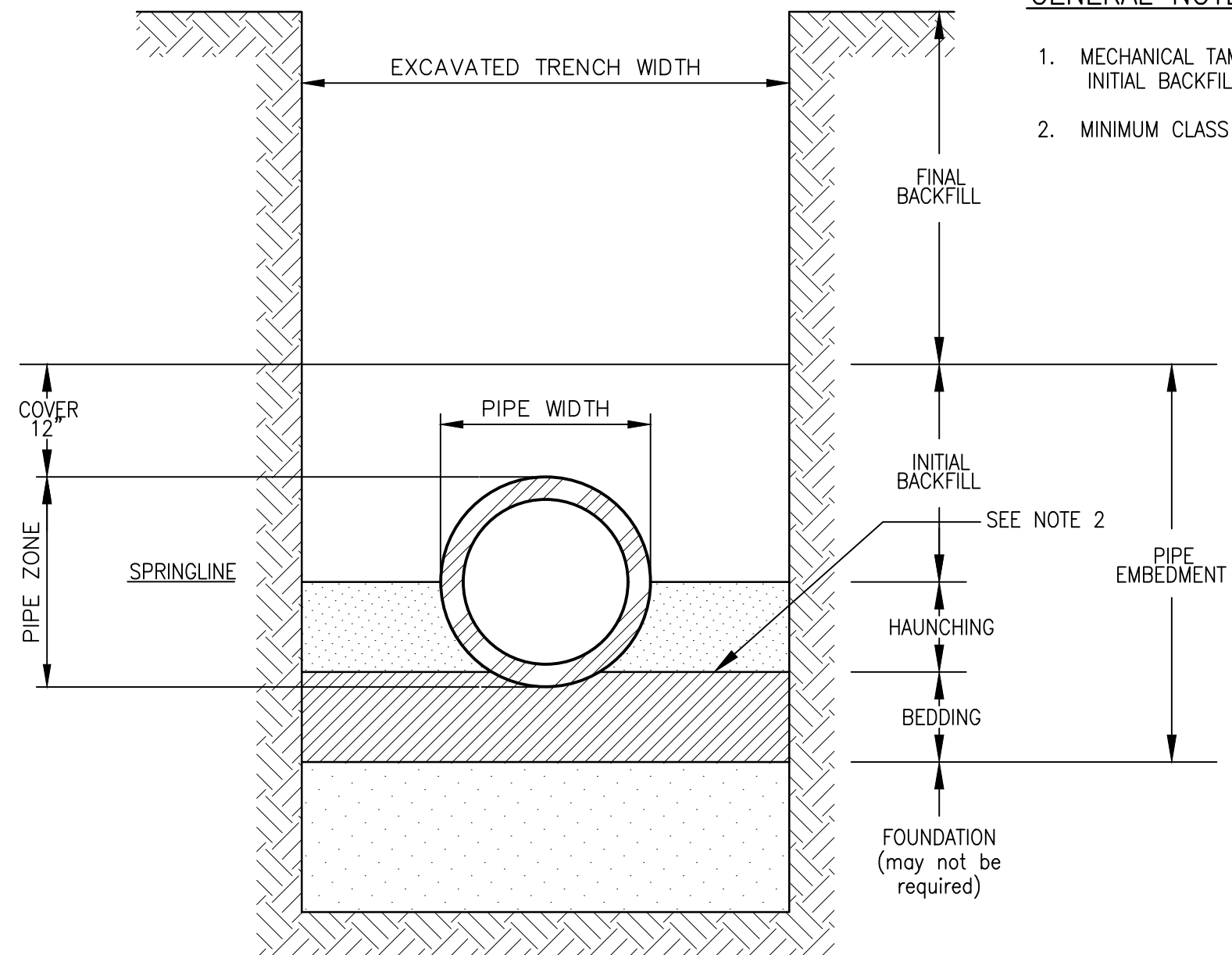
#### SIDEWALK CULVERT CONSTRUCTION NOTES:

#### GENERAL NOTES:

1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX. DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

### A1 SIDEWALK CULVERT DETAIL

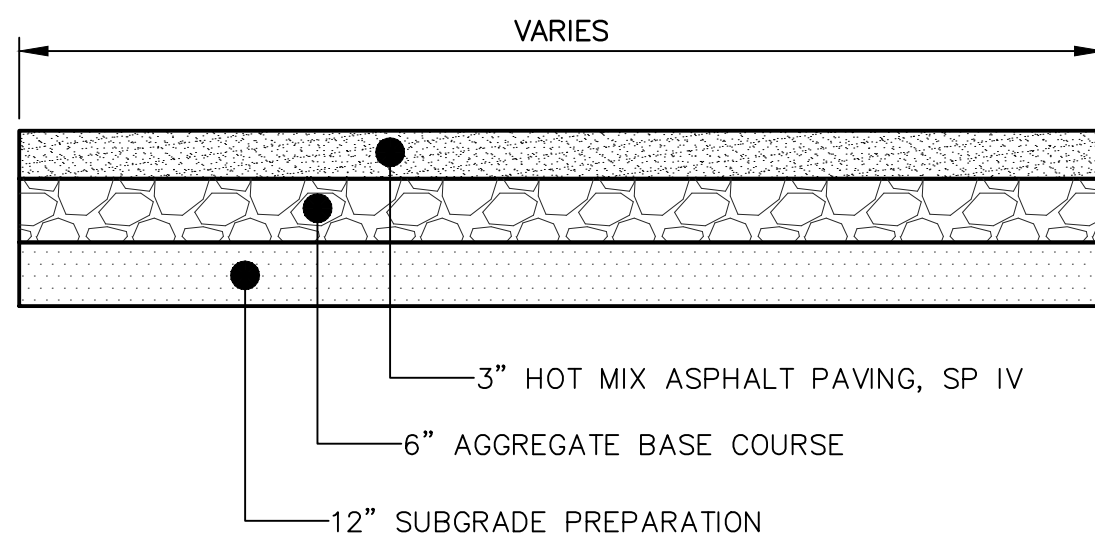
SCALE: NOT TO SCALE



TRENCH CROSS-SECTION  
SHOWING TERMINOLOGY

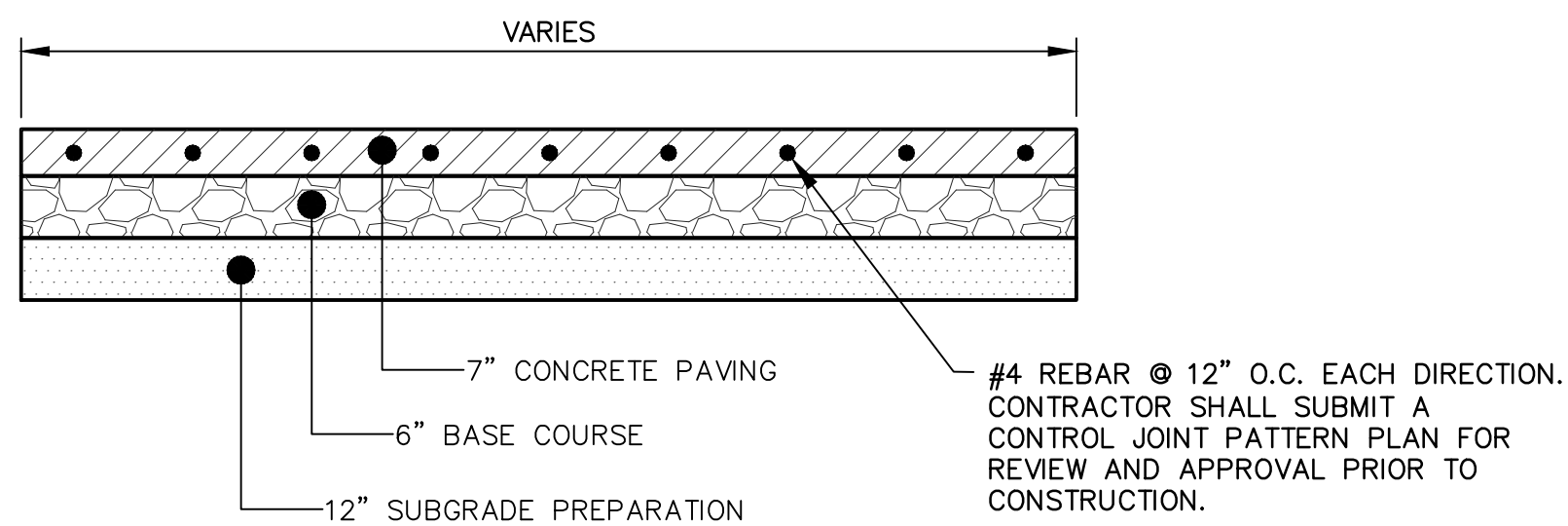
### C2 TRENCHING DETAIL

SCALE: NOT TO SCALE



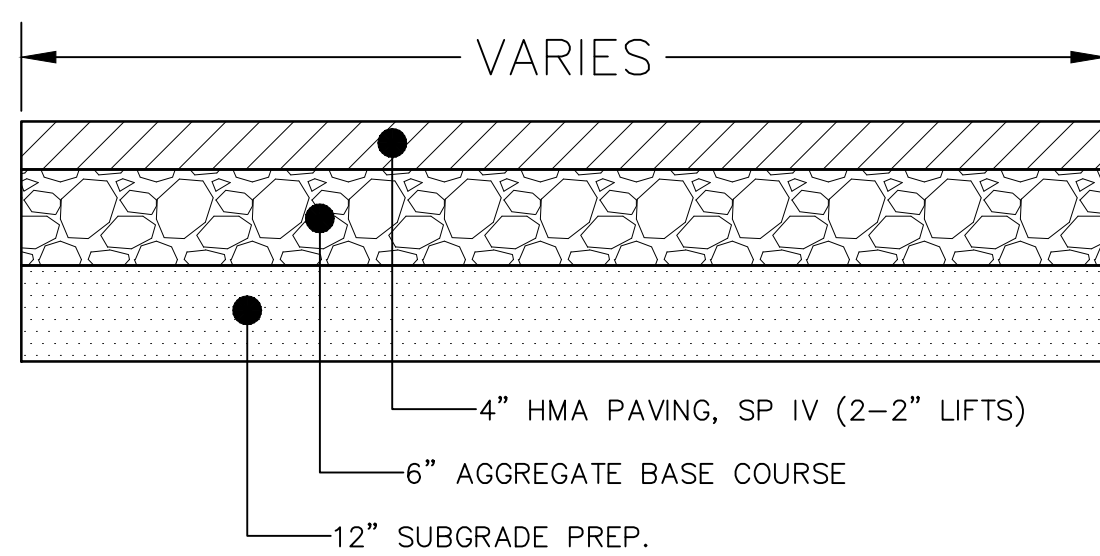
### C3 LIGHT DUTY ASPHALT PAVEMENT SECTION

SCALE: NOT TO SCALE



### B3 TYPICAL "HEAVY DUTY" CONCRETE PAVING DETAIL

SCALE: NOT TO SCALE

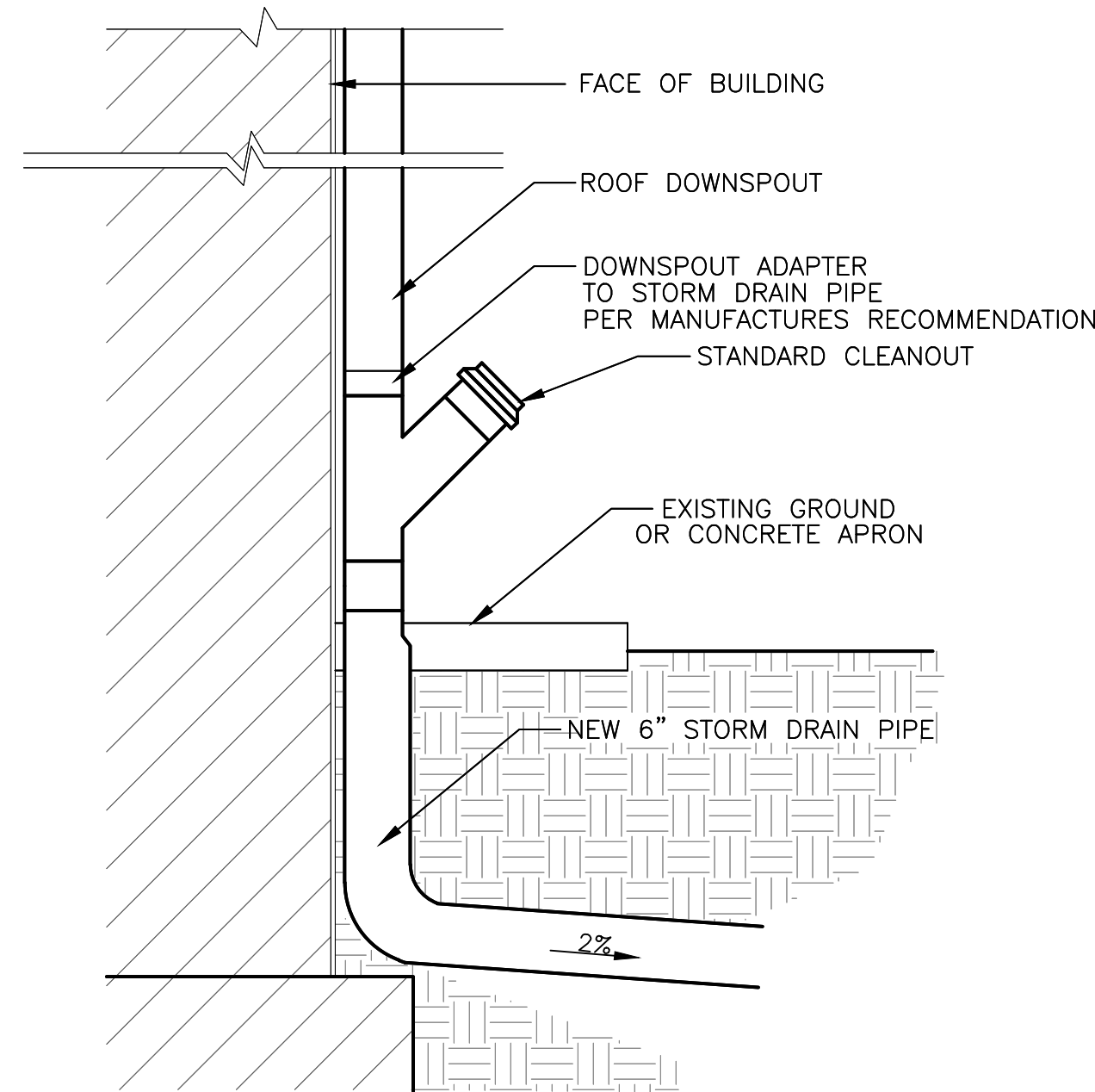


### A3 HEAVY DUTY ASPHALT PAVING DETAIL

SCALE: NOT TO SCALE

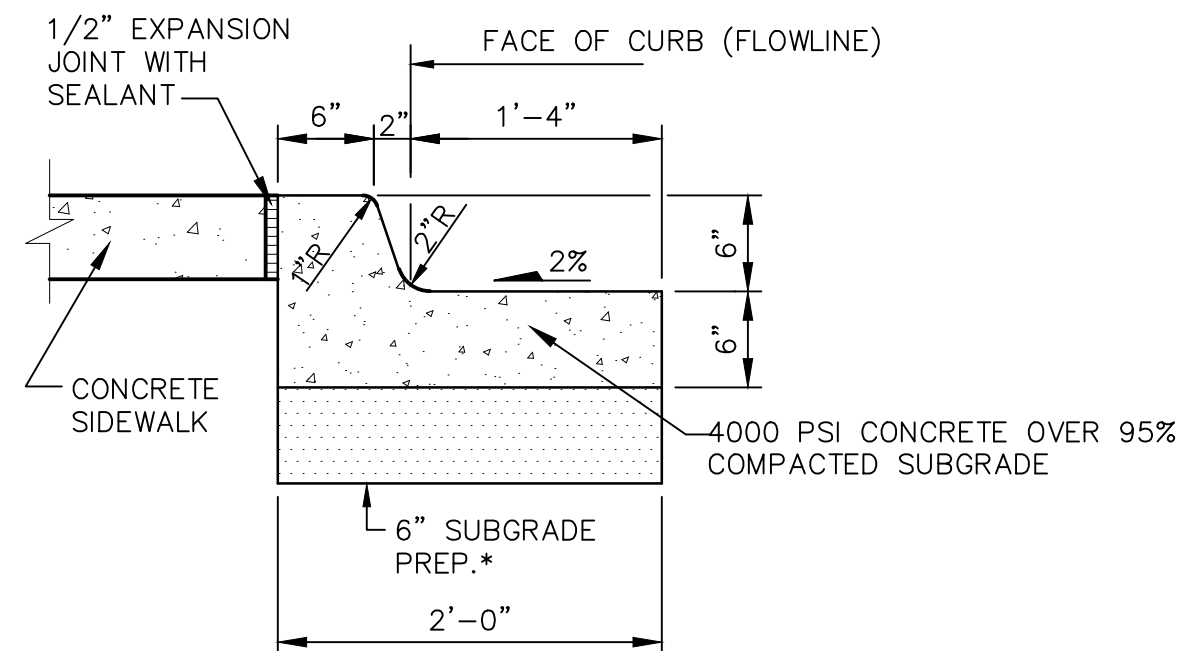
#### GENERAL NOTES:

1. MECHANICAL TAMPERS NOT TO BE USED IN THE INITIAL BACKFILL SECTION FOR FLEXIBLE PIPE.
2. MINIMUM CLASS "C" BEDDING WILL BE USED.



### C4 DOWNSPOUT TO STORM DRAIN DETAIL

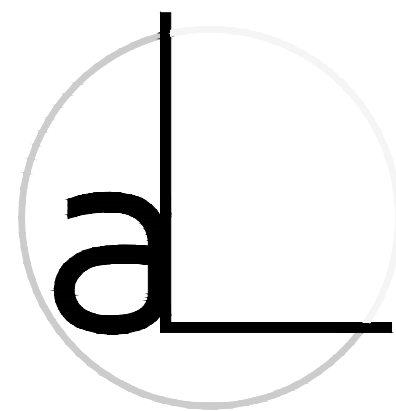
SCALE: NOT TO SCALE



- NOTES:
1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
  2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
  3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
  4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

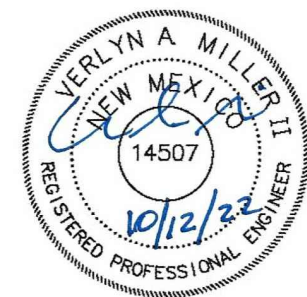
### A4 TYPICAL CURB AND GUTTER SECTION

SCALE: NOT TO SCALE



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#### REVIEW SET

REVISIONS	
DATE	DESCRIPTION
11/28/22	REVISE CONC. CHANNEL

DATE 09-20-2022

PROJECT NO. 21-018

DRAWING NAME

**4700 EUBANK BLVD NE  
MISCELLANEOUS  
DETAILS**

SHEET NO.



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