

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

December 1, 2021

Jesus Lopez, PE  
RESPEC  
5971 Jefferson St. NE  
Albuquerque, NM 87109

**Re: Guardian Storage  
Osuna & Juan Tabo (F21D081)  
Request for Certificate of Occupancy  
Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 1-28-20 (F21D081)  
Certification dated 11-30-21

Dear Mr. Lopez,

PO Box 1293

Based upon the information provided in your submittal received 12-1-21, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

NM 87103

Sincerely,

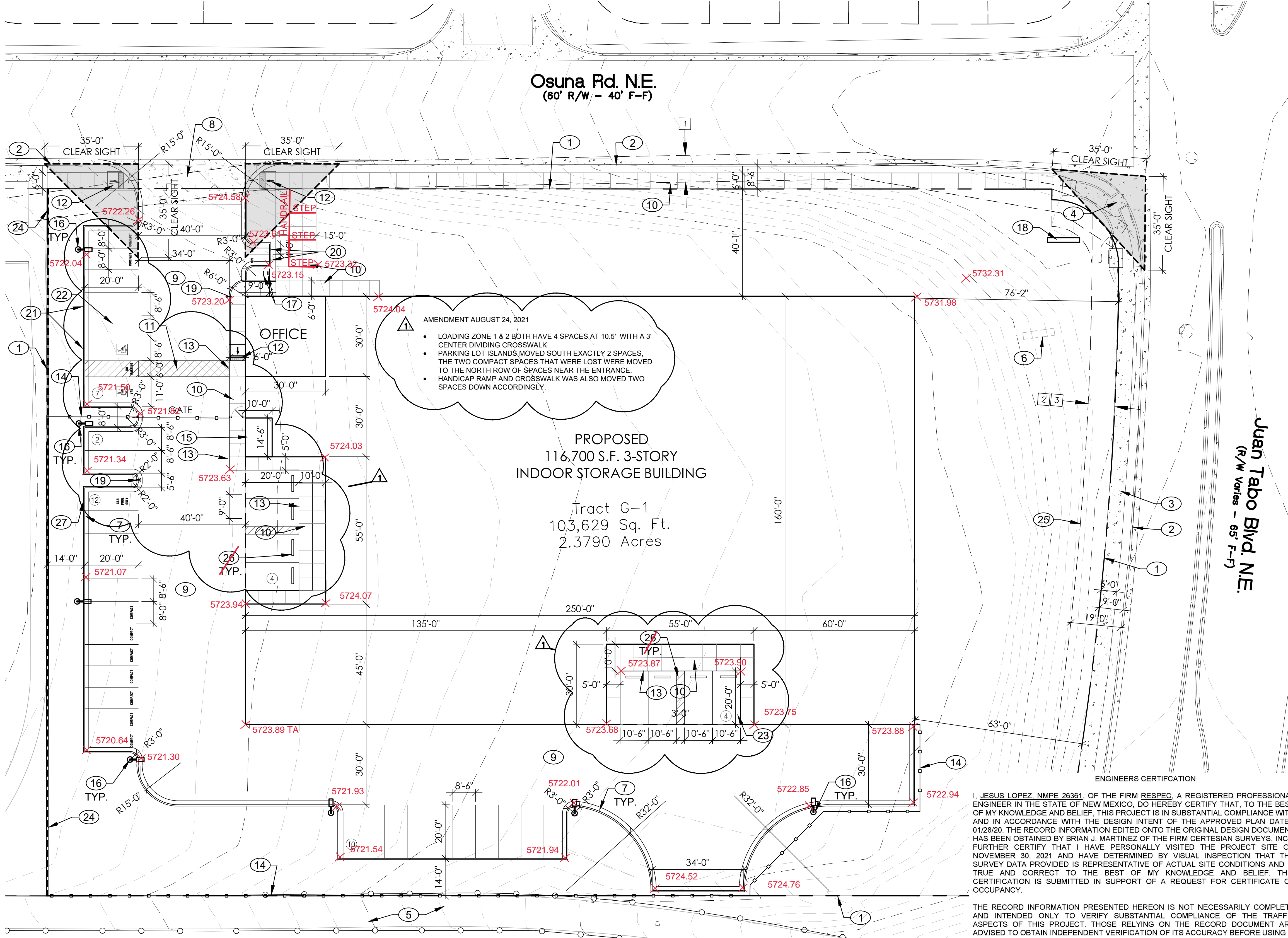
www.cabq.gov

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





## SITE DATA

LEGAL DESCRIPTION: TRACT G-1

SITE AREA: 2.37 AC.

EXISTING ZONING: MX-L

PROPOSED LAND USE: 3-STORY BUILDING FOR SELF-STORAGE USES AS IS CONDITIONALLY ALLOWED IN MX-L ZONE DISTRICT (APPROVED BY ZHE, 5/1/2019, VA-2019-00086; #2019-002184). FACILITY SHALL COMPLY WITH SPECIFIC-USE STANDARDS SECTION 14-16-4-3(D)(28) SELF-STORAGE.

BUILDING AREA: 180,200 SF

MAXIMUM BUILDING HEIGHT: 35 FEET.

PARKING REQUIREMENTS:

OFFICE: 3.5 SPACE PER 1,000 SF GFA  
SELF STORAGE: 1 SPACE PER 3,000 SF GFA

TOTAL PARKING REQUIRED/PROVIDED:	41/42
REQUIRED OFFICE (900 SF):	3
REQUIRED SELF-STORAGE (115,800 SF):	+38
TOTAL REQUIRED SPACES:	41
PROVIDED STANDARD SPACES:	29
PROVIDED COMPACT SPACES:	9 (21%)
PROVIDED CAR POOL SPACES:	+4 (1 SPACE =4 CREDITS)
TOTAL PROVIDED SPACES:	42

HANDICAPPED REQUIRED/PROVIDED: 2/2

MOTORCYCLE PARKING REQUIRED/PROVIDED: 2/2

BICYCLE REQUIRED/PROVIDED: 4/4

TRANSIT: BUS ROUTE 1 (JUAN TABO BLVD). THE BUS STOPS ARE LOCATED DIRECTLY ACROSS JUAN TABO BLVD AND APPROXIMATELY 450' NORTH FROM THE SITE.

BIKE PATH: BEAR CANYON ARROYO TRAIL RUNS PARALLEL TO THE SOUTHERN PROPERTY BOUNDARY.

- KEY NOTES:
1. PROPERTY BOUNDARY
  2. EXISTING CURB AND GUTTER TO REMAIN
  3. EXISTING SIDEWALK TO REMAIN
  4. EXISTING ACCESSIBLE RAMP TO REMAIN
  5. EXISTING ASPHALT TRAIL TO REMAIN
  6. EXISTING OFF-PREMISE SIGN TO BE REMOVED
  7. CONCRETE CURB AND GUTTER
  8. CONCRETE DRIVEPAD
  9. ASPHALT PAVING
  10. CONCRETE SIDEWALK
  11. CONCRETE CROSSWALK
  12. ADA CONCRETE RAMP
  13. SIDEWALK FLUSH WITH ASPHALT
  14. 8' HEIGHT TUBULAR STEEL FENCE, COLOR: BLACK
  15. REFUSE ENCLOSURE LOCATED IN BUILDING WITH ROLL UP DOOR AND ROLL OUT CONTAINER
  16. SITE LIGHTING, 20' HEIGHT MAX, LOCATIONS SHOW ARE CONCEPTUAL AND MAY BE ADJUSTED
  17. BICYCLE RACK
  18. MONUMENT SIGN
  19. ELECTRIC GATE KEY PAD
  20. "MOTORCYCLE PARKING ONLY" SIGN
  21. "HANDICAP PARKING ONLY" SIGN WITH "VAN ACCESSIBLE" SIGN. SHALL HAVE THE REQUIRED LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER NMSA 197866-7-352.4C.
  22. ADA ACCESS AISLE: AISLE SHALL HAVE THE LANGUAGE "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. (66-1-2.1 B NMSA 1978)
  23. 9' X 25' OFF-STREET LOADING SPACE
  24. 6' HEIGHT OPAQUE CMU WALL, 3' BLOCK WALL ON TOP OF 3' RETAINING WALL OR ENGINEERED APPROVED EQUAL. ADDITIONAL TUBULAR STEEL FENCE ON TOP OF WALL MAY BE ADDED AS DETERMINED BY OWNER TO ADDRESS SECURITY REQUIREMENTS.
  25. 10' OF ADDITIONAL RIGHT-OF-WAY TO BE DEDICATED THROUGH PLAT
  26. PRECAST CONCRETE PARKING BUMPER.
  27. "CAR POOL PARKING ONLY" SIGN.

I, JESUS LOPEZ, NMPE 26361, OF THE FIRM RESPEC, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 01/28/20. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN J. MARTINEZ OF THE FIRM CERTESIAN SURVEYS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 30, 2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

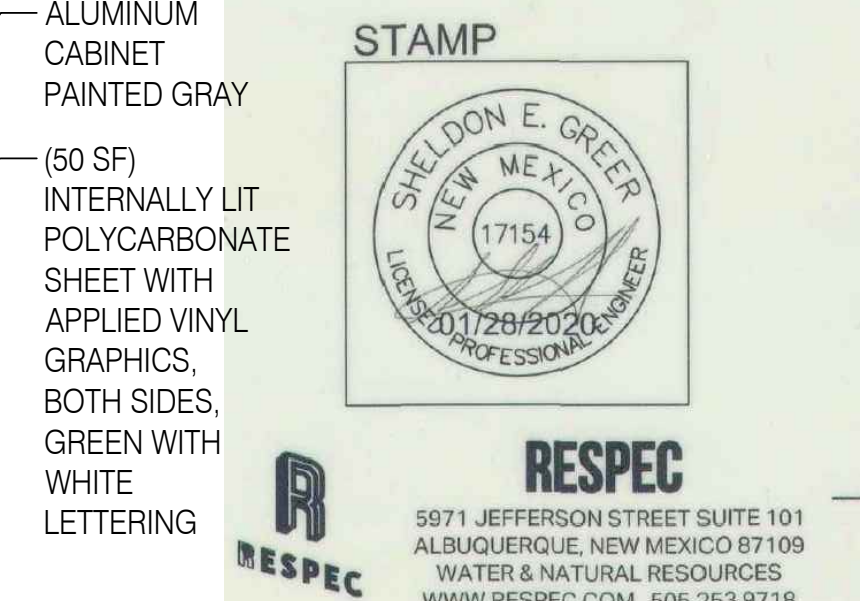
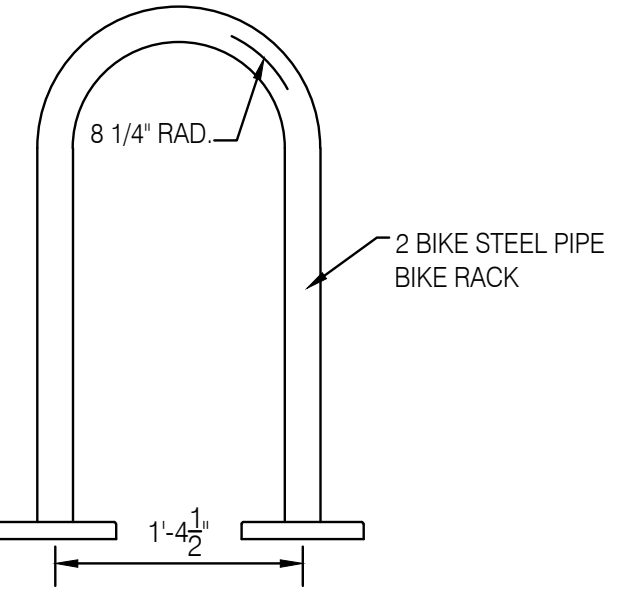
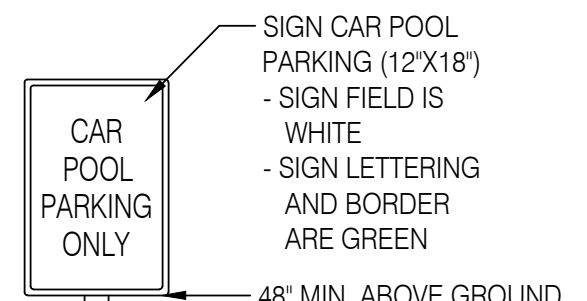
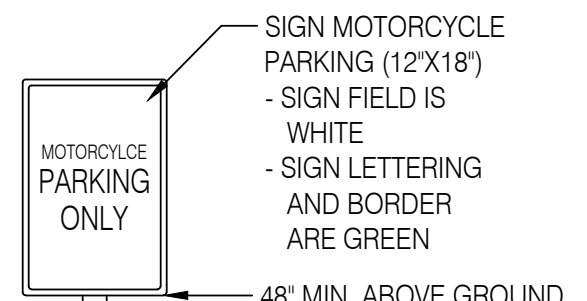
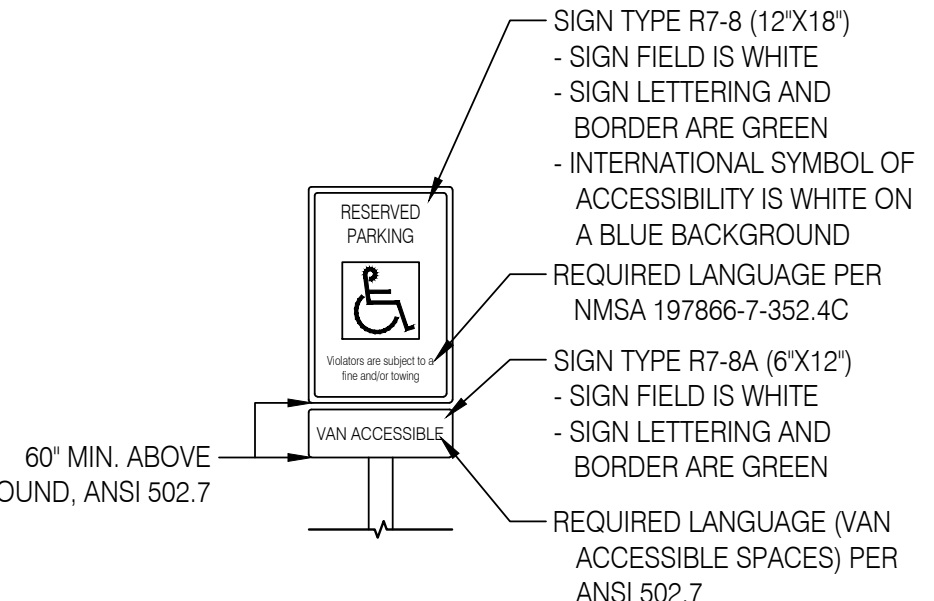
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

JESUS LOPEZ, NMPE 26361  
11/30/2021



## Easement Notes

1. EXISTING 10' UNDERGROUND PNM EASEMENT (11/05/2004, BK. A86, PG. 5611, DOC. NO. 2004156042)
2. EXISTING 10' UTILITY EASEMENT (10/13/1987, BK. D6, PG. 16)
3. EXISTING 10' PUBLIC SIDEWALK EASEMENT (02/25/2003, 2003C-40) TO BE VACATED THROUGH PLAT.



# GUARDIAN STORAGE OSUNA ROAD

## SITE PLAN - DRB

Prepared for:  
Guardian Storage VI, LLC  
9221 Eagle Ranch Rd NW  
Albuquerque, NM 87114

Prepared by:  
Consensus Planning, Inc.  
302 Eighth Street SW  
Albuquerque, NM 87102

January 22, 2020

Sheet 1 of 9





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

**IS THIS A RESUBMITTAL?:** \_\_\_\_\_ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

