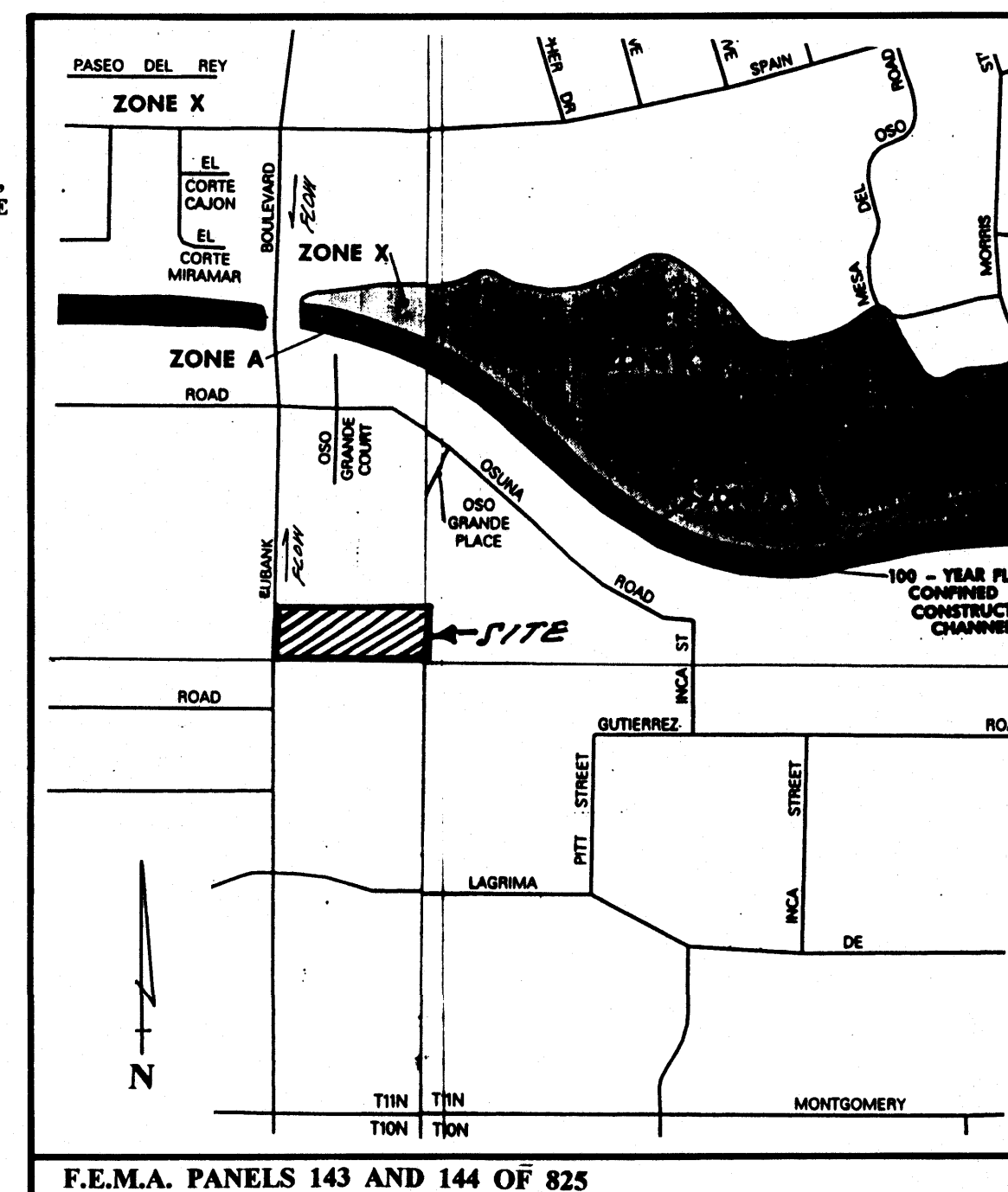


**BENCH MARK REFERENCE:**  
ACS BENCH MARK STATION "6-F8A", LOCATED AT THE SOUTHWEST QUADRANT OF THE INTERSECTION OF EUBANK N.E. AND OSUNA ROAD, N.E.; M.S.L.D. ELEVATION = 5561.21; PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON.

**LEGAL DESCRIPTION:**  
LOT NUMBERED TWO (2) OF THE FAITH ADDITION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (PLAT FILED AUGUST 1, 1972).

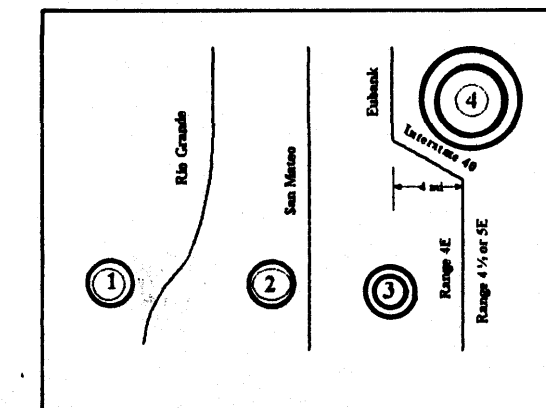
**NOTE: PROPOSED PARKING SPACE STRIPING LAYOUT IS TO BE PROVIDED BY OTHERS.**



**A.1 PRECIPITATION ZONES**  
Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40, and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40, and East of the East boundary of Range 4 East, South of Interstate 40

Zone	Intensity	100-YR (2-YR, 10-YR)
1	4.70	(1.84, 3.14)
2	5.05	(2.04, 3.41)
3	5.38	(2.21, 3.65)
4	5.61	(2.34, 3.83)



Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unflooded Arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. (Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Zone	Treatment	100-YR (2-YR, 10-YR)
1	A	1.29 (0.00, 0.24)
1	B	2.03 (0.33, 0.76)
1	C	2.87 (0.47, 1.49)
1	D	4.37 (1.69, 2.89)
2	A	1.56 (0.00, 0.38)
2	B	2.28 (0.08, 0.95)
2	C	3.14 (0.60, 1.71)
2	D	4.70 (1.86, 3.14)
3	A	1.87 (0.00, 0.58)
3	B	2.60 (0.21, 1.19)
3	C	3.45 (0.76, 2.009)
3	D	5.02 (2.04, 3.339)
4	A	2.30 (0.05, 0.87)
4	B	3.92 (0.38, 1.45)
4	C	5.37 (1.00, 2.26)
4	D	7.25 (2.17, 3.57)

#### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

#### CONSTRUCTION NOTES:

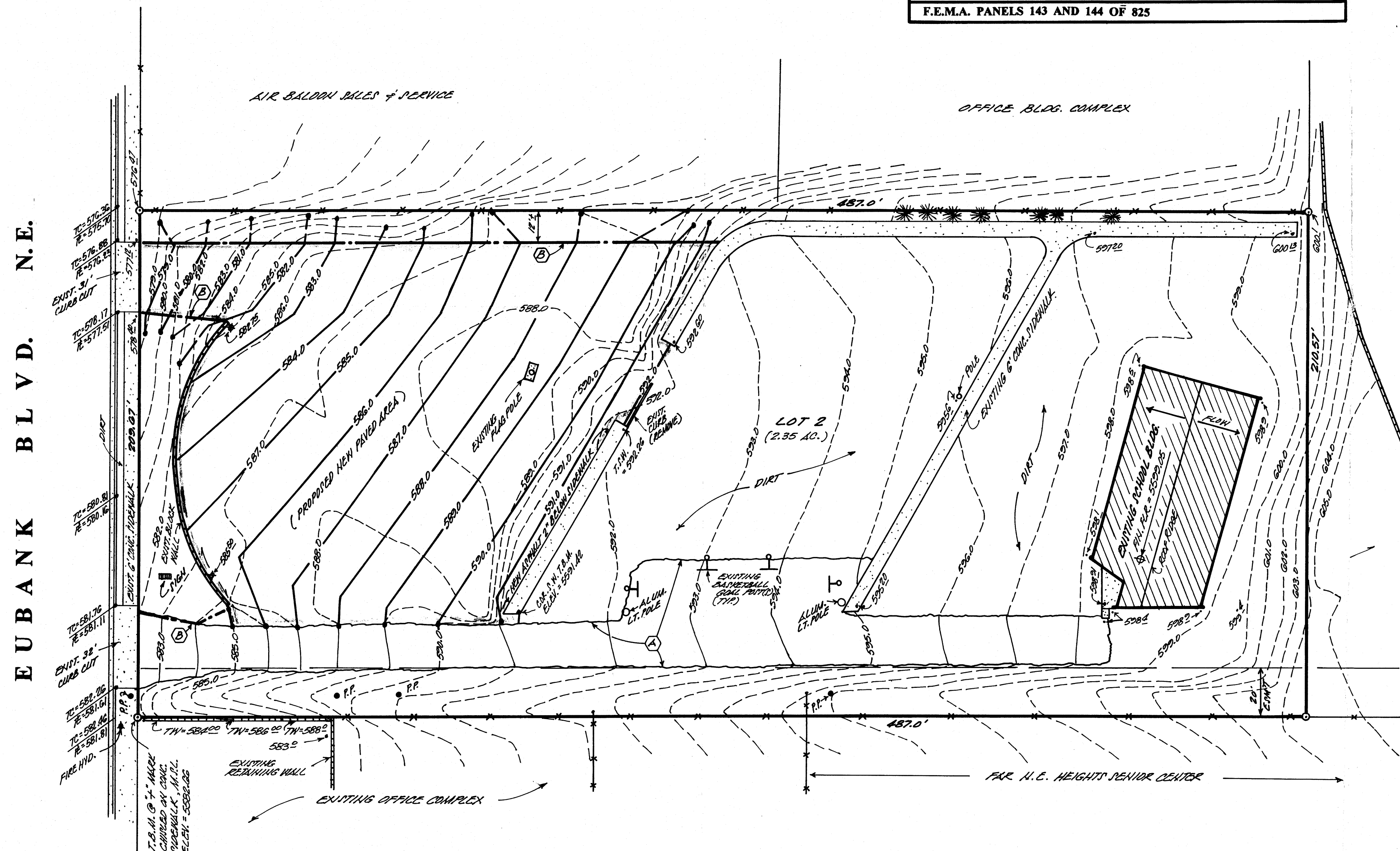
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

#### LEGEND:

TOP OF CURB ELEVATION =  $TC = 576.36$   
CURB FLOWLINE ELEVATION =  $FC = 575.70$   
EXISTING SPOT ELEVATION =  $SE = 572.5$   
EXISTING CONTOUR ELEVATION =  $CE = 586.0$   
PROPOSED SPOT ELEVATION =  $PS = 588.52$   
PROPOSED CONTOUR ELEVATION =  $PC = 587.0$   
PROPOSED OR EXISTING CONCRETE SURFACE =  $CS =$   
EXISTING FENCE LINE =  $FL =$

#### GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.



#### DRAINAGE COMMENTS:

THE FOLLOWING ITEMS CONCERNING THE SUBJECT SITE ARE CONTAINED ON THE PLAN SHOWN HEREON.

- SITE PAVING PLAN
- VICINITY MAP
- LEGAL DESCRIPTION OF THE SUBJECT SITE
- LIMITS AND CHARACTER OF THE EXISTING AND PROPOSED CONDITIONS
- HYDRAULIC CALCULATIONS

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE EAST SIDE OF EUBANK BLVD., N.E. BETWEEN MONTGOMERY BLVD. N.E. AND SPAIN ROAD N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (F.E.M.A. PANEL 143 AND 144 OF 825), 2) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 3) DOES NOT HAVE RECORDED DRAINAGE EASEMENTS THEREON.

THE PROPOSED PAVING PLAN ON THE SUBJECT SITE IS LIMITED ONLY TO THE WESTERLY PORTION SHOWN ON THE PLAN HEREON, NO OTHER IMPROVEMENTS ARE PROPOSED AT THIS TIME.

THE FREE DISCHARGE OF THE EXISTING AND PROPOSED FLOWS INTO EUBANK BLVD. N.E. ARE AND WILL CONTINUE TO FLOW NORTHERLY ON EUBANK BLVD. N.E. AND INTO AN CONCRETE LINED DRAINAGE CHANNEL KNOWN AS THE BEAR CANYON ARROYO.

#### CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED 1997.

SITE AREA: 2.35 ACRES  
PRECIPITATION ZONE: FOUR (4)  
PEAK INTENSITY: IN/HR. AT  $T_c$  = TWELVE (12) MINUTES, 100-YR. = 5.61

#### EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.92	X 3.73	= 7.16
D	0.43	X 5.25	= 2.26

"Qp" = 9.42 CFS

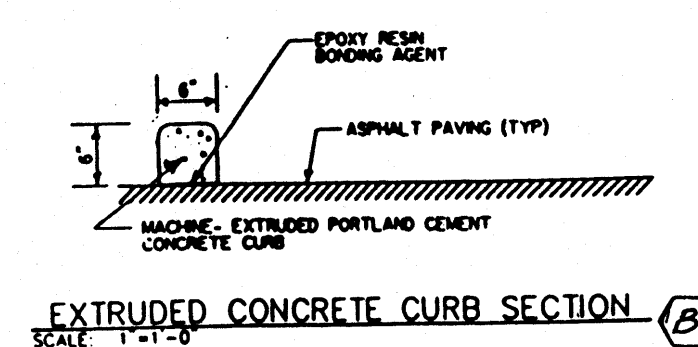
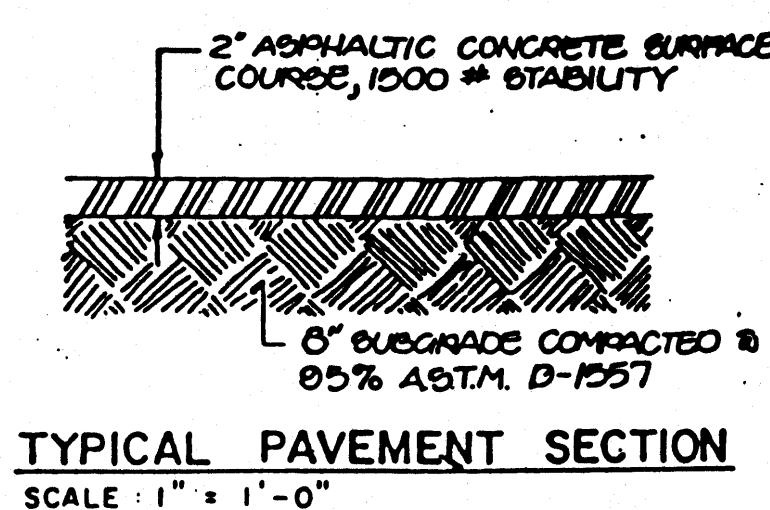
#### PROPOSED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	1.27	X 3.73	= 4.74
D	1.08	X 5.25	= 5.67

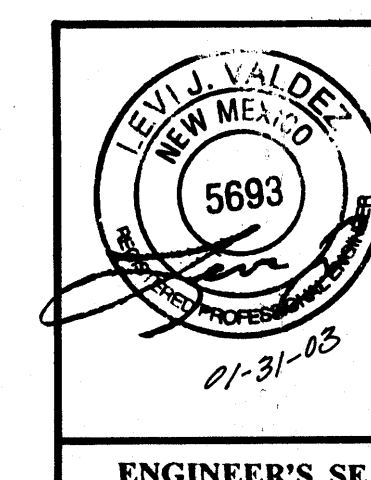
"Qp" = 10.41 CFS

INCREASE = 0.99 CFS

**Note:** The subject site does not accept off-site flows from adjacent properties, and does not contribute to the off-site flows of adjacent properties.



EXISTING ASPHALT PAVING



**A PAVING PLAN  
FOR A PROPOSED  
PAVED PARKING LOT  
HOPE CONNECTION SCHOOL, INC.  
4700 EUBANK BLVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2003**