

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 10, 2023

R. Jarrod Cline, R.A.
arcLINE Architectural Design LLC
PO Box 91462
Albuquerque, NM 87199

Re: Office Development
4700 Eubank Blvd. NE
Traffic Circulation Layout
Architect's Stamp 10-25-22 (F21-D073)

Dear Mr. Cline,

The TCL submittal received 01-04-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

January 9, 2023
Project: 4700 Eubank Blvd NE 8300 Palomas Ave NE
Subject: TCL Comment Responses



arcLINE Architectural Design LLC has reviewed and responded to comments generated on 01-06-2023. Please see comment and response below.

1. Show the clear sight triangle (11' X 11') on the site plan and it should start at the back of the sidewalk. .
 - a. The clear sight triangle has been added to sheet AS101a.
2. Show on the site plan the ADA pavement symbol on the ADA parking spaces at the south side of building 2.
 - a. The ADA pavement symbol is now indicated on the ADA parking spaces for building 2 on sheet AS101a.
3. Keynote 10: it appears the proposed ADA ramps will not be competent in this place. Suggestion, please refer to COA std dwg 2443, detail A- parallel curb ramp. See attached COA std dwg 2443 ADA ramp details.
 - a. The ADA ramps for building 1 and building 2 has been changed on sheet AS101a to reflect COA standard drawing 2443.
 - b. The ADA ramp detail on sheet AS102a has been changed to

If you have any questions or comments regarding anything contained herein, please do not hesitate to contact me at 505-681-7274 or via email at jarrod@arcline-arch.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Jarrod Cline'.

R. Jarrod Cline
Owner / Architect

SITE DATA

LOCATION: 4700 EUBANK BLVD. NE
ALBUQUERQUE, NM 87111
LEGAL DESCRIPTION: 2 FAITH ADDITION
UPC #: 102106103214630404
OWNER: HAGEN PROPERTIES LLC
PO BOX 10837
ALBUQUERQUE NM 87184
CURRENT ZONING: MX-T
ZONE ATLAS PAGE: F-21
BUILDING CONSTRUCTION: 5B (NON-SPRINKLED AND SPRINKLED)
APPLICABLE CODE: 2015 IBC
TOTAL LOT AREA: (1.00 AC) 43,560 S.F.
MAX. BUILDING HEIGHT ALLOWED: 30 FEET
MAX. BUILDING HEIGHT: 23 FEET
MAX. BUILDING FOOTPRINT AREA: 8,818 S.F.
NET LOT AREA (GROSS LOT AREA): 34,985 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 19.7 %

PAVED AREA: 28,342 S.F.
LANDSCAPE AREA: 6,605 S.F.
LANDSCAPE % NET LOT AREA: 15.1 %
LANDSCAPE TO PAVED AREA RATIO: 1 : 4.29
REQUIRED PARKING: 44 SPACES
MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA
8,613 S.F. / 1000 SF GFA = 8.613 x 5 = 43.06 SPACES
PARKING PROVIDED: 51 ON-SITE SPACES SPACES
REQUIRED H.C. PARKING: 3 SPACES (1 VAN)
H.C. PARKING PROVIDED: 3 SPACES (1 VAN)
REQUIRED MOTORCYCLE PARKING: 3 SPACES
MOTORCYCLE PARKING PROVIDED: 3 SPACES
REQUIRED BICYCLE PARKING: 5 SPACES
BICYCLE PARKING PROVIDED: 5 SPACES

GENERAL NOTES

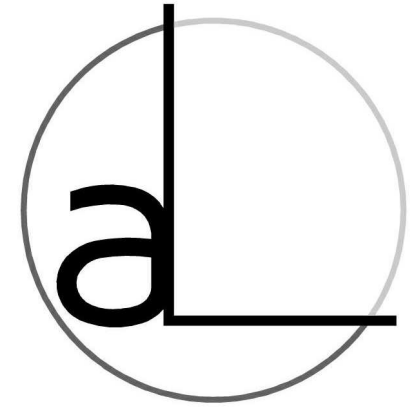
- A. VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
B. CURBS DIMENSIONED TO FACE OF CURB U.N.O.
C. PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
D. VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
E. LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
F. SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.

KEYED NOTES

1. CONCRETE CURB AND GUTTER, RE: D1/AS102a.
2. EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
3. CONCRETE SIDEWALK PER DETAIL D3/AS102a.
4. EXISTING CONCRETE SIDEWALK TO REMAIN.
5. 4" THICK CONCRETE FLAST WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE, RE: D4/AS102a.
6. ASPHALT PAVING, RE: SOILS REPORT.
7. LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
8. POLE MOUNTED LIGHT ON CONCRETE BASE, RE: C5/AS102a.
9. EXISTING POWER POLE TO REMAIN.
10. ACCESSIBLE SIDEWALK RAMP, RE: C4/AS102a.
11. MONUMENT SIGN, RE: A1 & A3/AS102a.
12. 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT. PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1-1/2"x1-1/2"x1/4" STEEL ANGLE, PAINT, TYPICAL. RE: A4/AS102a.
13. GAS METER.
14. ELECTRICAL GEAR ENCLOSURE WITH DISCONNECT AND METER. SEE ELECTRICAL DRAWINGS.
15. ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: B3/AS102a.
16. BICYCLE RACK, RE: B3/AS102a.
17. CONCRETE HEADER CURB, RE: D2/AS102a.
18. 4" THICK, 12" WIDE CONCRETE FLATWORK FLUSH WITH TOP OF CURB.
19. EXISTING ASPHALT PAVEMENT.
20. RELOCATED EXISTING FIRE HYDRANT.
21. PARKING STRIPING - 4" WIDE - SAFETY WHITE.
22. HANDICAP PARKING SPACE WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
23. HANDICAP VAN PARKING SPACE PER C.O.A.BQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: C2/AS102a.
24. HANDICAP ACCESSIBLE AISLE WITH PAINTED "NO PARKING". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACE.
25. NEW RETAINING WALL, RE: C4/AS103a.
26. TRASH ENCLOSURE, RE: A1/AS102a.
27. ELECTRICAL EQUIPMENT, RE: ELECTRICAL DRAWINGS.
28. NEW FIRE HYDRANT.
29. "KNOX BOX" INSTALLED PER FIRE DEPT STANDARDS.
30. LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE. RE: LANDSCAPE FOR REQUIREMENTS.
31. ELECTRICAL TRANSFORMER, RE: ELECTRICAL DRAWINGS.
32. COMMUNICATIONS PEDESTAL, RE: ELECTRICAL DRAWINGS.
33. NOT USED.
34. BOLLARD LIGHT, RE: ELECTRICAL DRAWINGS.
35. EXISTING POWER POLE TO REMAIN.
36. 3" O" CONCRETE VALLEY GUTTER, RE: CIVIL.
37. FIRE SUPPRESSION SYSTEM POST INDICATOR OF VALUE.
38. DOWNSPOUT CONNECTION TO STORM DRAIN, RE: CIVIL DETAIL.
39. ROOF DRAIN CONNECTION TO STORM DRAIN, RE: DETAIL A5/AS102a.
40. 2" O" VALLEY GUTTER, RE: B5/AS102a.
41. 2" O" WIDE CONCRETE CHANNEL.
42. NEW ACCESS DRIVEWAY PER COA STANDARD DRAWING 2426 AND VALLEY GUTTER PER COA STANDARD DRAWING 2420.
43. ACCESSIBLE SIDEWALK RAMP PER COA DETAIL DRAWING 2446.
44. ACCESSIBLE SIDEWALK RAMP PER COA DETAIL DRAWING 2426.
45. NEW CONCRETE CURB AND GUTTER PER COA DETAIL DRAWING 2415A.
46. NEW CONCRETE SIDEWALK PER COA DETAIL DRAWING 2430.
47. MOTORCYCLE PARKING SIGN, RE: B3/AS102a.
48. MOTORCYCLE PARKING WITH PAINTED "MOTORCYCLE". EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACES.

LEGEND

- NEW ASPHALT PAVING
NEW CONCRETE PAVING
NEW LANDSCAPING
NO WORK THIS AREA



arcLINE
Architectural Design LLC
PO Box 91462
Albuquerque
New Mexico 87199
P 505.681.7274
www.arcLINE-arch.com

ARCHITECT/ENGINEER



4700 EUBANK OFFICE DEVELOPMENT
4700 EUBANK BLVD NE
ALBUQUERQUE, NM 87113

BID / PERMIT SET

REVISIONS

REV DATE DESCRIPTION

DATE 10-25-2022

PROJECT NO. 21-018

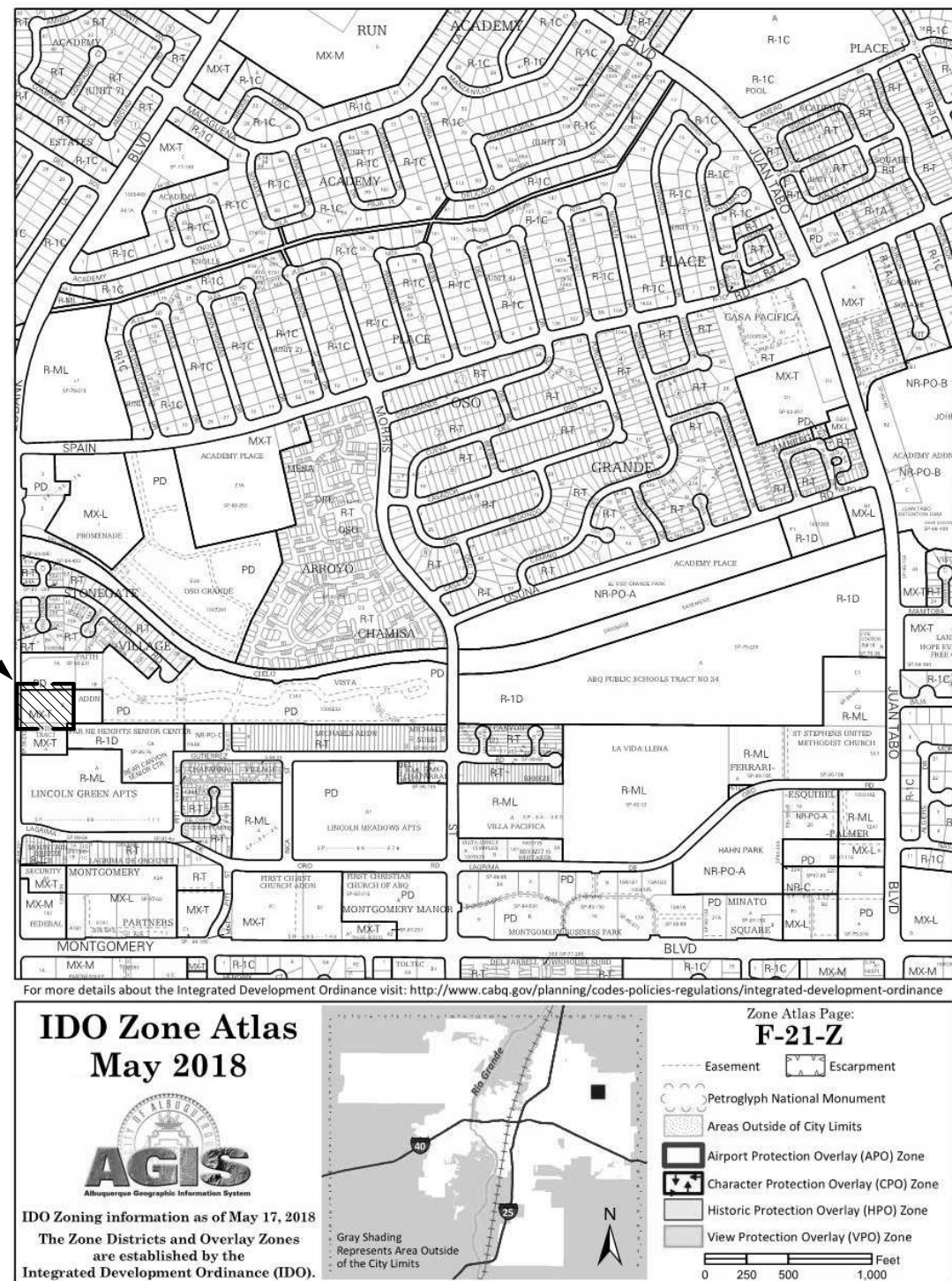
DRAWING NAME

SITE PLAN

SHEET NO.

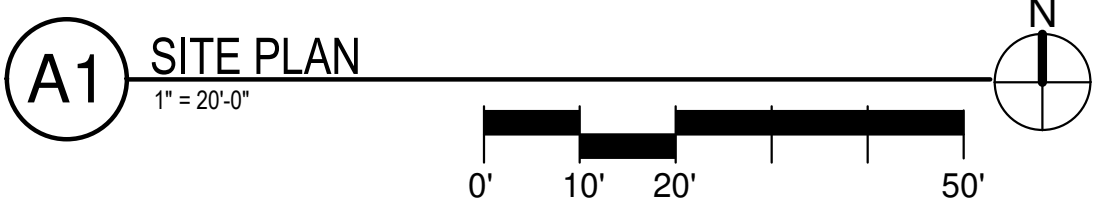
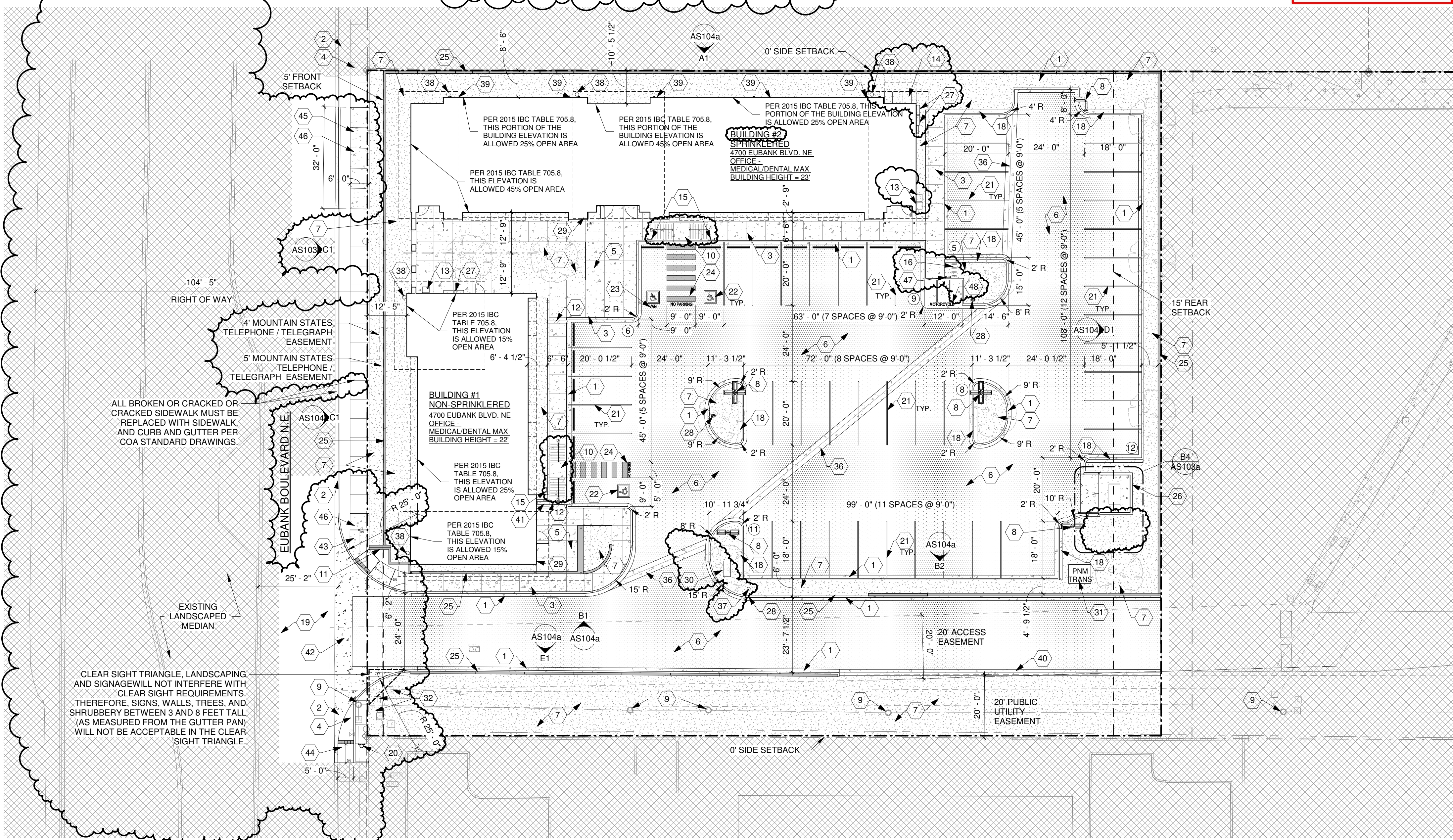
AS101a

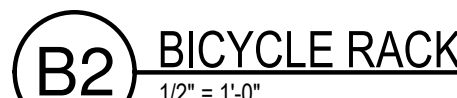
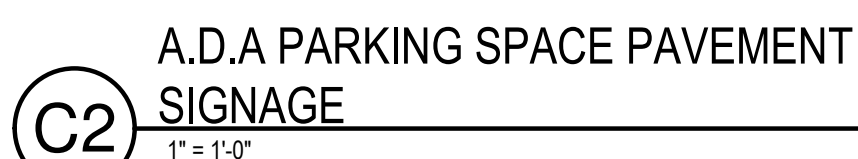
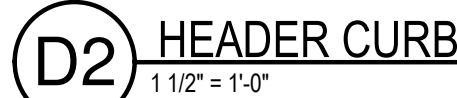
PROJECT LOCATION



TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 1/10/2023
Signed Date





ARCHITECT/ENGINEER



BID / PERMIT SET

SITE DETAILS

SHEET NO.

AS102a