

4) The Water Quality pond in the center of the site still needs to be revised. The top elevation of 49.25 is adjacent to curb spot elevations of 51.5 and 52.5. Revise as needed.

5) Both the orifice plate detail and Detail "A" have been deleted from the previous submittal. Make sure to also add the size of the orifice on the detail itself that matches the drainage report and list invert elevation on actual detail, too.

6) On the grading and drainage plan, change the verbage "tank" to "infiltrator". Now that multiple chambers are provided, revise the report accordingly on the trench detail which indicates "Multiple chambers not used for this application". For this new layout, show connection from pipe into infiltrator on the plan and show invert elevations at the connection. In lieu of having two bends on the north side it is recommended to make a direct connection into the westernmost series of infiltrators to prevent clogging up of the system.

7) How does the site discharge at 1.30 cfs at elevation 5740 if the invert elevation of the downstream set of infiltrators is set at elevation 5740?

8) Since you have the excerpt from the original report showing the discharge of 4.7 cfs into the original system, also provide that for records for this project, too.

9) Because it is desired to retain first flush for east building, provide curb cuts for parking lot immediately to the west to have a first flush pond west of the parking lot. Then, any additional runoff can drain to the Type "C" inlet to the south.

If you have any questions, you can contact me at 924-3924.

Sincerely,



Jeanne Wolfenbarger, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email

CITY OF ALBUQUERQUE



June 30, 2015

David Soule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

**RE: Sandia Area Credit Union and Starbucks, 11301 Montgomery Boulevard
Grading and Drainage Plan
Engineer's Stamp Date 6-29-2015 (File: F22-D002)**

Dear Mr. Soule:

This plan is approved for DRB Action for Plat approval provided that the following is addressed and given as part of DRB submittal in advance:

PO Box 1293

Albuquerque

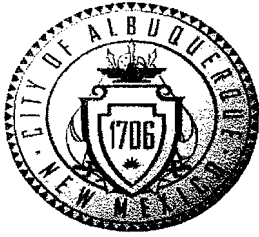
New Mexico 87103

www.cabq.gov

- 1) The recent grading and drainage plan now shows proposed property lines. Because the north lot is proposed to drain through the system of 12-inch pipes and infiltrators to Montgomery Boulevard within the southern lot, provide private drainage easement from the property line to Montgomery Boulevard that encompasses this system which conveys the northern lot flows. Provide a wide enough easement to incorporate a minimum distance of 5 feet on either side of the proposed infrastructure for this system. Show this proposed easement on an exhibit along with the existing and proposed property lines and proposed drainage infrastructure for preliminary plat approval. Finalization of easement can be provided prior to final plat approval.

Prior to Building Permit approval, provide the following:

- 2) Provide benchmark and datum.
- 3) Revise proposed report volumes to match what is on the grading and drainage plan. On Sheet 4, a volume of 2379 cubic feet is listed which does not match the plan, and on the "Weighted E Method", the volumes listed for the infiltrators and for the temporary pond do not match what is on the plan.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: sandia area federal credit union-starbucks Building Permit #: _____ City Drainage #: f22-f002

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lots 3a,3b,3c new holiday park

City Address: 13101 montgomery ne

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: sandia area federal credit union Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: slagle Herr Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: CONSTRUCTION SURVEY INCORPORATED Contact: JOHN GALLEGOS

Address: _____

Phone#: 917.8921 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

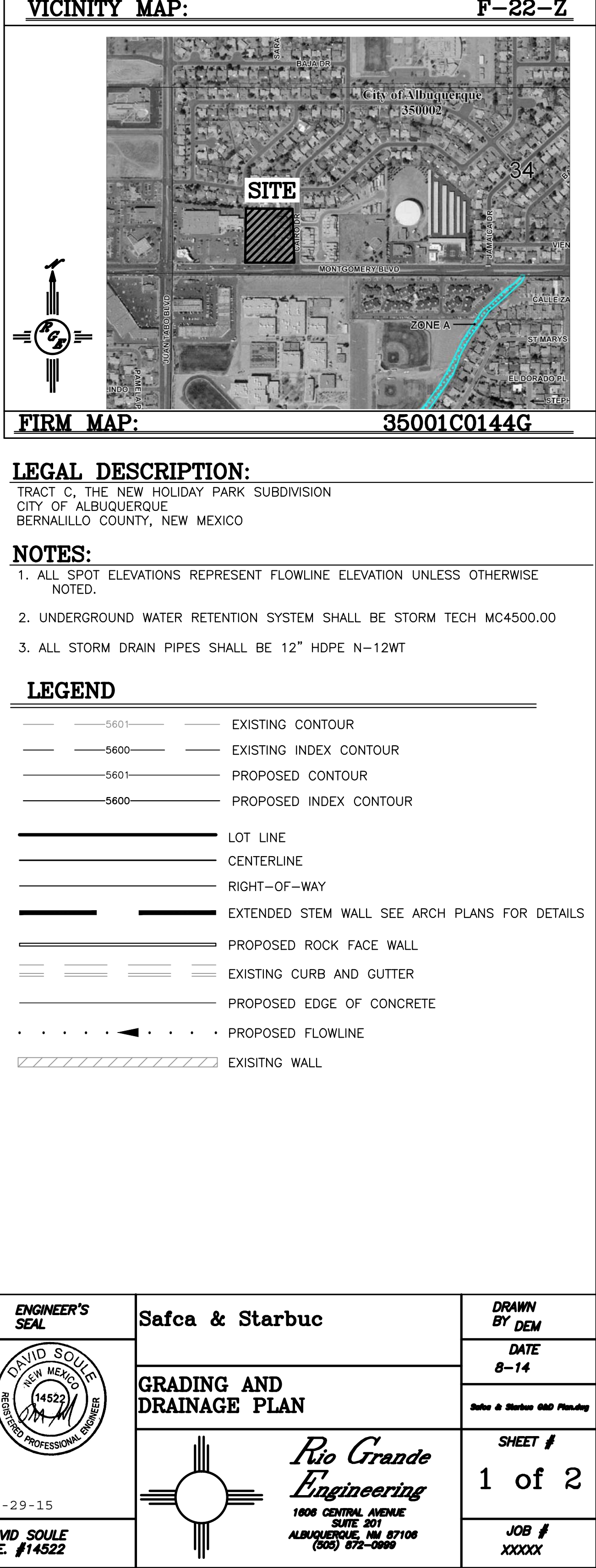
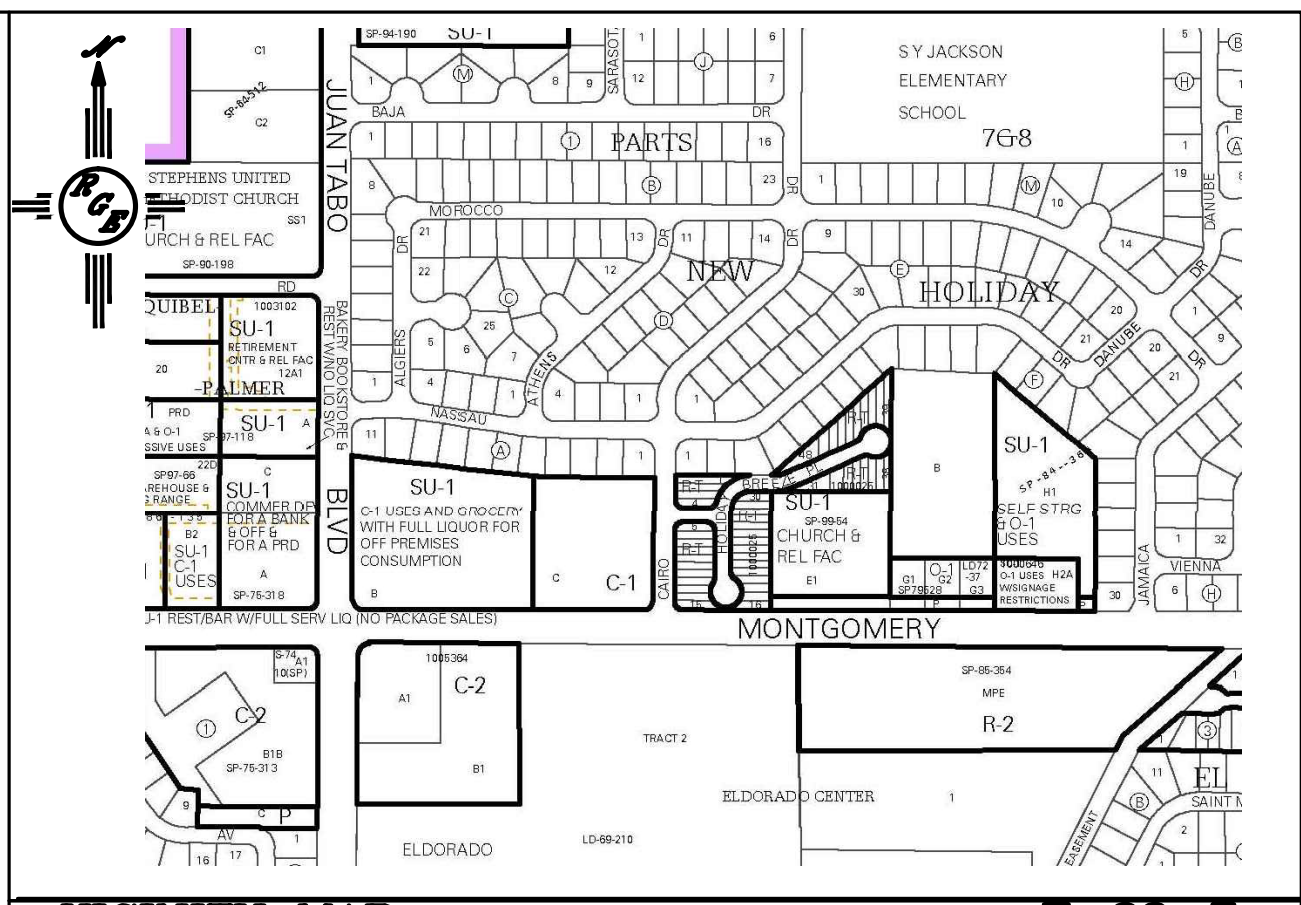
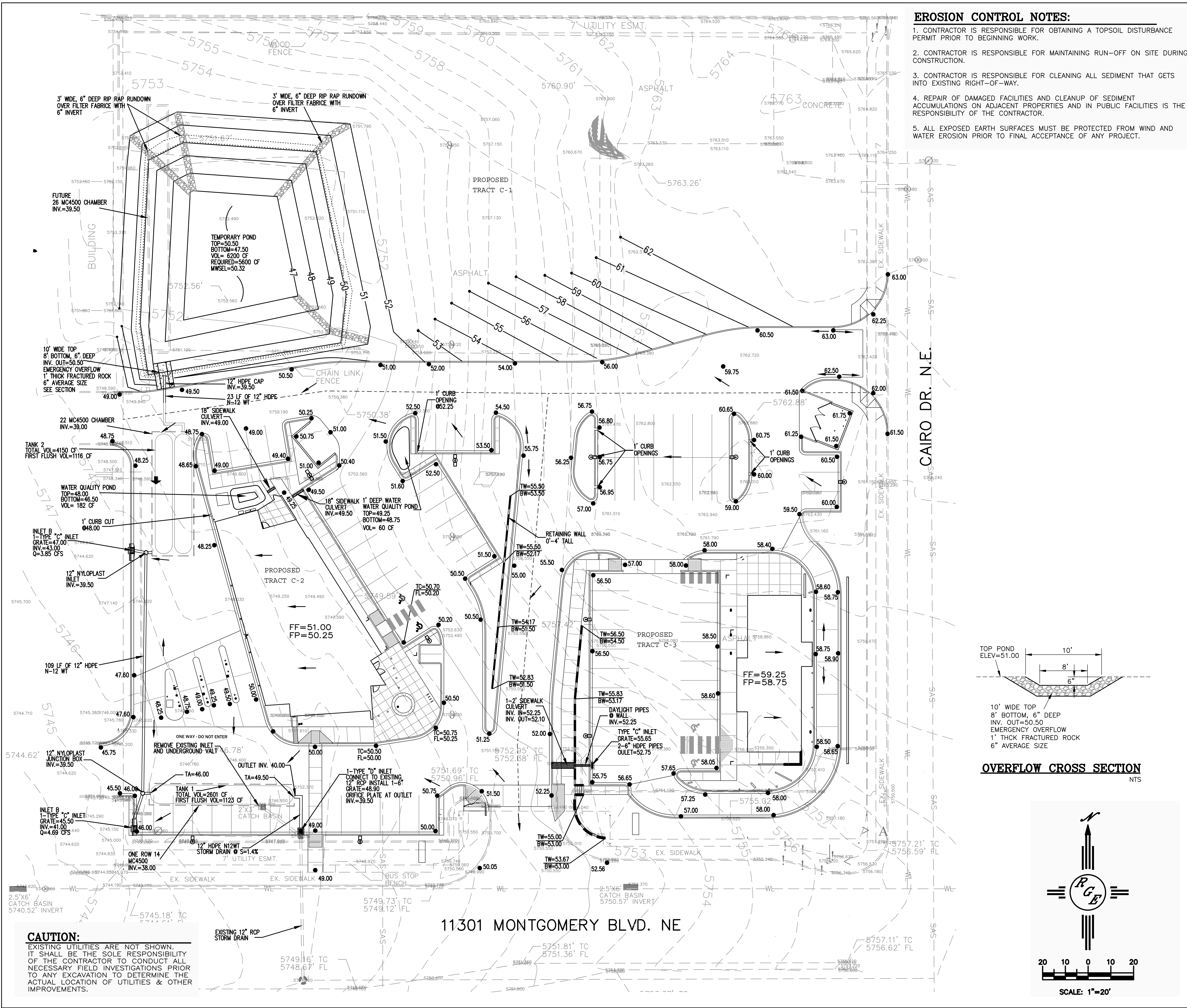
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes ☒ No _____ Copy Provided

DATE SUBMITTED: 6/29/15 By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



RIO GRANDE ENGINEERING OF NEW MEXICO, LLC

June 29, 2015

Ms. Jeanne Wolfenbarger, PE
Senior Engineer, Planning Department
Development Review
City of Albuquerque

**RE: Grading and Drainage Plan
F22-D002
Sandia Area Credit Union**

Dear Ms. Wolfenbarger:

The purpose of this letter is to accompany the revised drainage submittal. The plan has been modified to address your written comments dated June 19, 2015. The following is a response to your comments:

1. We have added the max water surface elevation to the temporary pond.
2. We have added the first flush label on the tanks and labeled the number of tanks.
3. We have added a note stating all the pipes are 12" HDPE N12-WT.
4. We have added a detail for the emergency overflow.
5. We have revised the pond elevation to match surrounding elevations.
6. We have revised the pond elevations to match the surrounding elevations.
7. We have added invert elevations to the sidewalk culverts.
8. We have shown the property lines on the plan and included a copy of the plat.

Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Spule, PE
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

David Soule

From: Wolfenbarger, Jeanne [jwolfenbarger@cabq.gov]
Sent: Friday, June 19, 2015 4:08 PM
To: 'David Soule'
Subject: F22-D002 (Sandia Area Federal Credit Union/Starbucks)
Importance: High

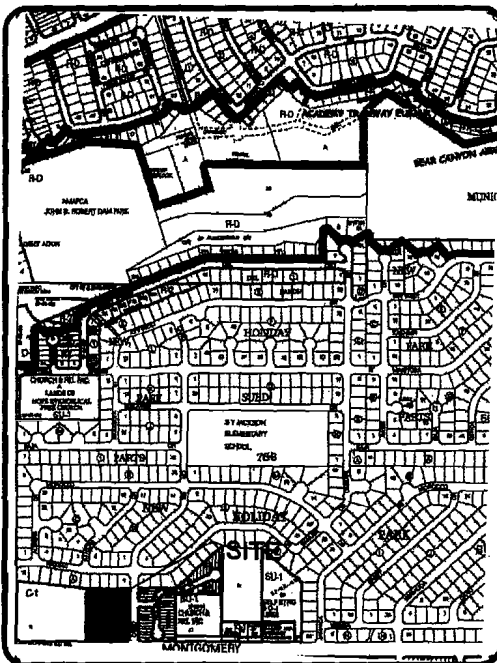
David,

I have reviewed the latest drainage submittal and still need to have the following comments addressed prior to approval:

1. If the temporary pond is now sized to handle the 100-year 10-day storm runoff, label the WSEL Elevation within the pond on the plan view. ✓
2. On the actual grading and drainage plan view, label the first flush volume for each run of the storm chambers that corresponds with drainage write-up. Also, label the total volume provided by the storm chambers on the plan view that corresponds with the drainage write-up. (Provide this information directly under the label showing number of storm chambers for each run of the storm chambers.) ✓
3. Label all pipe sizes on the plan. There are some short pipe runs especially from the that are missing pipe size call-outs. ✓
4. Provide detail for the 10-foot by 6" emergency overflow from the temporary pond. List the elevations. (It would make sense that the above invert elevation within the pond is above the WSEL Elevation from the upstream pond when labeling it.) ✓
5. On the water quality pond in the middle of the site, the top elevation of 49.25 is far lower than the adjacent curb cut elevation opening of 52.25 and other adjacent curb elevations. Revise as necessary. ✓
6. On the water quality pond on the west side of the site, there are top of pond elevations of 46.5 shown where the adjacent sidewalk would be approximately 4 feet higher based on the adjacent curb flowline elevations, and the adjacent building is also approximately 4 feet higher. Revise as necessary. ✓
7. There are new 18-inch sidewalk culverts called out on the plan near the water quality pond to the west that have no elevation information listed. Also, how does water drain from the other 18-inch sidewalk culvert to this one? Provide a couple more spot elevations for information. ✓
8. When you mention the cross-lot drainage easements in the write-up, there is only one parcel. (?)

Jeanne

6/19/2015



ZONE ATLAS F-22-Z NOT TO SCALE

LEGAL DESCRIPTION

TRACT LETTERED "C" OF THE NEW HOLIDAY PARK AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON JANUARY 15, 1970 IN PLAT BOOK 04, FOLIO 57.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMER, AND OTHER EQUIPMENT RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

QWEST CORPORATION D.B.A. CENTURY LINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED, IS THE RIGHT TO REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF "GRANTOR" FOR PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF "GRANTEES", INCLUDING SUFFICIENT WORKING SPACE FOR ELECTRICAL TRANSFORMERS, WITHIN THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY PUBLIC SERVICE COMPANY (PNM), NEW MEXICO GAS COMPANY (NMGC), CENTURY LINK AND COMCAST DO NOT WAIVE OR RELEASE ANY EASEMENTS OR ANY EASEMENTS RIGHTS WHICH MAY HAVE BEEN GRANTED BY A PRIOR PLAT, RE-PLAT OR ANY OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT

FREE CONSENT & DEDICATION

THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S) OF THE LAND HEREIN DESCRIBED AND BEING COMPRISED OF TRACT C OF THE NEW HOLIDAY PARK, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS SHOWN AND THE SAME IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE PARCEL(S) HEREIN DESCRIBED AND DEDICATE RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND GRANT ANY EASEMENTS AS SHOWN HEREON AND CONSENT TO THE VACATION OF ALL EASEMENTS SHOWN HEREON. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

BY: *[Signature]* 5-14-15
OWNER/DATE

ACKNOWLEDGMENT

STATE OF NM)
COUNTY OF Bernalillo)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 14th DAY OF MAY, 2015, BY SCOTT CONTNEY.

NOTARY PUBLIC: *[Signature]*
MY COMMISSION EXPIRES: 9/29/2018

SOLAR COLLECTION NOTE:

PER SECTION 14-14-7 OF THE SUBDIVISION ORDINANCE

NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO DEED RESTRICTION, COVENANT OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDING OR BEING ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THIS PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO THE APPROVAL OF THIS PLAT.

SHEET INDEX

PAGE 1. COVER
PAGE 2. SUBDIVISION PLAT

SUBDIVISION PLAT OF TRACTS C-1, C-2 AND C-3 THE NEW HOLIDAY PARK BEING A RE-PLAT OF TRACT "C"

THE NEW HOLIDAY PARK
PROJECTED SECTION 34, T 11 N, R 4 E, N.M.P.M.
ELENA GALLEGOS LAND GRANT
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 2015

PROJECT NUMBER: _____

CITY APPROVALS:

| | | |
|--|-------------------------|---------|
| CITY SURVEYOR | <i>[Signature]</i> P.S. | 5/26/15 |
| TRAFFIC ENGINEERING, TRANSPORTATION DIVISION | | DATE |
| UTILITIES DEVELOPMENT | | DATE |
| PARKS AND RECREATION DEPARTMENT | | DATE |
| A.M.A.F.C.A. | | DATE |
| ABCWUA | | DATE |
| CITY ENGINEER | | DATE |
| DRB CHAIRPERSON, PLANNING DEPARTMENT | | DATE |
| REAL PROPERTY DIVISION | | DATE |

UTILITY APPROVALS:

| | | |
|--|--|------|
| PNM ELECTRIC SERVICES | | DATE |
| NEW MEXICO GAS | | DATE |
| QWEST CORPORATION D.B.A. CENTURY LINK QC | | DATE |
| COMCAST | | DATE |

SURVEYOR'S CERTIFICATE:

I, DAVID P. ACOSTA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 21082, DO HEREBY CERTIFY THAT THIS PLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS ON SUBJECT TRACT(S) AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST; MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE MAY 1, 2007; AND THAT THE PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAVID P. ACOSTA, NMPLS NO. _____

DATE

05-11-2015

PURPOSE OF PLAT:

THE PURPOSE OF THIS PLAT IS TO CREATE THREE (3) TRACTS FROM ONE (1), GRANT ADDITIONAL PUBLIC RIGHT OF WAY TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS, GRANT ADDITIONAL PUBLIC UTILITY EASEMENTS AND CROSS LOT PRIVATE DRAINAGE, RECIPROCAL PARKING, PRIVATE ACCESS EASEMENT AND VACATE A PORTION OF A PUBLIC UTILITY EASEMENT.

NOTES:

1. BEARINGS ARE GRID BASED—NEW MEXICO STATE PLANE CENTRAL ZONE (NAD 1983)
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. ALL BOUNDARY CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 21082", AND DEPICTED AS NOTED UNLESS OTHERWISE INDICATED.
4. BEARINGS AND DISTANCES IN () ARE RECORD.

SUBDIVISION DATA:

DRB#
ZONE ATLAS INDEX NO. F-22-Z
DATE OF FIELD SURVEY: JANUARY 2015
TOTAL NO. OF TRACTS EXISTING 1
TOTAL NO. OF TRACTS CREATED 3
GROSS SUBDIVISION ACREAGE 3.10724 ACRES
TOTAL RIGHT-OF-WAY DEDICATION ACREAGE 0.07009 ACRES

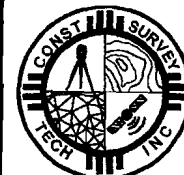
DOCUMENTS USED:

THE NEW HOLIDAY PARK, VOL. 04, FOLIO 57

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UNIFORM PROPERTY CODE #:

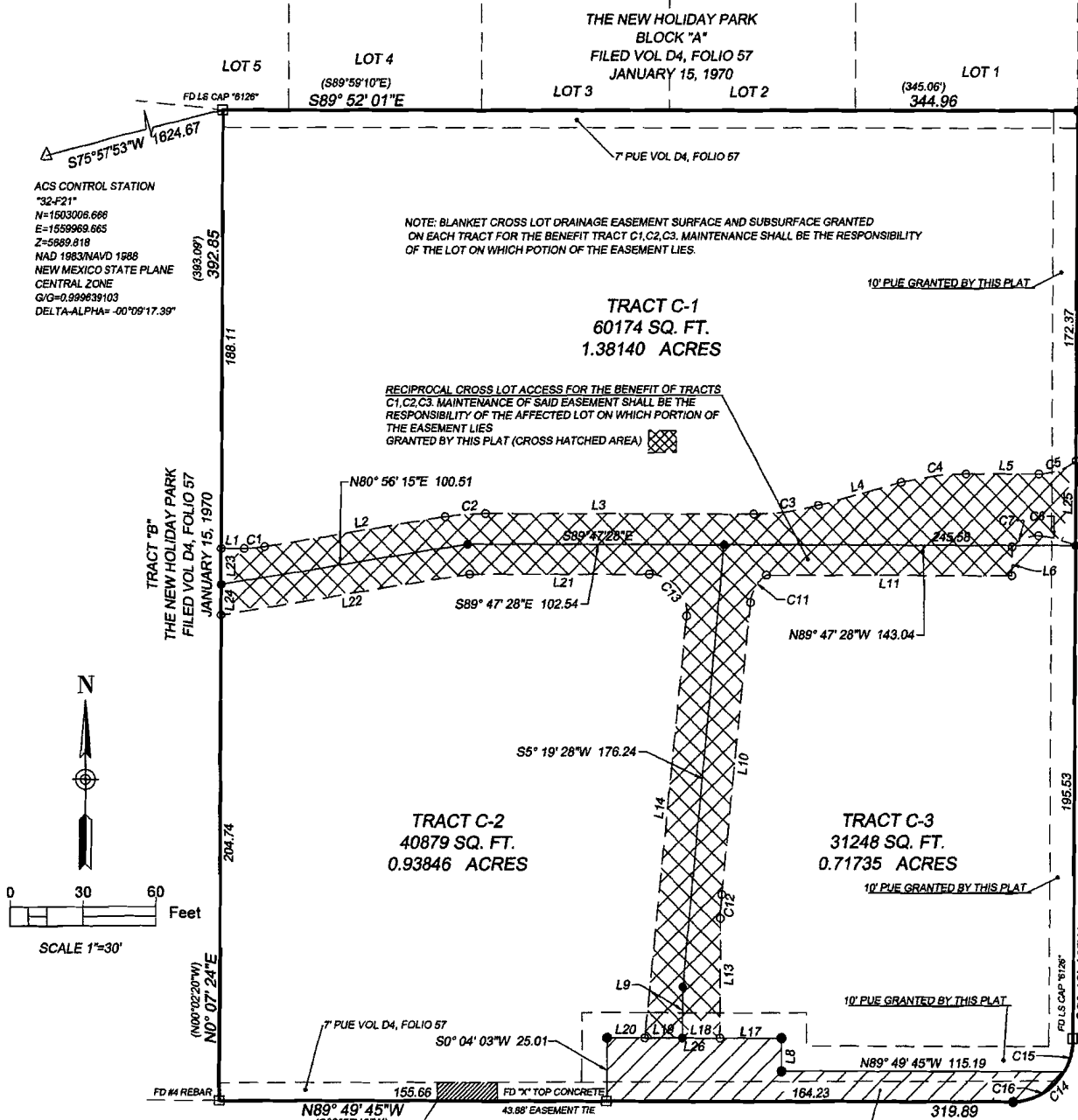
BERNALILLO COUNTY TREASURER'S OFFICE:



CONSTRUCTION SURVEY TECHNOLOGIES, INC
MAILING: PO BOX 65395, ALBUQUERQUE, NM 87193 505-917-5912
OFFICE: 1606 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87106
NMSURVEYOR@GMAIL.COM

SUBDIVISION PLAT OF
TRACTS C-1, C-2 AND C-3
THE NEW HOLIDAY PARK
BEING A RE-PLAT OF
TRACT "C"

THE NEW HOLIDAY PARK
PROJECTED SECTION 34, T 11 N, R 4 E, N.M.P.M.
ELENA GALLEGOS LAND GRANT
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY 2015



NOTE: BLANKET CROSS LOT DRAINAGE EASEMENT SURFACE AND SUBSURFACE GRANTED ON EACH TRACT FOR THE BENEFIT TRACT C1, C2, C3. MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LOT ON WHICH PORTION OF THE EASEMENT LIES.

RECIPROCAL CROSS LOT ACCESS FOR THE BENEFIT OF TRACTS C1, C2, C3. MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE AFFECTED LOT ON WHICH PORTION OF THE EASEMENT LIES GRANTED BY THIS PLAT (CROSS HATCHED AREA)

| LINE TABLE | | |
|------------|--------|----------------|
| Line # | Length | Direction |
| L1 | 9.21 | N89° 47' 28" W |
| L2 | 73.81 | S80° 51' 07" W |
| L3 | 107.19 | N89° 47' 28" W |
| L4 | 34.82 | S75° 02' 24" W |
| L5 | 29.89 | N89° 47' 28" W |
| L6 | 11.60 | S0° 53' 18" W |
| L8 | 13.10 | S0° 05' 09" W |
| L9 | 20.26 | S0° 12' 32" W |
| L10 | 116.38 | S5° 38' 08" W |
| L11 | 98.60 | S89° 47' 28" E |
| L13 | 47.54 | S0° 12' 32" W |
| L14 | 168.29 | N5° 38' 08" E |
| L17 | 24.94 | N88° 49' 45" W |
| L18 | 15.01 | N89° 49' 45" W |
| L19 | 15.07 | N89° 49' 45" W |

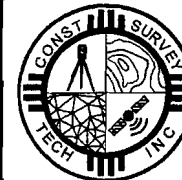
| LINE TABLE | | |
|------------|--------|----------------|
| Line # | Length | Direction |
| L20 | 15.04 | S89° 49' 45" E |
| L21 | 71.75 | S89° 47' 28" E |
| L22 | 101.52 | S80° 51' 07" W |
| L23 | 14.37 | S3° 03' 21" E |
| L24 | 12.16 | S0° 07' 24" W |
| L25 | 33.52 | S0° 10' 40" W |
| L26 | 70.07 | N89° 49' 45" W |

| CURVE TABLE | | | | | |
|-------------|--------|--------|-----------|-----------------|--------------|
| Curve # | Length | Radius | Delta | Chord Direction | Chord Length |
| C1 | 8.17 | 50.00 | 9°21'24" | N85° 31' 49" E | 8.16 |
| C2 | 16.33 | 100.00 | 9°21'24" | S85° 31' 49" W | 16.31 |
| C3 | 26.47 | 100.00 | 15°10'08" | N82° 37' 28" E | 26.40 |
| C4 | 26.47 | 100.00 | 15°10'08" | S82° 37' 28" W | 26.40 |
| C5 | 16.52 | 25.06 | 37°46'27" | N71° 10' 46" E | 16.23 |
| C6 | 15.87 | 55.34 | 16°26'01" | N78° 08' 39" W | 15.82 |
| C7 | 11.90 | 14.56 | 46°50'27" | S68° 45' 13" W | 11.57 |
| C11 | 13.09 | 15.00 | 49°58'52" | S30° 37' 34" W | 12.67 |
| C12 | 9.47 | 100.00 | 5°25'37" | S2° 55' 20" W | 9.47 |
| C13 | 24.98 | 15.00 | 95°25'37" | N42° 04' 40" W | 22.19 |
| C14 | 38.15 | 25.00 | 89°42'50" | S44° 38' 08" W | 35.27 |
| C15 | 13.94 | 25.00 | 31°57'05" | N15° 45' 16" E | 13.76 |
| C16 | 25.20 | 25.00 | 57°45'44" | N60° 36' 41" E | 24.15 |

- MONUMENT LEGEND**
- FOUND MONUMENT "AS NOTED"
 - △ ALBUQUERQUE CONTROL STATION "AS DESIGNATED"
 - SET 1" PLASTIC CAP STAMPED "LS 21082" OR CHISLED "X" OR PK NAIL WITH SHINER STAMPED "PS 21082"
 - EASEMENT PC, PT OR ANGLE POINT (NOT SET)

MONTGOMERY BLVD NE
(106' R.O.W.)

RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE TITLE WITH WARRANTY COVENANTS BY THIS PLAT
3050 SQUARE FEET
0.07003 ACRES
CROSS HATCHED AREA



CONSTRUCTION SURVEY TECHNOLOGIES, INC.

MAILING: PO BOX 65335, ALBUQUERQUE, NM 87193 505-917-8921
OFFICE: 1604 CENTRAL AVE SE, SUITE 101, ALBUQUERQUE, NM 87102
NMSURVEYOR@GMAIL.COM