

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

July 19, 2024

Verlyn Miller, P.E.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM 87107

**RE: Office Development  
4700 Eubank Blvd NE  
Permanent C.O. – Accepted  
Engineer’s Certification Date: 07/17/24  
Engineer’s Stamp Date: 10/12/22  
Hydrology File: F21D073**

Dear Mr. Miller:

PO Box 1293

Based on the Certification received 07/17/2024 and site visit on 07/19/2024, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

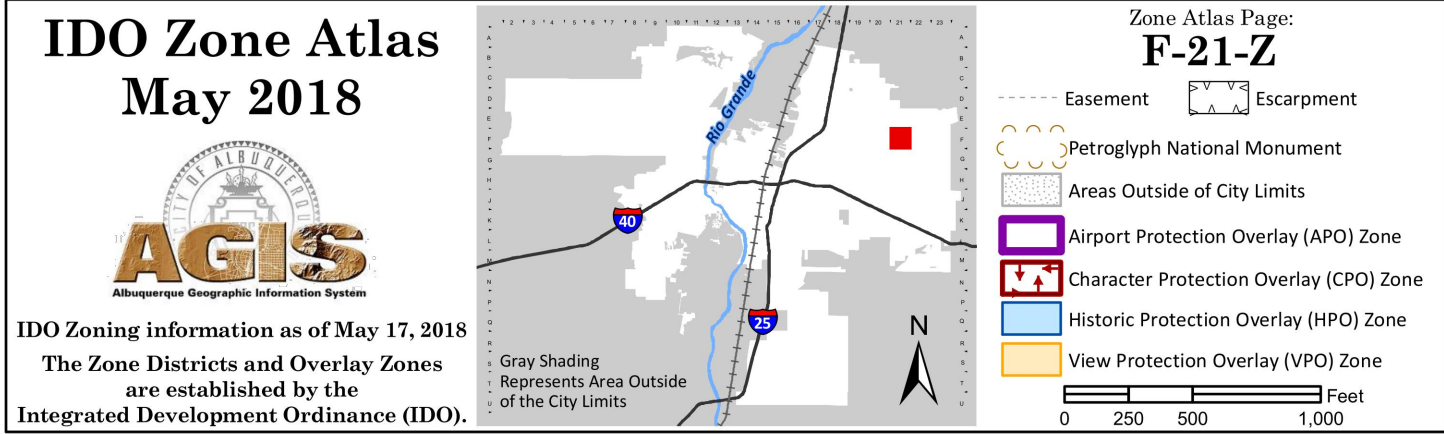
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



△ DRAINAGE REPORT



VICINITY MAP

ZONE MAP F-21-Z

SITE LOCATION

The existing site is an approximate 1.2-acre parcel located 4700 Eubank Boulevard NE in Albuquerque. The site is located on the east side of Eubank Boulevard north of Montgomery Boulevard can be accessed via Eubank Boulevard (see vicinity map this sheet).

EXISTING CONDITIONS

The existing site is a parcel that is estimated at 1.2-acres and is mostly developed with a paved asphalt parking lot area. The parcel to the east has a building and parking areas that was formerly a school and is not a part of this development. The site currently slopes from the east to west at a moderate slope. The site does not lie within a 100-year FEMA floodplain (see FEMA panel on this sheet).

PROPOSED CONDITIONS

The proposed project will consist of two new buildings to be located on the western portion of the site. Since the existing site is currently fully developed and there is a minimal increase in impervious area on the site. The total area of impervious disturbance for this site is estimated at 0.9 acres. The storm water quality volume for this disturbance area is estimated at 850 cubic feet. An effort has been made to accommodate storm water quality ponds in several islands located within the parking lot area. The total storm water quality pond volume is estimated at 522 cubic feet. The owner is requesting payment in lieu of for the difference in volume of 328 cubic feet. The drainage calculations and payment in lieu of calculations are indicated on this sheet.

CONCLUSIONS

When fully developed as indicated on the grading and drainage plan, the runoff from the site will increase by an estimated at 0.10 cfs and 0.012 acre-feet during the 100-year, 24-hour event. Storm water runoff from the site will discharge to its historical location west into Eubank Boulevard. Four storm water quality ponds have been provided on site. The owner is requesting payment in lieu of for the difference in volume of 328 cubic feet.



DPM HYDROLOGY CALCULATIONS

Pericipation Zone 4 - 100-year Storm					P(360) = 2.92 in		P(1440) : 3.65 in		
Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
Site	1.20	0.00	0.00	0.37	0.83	2.28	0.228	0.279	5.74
Total	1.20								5.74
Proposed Conditions									
Site	1.20	0.00	0.00	0.30	0.90	2.35	0.235	0.291	5.84
Total	1.20								5.84

SWQV CALCULATIONS

$$SWQR = (0.26/12" * 39,204 SF) = 850 CF$$
$$\triangle PAYMENT-IN-LIEU = (850 CF - 522 CF) * \$8/CF = \$2,624.00 - 347 CF \triangle = \$4,024.00 \triangle$$

△ POND VOLUMES

POND #1 = 87 CF
POND #2 = 130 CF
POND #3 = 130 CF
POND #4 = 175 CF
TOTAL = 522 CF 347 CF △

National Flood Hazard Layer FIRMette



**Legend**

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee, See Notes, Zone D
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- Area of Minimal Flood Hazard Zone X
- Effective LOMs
- Area of Undetermined Flood Hazard Zone D

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was reported on 3/26/2022 at 5:52 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmoderated areas cannot be used for regulatory purposes.



DRAINAGE CERTIFICATION

I, VERLYN A. MILLER, NMPE 14507, OF THE FIRM MILLER ENGINEERING CONSULTANTS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED October 12, 2022. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS 18324 OF COS-CARTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 11, 2024, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A FINAL CERTIFICATE OF OCCUPANCY THE CITY OF ALBUQUERQUE.

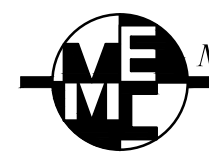
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A. MILLER

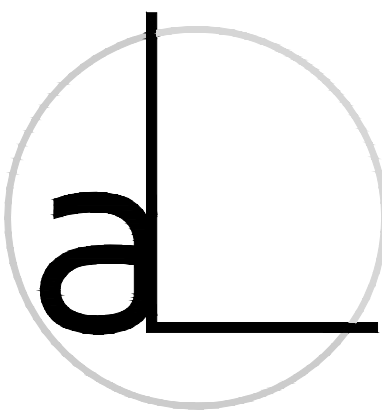


7/17/24

DATE

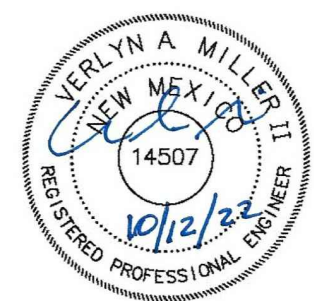


**MILLER ENGINEERING CONSULTANTS**  
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**arcLINE**  
Architectural Design LLC  
PO Box 91462  
Albuquerque  
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www.arcLINE-arch.com

ARCHITECT/ENGINEER



4700 EUBANK OFFICE DEVELOPMENT

4700 EUBANK BLVD NE  
ALBUQUERQUE, NM 87111

REVIEW SET

DATE	DESCRIPTION
11/28/22	ADDED POND VOL./ DRAINAGE REPORT
04/16/24	REMOVED POND/ ADDED DRAINAGE CERTIFICATION
07/11/24	ADDED FINAL DRAINAGE CERTIFICATION

DATE 03-30-2023

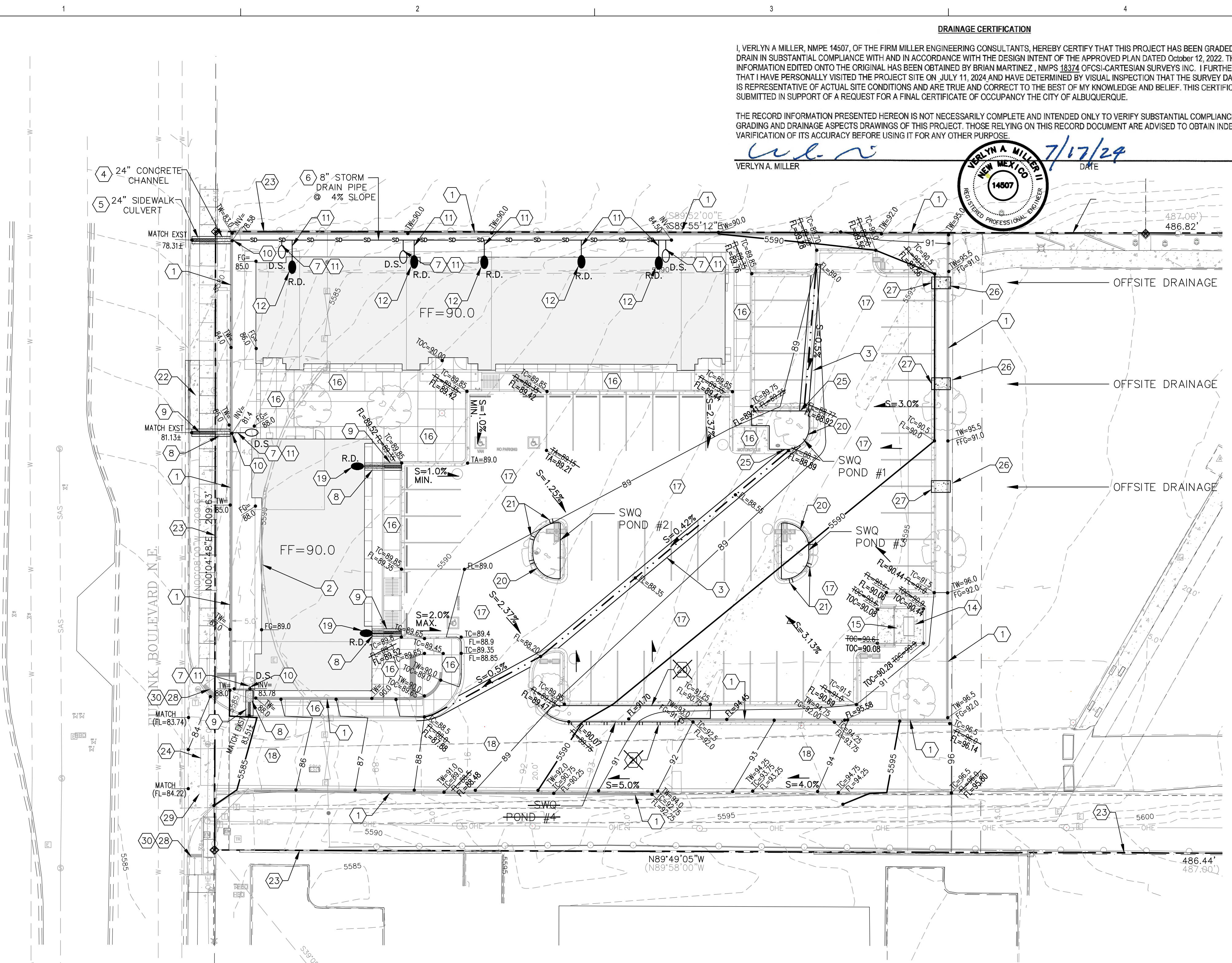
PROJECT NO. 21-018

DRAWING NAME

**4700 EUBANK BLVD NE  
HYDROLOGY  
PLAN**

SHEET NO.

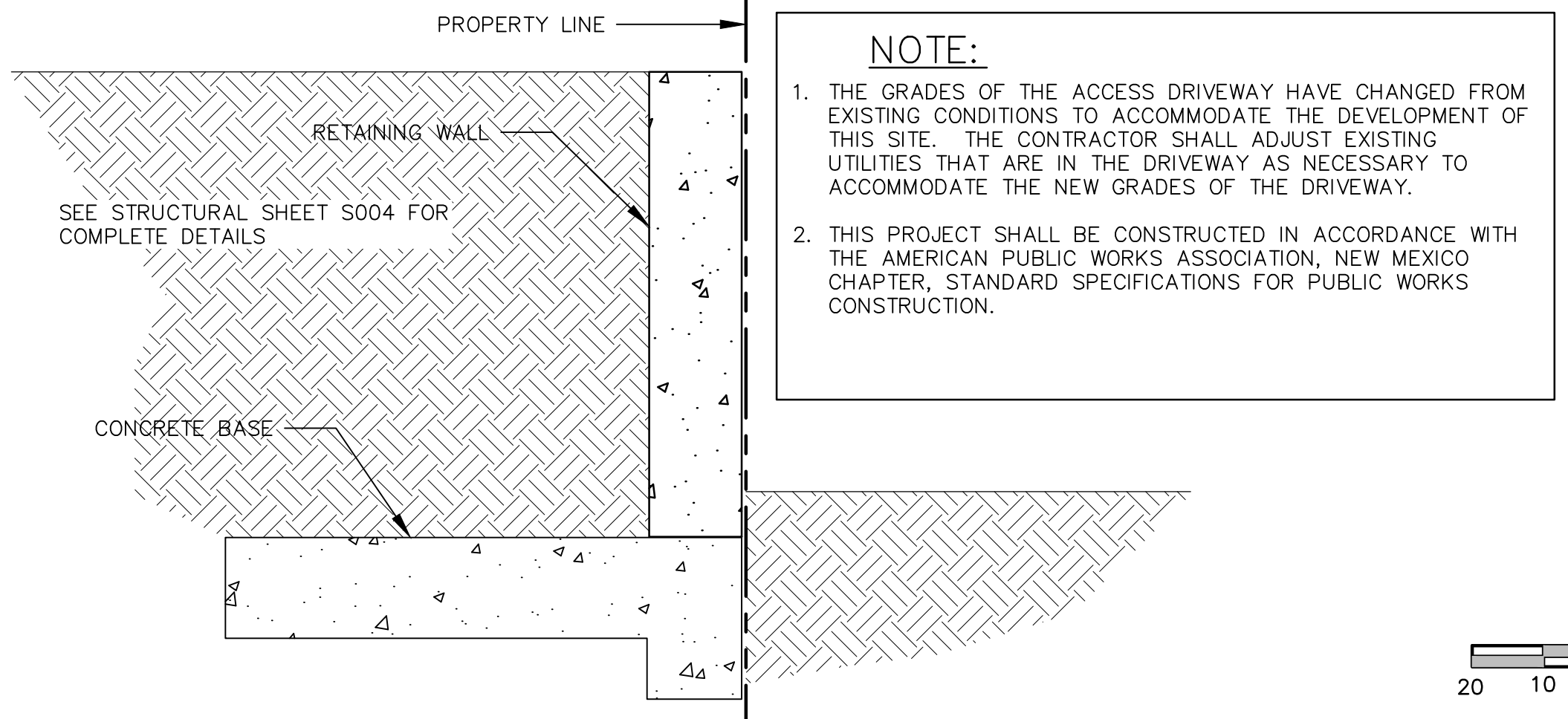




**B2** GRADING AND DRAINAGE PLAN  
SCALE: 1"=20'

Private Drainage Facilities within City Right-of-Way  
Notice to Contractor  
(Special Order 19 ~ "SO-19")

1. Build sidewalk culvert per COA STD DWG 2236.
2. Contact Storm Drain Maintenance at (505) 857-8033 to schedule a meeting prior to forming.
3. An excavation permit will be required before beginning any work within City Right-Of-Way.
4. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
5. Two working days prior to any excavation, the contractor must contact New Mexico One Call, dial "811" or (505) 260-1990 for the location of existing utilities.
6. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
7. Backfill compaction shall be according to traffic/street use.
8. Maintenance of the facility shall be the responsibility of the owner of the property being served.
9. Work on arterial streets may be required on a 24-hour basis.
10. Contractor must contact Storm Drain Maintenance at (505) 857-8033 to schedule a construction inspection. For excavating and barricading inspections, contact Construction Coordination at (505) 924-3416.



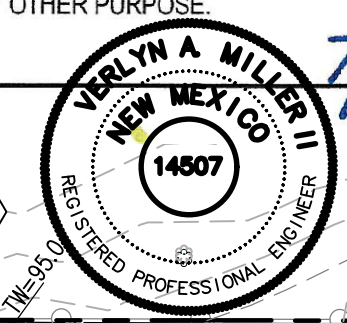
**A3** SITE RETAINING WALL SECTION AT PROPERTY LINE  
SCALE: NOT TO SCALE

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THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS DRAWINGS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

VERLYN A. MILLER  
7/17/24  
DATE

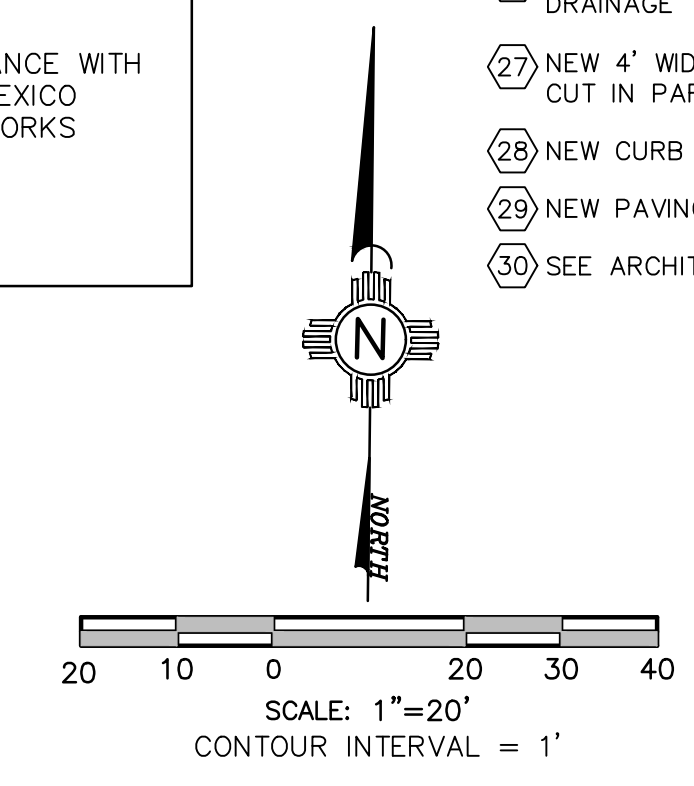


**LEGEND:**

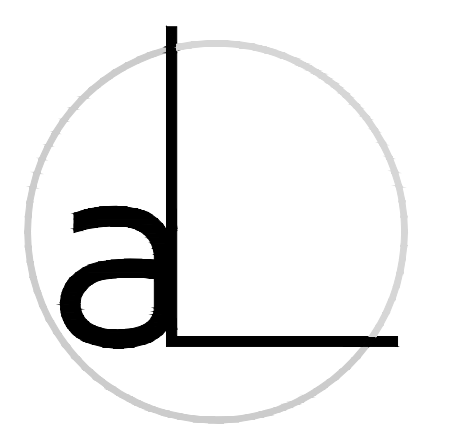
- 38.00 PROPOSED SPOT ELEVATIONS (FINISHED GRADE)
- MATCH (95.19) MATCH EXISTING ELEVATIONS
- TOC TOP OF CONCRETE
- FL FLOW LINE, CURB
- INV INVERT
- DS DOWNSPOUT
- FG FINISH GRADE
- TBC TOP OF BASE COURSE
- TC TOP OF CURB
- TG TOP OF GRATE
- TA TOP OF ASPHALT
- FLOW ARROW
- GRADE BREAK-HIGH POINT
- SWALE
- SD STORM DRAIN LINE
- 5895 PROPOSED MAJOR CONTOUR
- 5895 PROPOSED MINOR CONTOUR
- 5895 EXISTING MAJOR CONTOUR
- 5895 EXISTING MINOR CONTOUR

**KEYED NOTES:**

1. NEW RETAINING WALL. SEE STRUCTURAL FOR DETAILS.
2. EXISTING WALL TO BE REMOVED.
3. NEW 36" WIDE CONCRETE VALLEY GUTTER. SEE DETAIL D1/C-501.
4. NEW 24" WIDE CONCRETE CHANNEL @ 2% SLOPE. SEE DETAIL C1/C-501.
5. NEW 24" WIDE SIDEWALK CULVERT @ 2% SLOPE. SEE DETAIL A1/C-501.
6. NEW 8" STORM DRAIN PIPE @ 4% SLOPE. SEE DETAIL SHEET C2/C-501.
7. NEW 6" STORM DRAIN PIPE @ 2% MIN. SLOPE. SEE DETAIL SHEET C2/C-501.
8. NEW 12" WIDE CONCRETE CHANNEL @ 2% SLOPE. SEE DETAIL SHEET C1/C-501.
9. NEW 12" WIDE SIDEWALK CULVERT @ 2% SLOPE. SEE DETAIL SHEET A1/C-501.
10. PENETRATE RETAINING WALL WITH STORM DRAIN PIPE AT BASE OF WALL.
11. CONNECT NEW DOWN SPOUT TO 6" STORM DRAIN WITH ADAPTER, SEE DETAIL SHEET C4/C-501.
12. CONNECT NEW 6" SD PIPE TO ROOF DRAIN PIPE 5' FROM BUILDING. SEE PLUMBING PLANS FOR CONTINUATION.
13. NEW STANDARD CURB AND GUTTER, SEE DETAIL SHEET A4/C-501.
14. NEW DUMPSTER ENCLOSURE, SEE ARCHITECTURAL FOR DETAIL.
15. NEW HEAVY DUTY CONCRETE PAVING, SEE DETAIL SHEET B3/C-501.
16. NEW CONCRETE FLAT WORK, SEE ARCHITECTURAL FOR DETAILS.
17. NEW LIGHT DUTY HMA, SEE DETAIL SHEET C3/C-501.
18. NEW HEAVY DUTY HMA, SEE DETAIL SHEET A3/C-501.
19. DISCHARGE ROOF DRAIN INTO NEW 12" WIDE CONCRETE CHANNEL.
20. NEW SWQ PONDS (4 TYPICAL) WITH 1' OF DEPTH.
21. PLACE 12" CURB CUTS 6' ON CENTER ON UPSTREAM SIDE SO RUNOFF CAN ENTER SWQ PONDS.
22. EXISTING ENTRANCE TO BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER (COA STD. #2415A) AND SIDEWALK (COA STD. #2430). MATCH EXISTING ELEVATIONS.
23. EXISTING PROPERTY LINE.
24. NEW DRIVEWAY SHALL MATCH EXISTING ELEVATIONS AT BACK OF EXISTING SIDEWALK.
25. PROVIDE 3' WIDE CURB CUTS TO ACCOMMODATE DRAINAGE FROM CONCRETE VALLEY GUTTER.
26. PROVIDE TURN-DOWN BLOCK IN WALL AT EXISTING GRADE LOW POINTS TO ALLOW DRAINAGE TO FLOW ONTO SITE.
27. NEW 4' WIDE CONCRETE CHANNEL. SEE DETAIL SHEET C-501. PROVIDE 4' WIDE CURB CUT IN PARKING LOT TO ACCEPT OFFSITE DRAINAGE.
28. NEW CURB RAMPS AS PER CITY OF ALBUQUERQUE STD. DWG. 2440.
29. NEW PAVING VALLEY GUTTER AS PER CITY OF ALBUQUERQUE STD. DWG. 2420.
30. SEE ARCHITECTURAL TCL PLANS FOR RADII AND DETAILS.

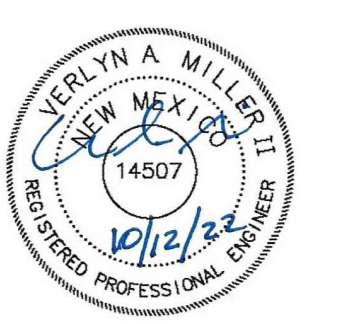


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ARCHITECT/ENGINEER



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ALBUQUERQUE, NM 87111

**REVIEW SET**

REVISIONS	
DATE	DESCRIPTION
11/28/22	GENERAL REVISIONS TO GRADING AND DRAINAGE
3/30/23	MODIFIED CURB RADII ON DRIVEWAY
4/16/24	REMOVE POND #4
7/11/24	FINAL DRAINAGE CERT.
DATE	03-30-2023
PROJECT NO.	21-018
DRAWING NAME	

**4700 EUBANK BLVD NE  
GRADING AND DRAINAGE  
PLAN**

SHEET NO.