

CITY OF ALBUQUERQUE



November 2, 2007

Jackie S. Mc Dowell, P.E.
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122


**Re: Hardin Townhomes, 12505 & 12508 Hardin Ct. NE,
Approval of Certificate of Occupancy (C.O.)
Engineer's Stamp dated 12/04/05 (F-22/D010)
Certification dated 11/01/07**

Based upon the information provided in your submittal received 11/02/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

Timothy Sims
Plan Checker, Planning Dept.
Development and Building Services

New Mexico 87103

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: HARDIN TOWNHOMES

ZONE MAP/DRG. FILE #: F-22 10010

DRB #:

EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: LOTS 5 & 6, BLOCK 2, NEW HOLIDAY PARK PARTS 5 & 6

CITY ADDRESS: 12505 & 12508 HARDIN COURT NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER:

DC ENTERPRISES, INC.

ADDRESS: 847 CALLE DE CORONADO SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87123

ARCHITECT:

RON MONTOYA CUSTOM DES.

ADDRESS: 4801 ALAMEDA NE, STE. G-1

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87113

SURVEYOR:

PROFESSIONAL CONT. SVC.

ADDRESS: 11200 MONTGOMERY

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BERNARD SEITZ, PS

PHONE: 294-2609

ZIP CODE: 87111

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

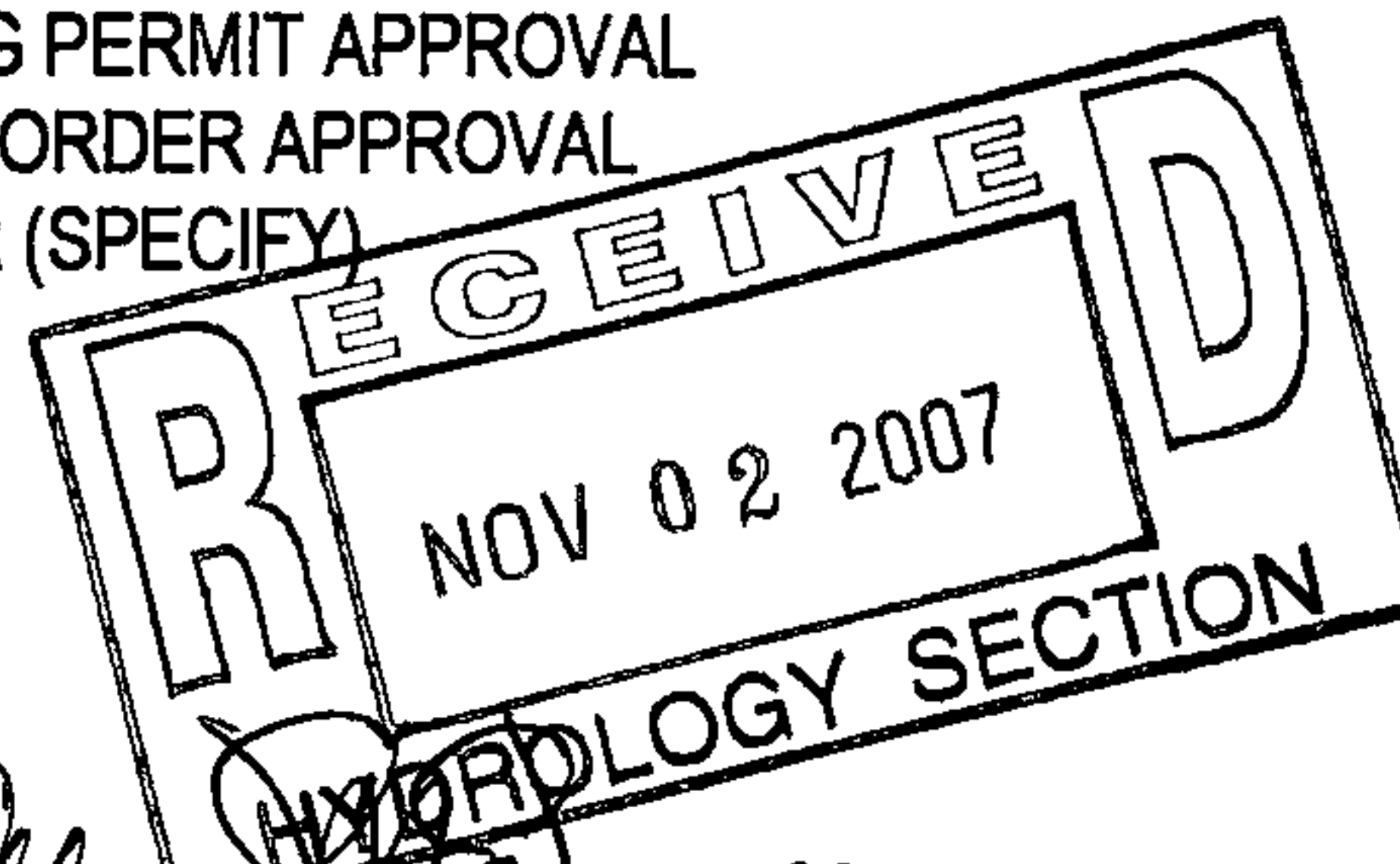
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 02-Nov-2007

BY:

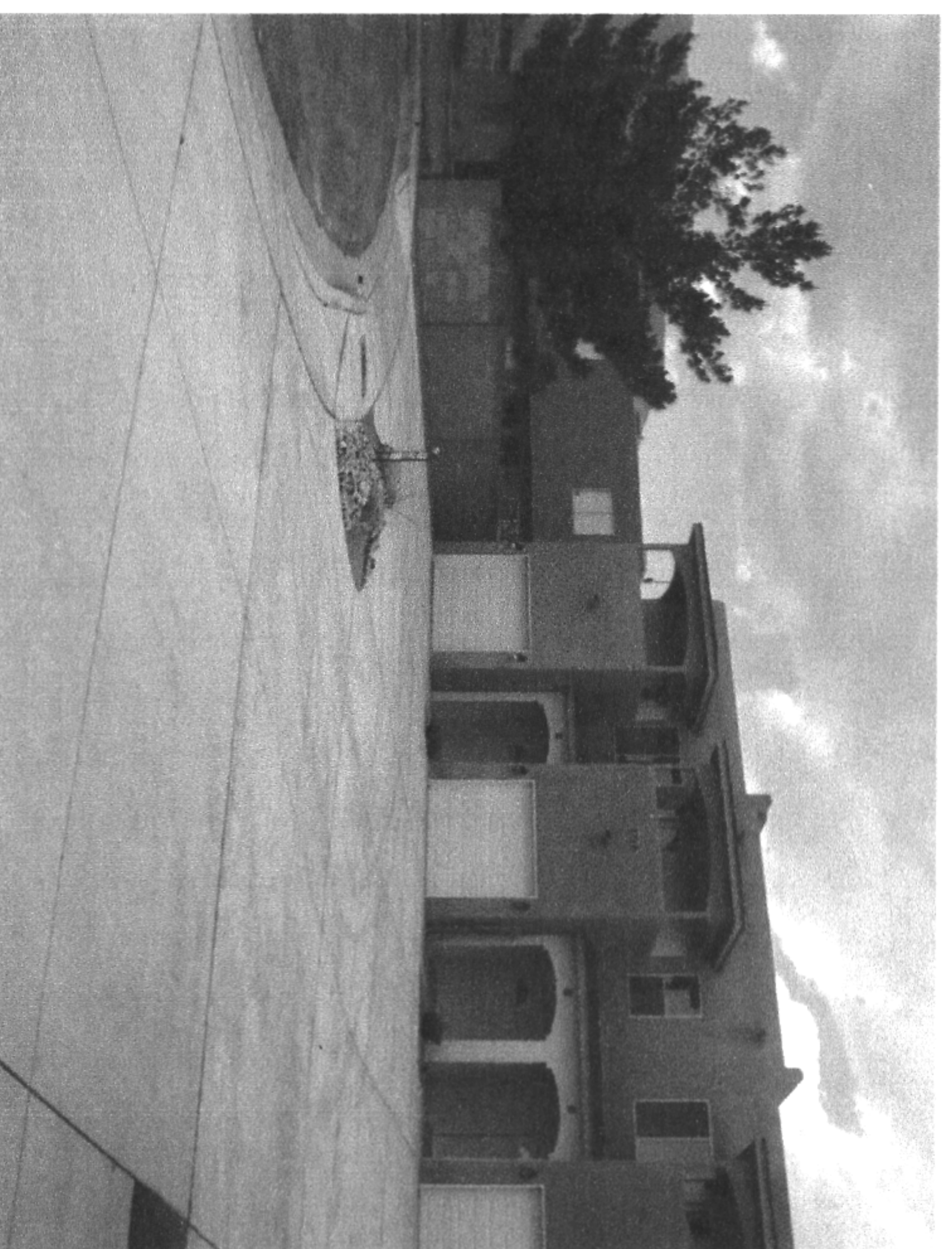

Jackie S. McDowell

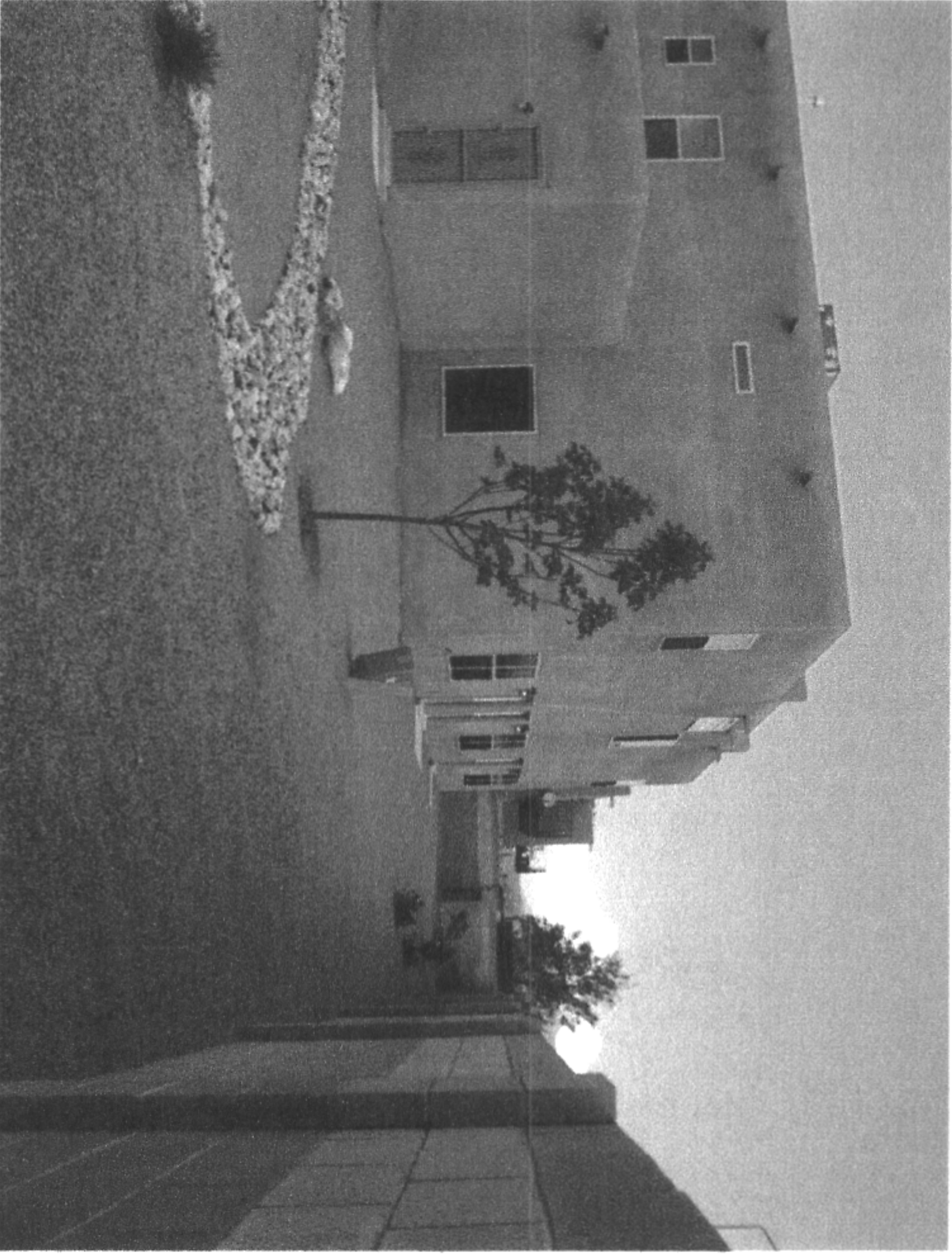
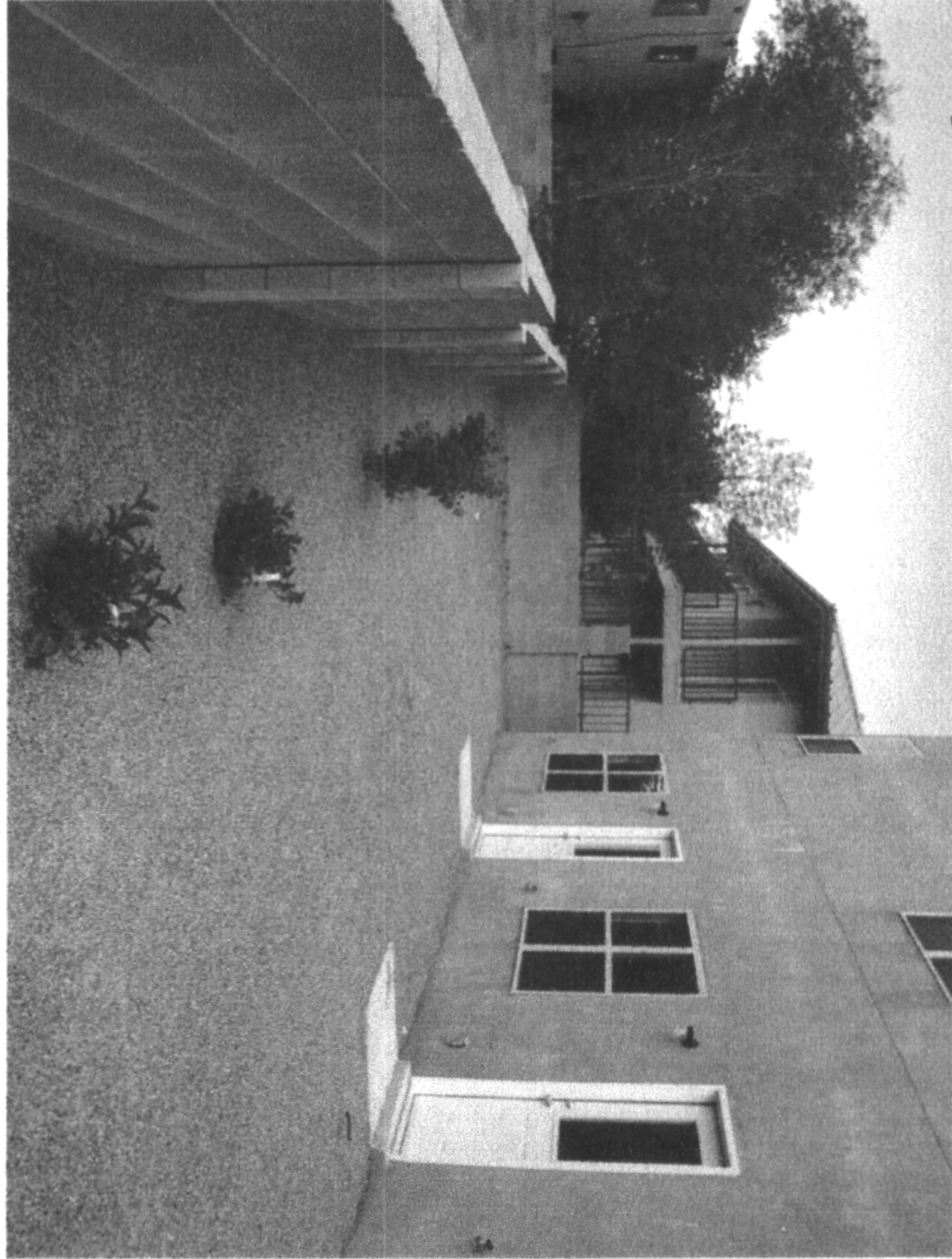


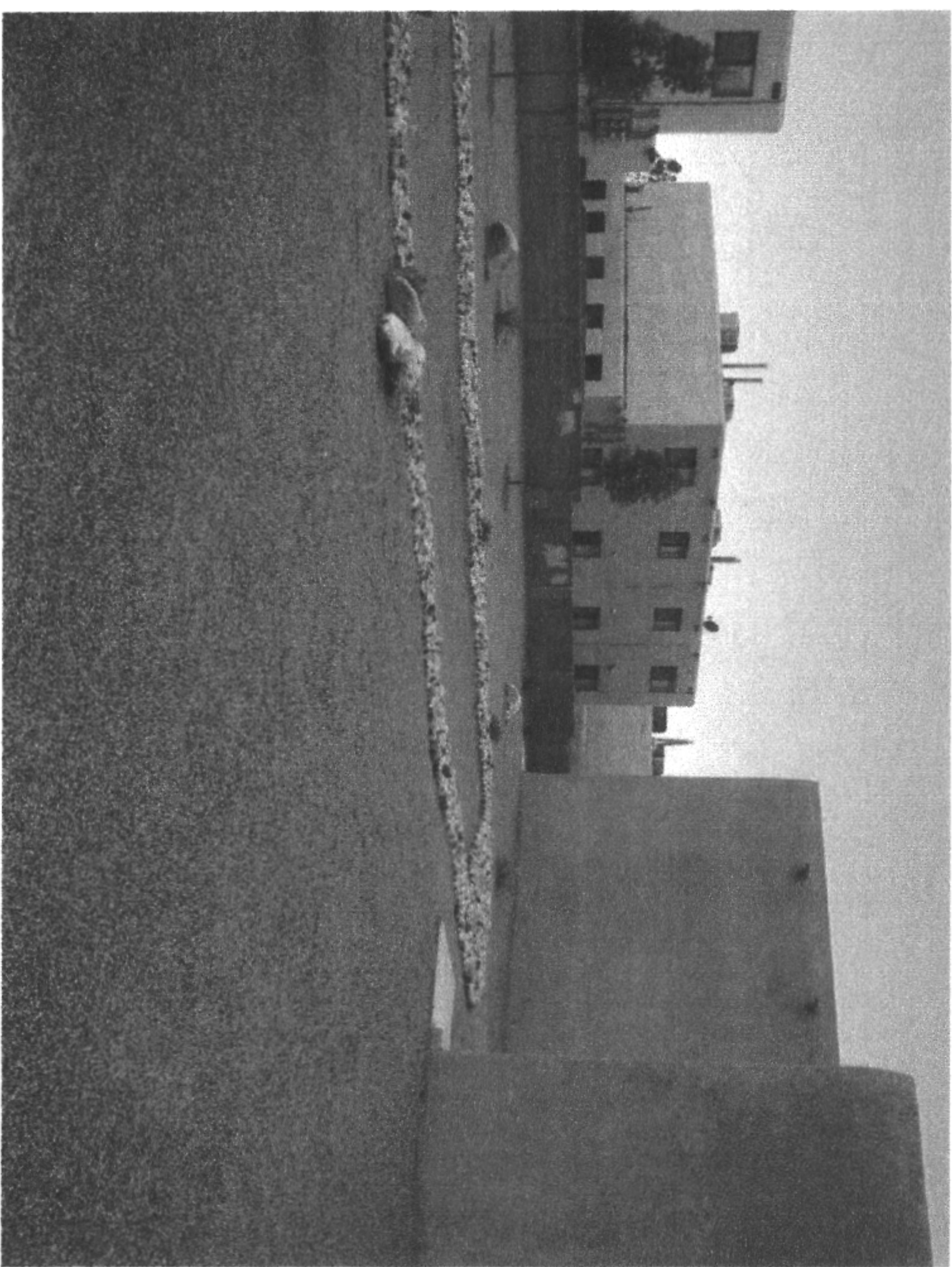
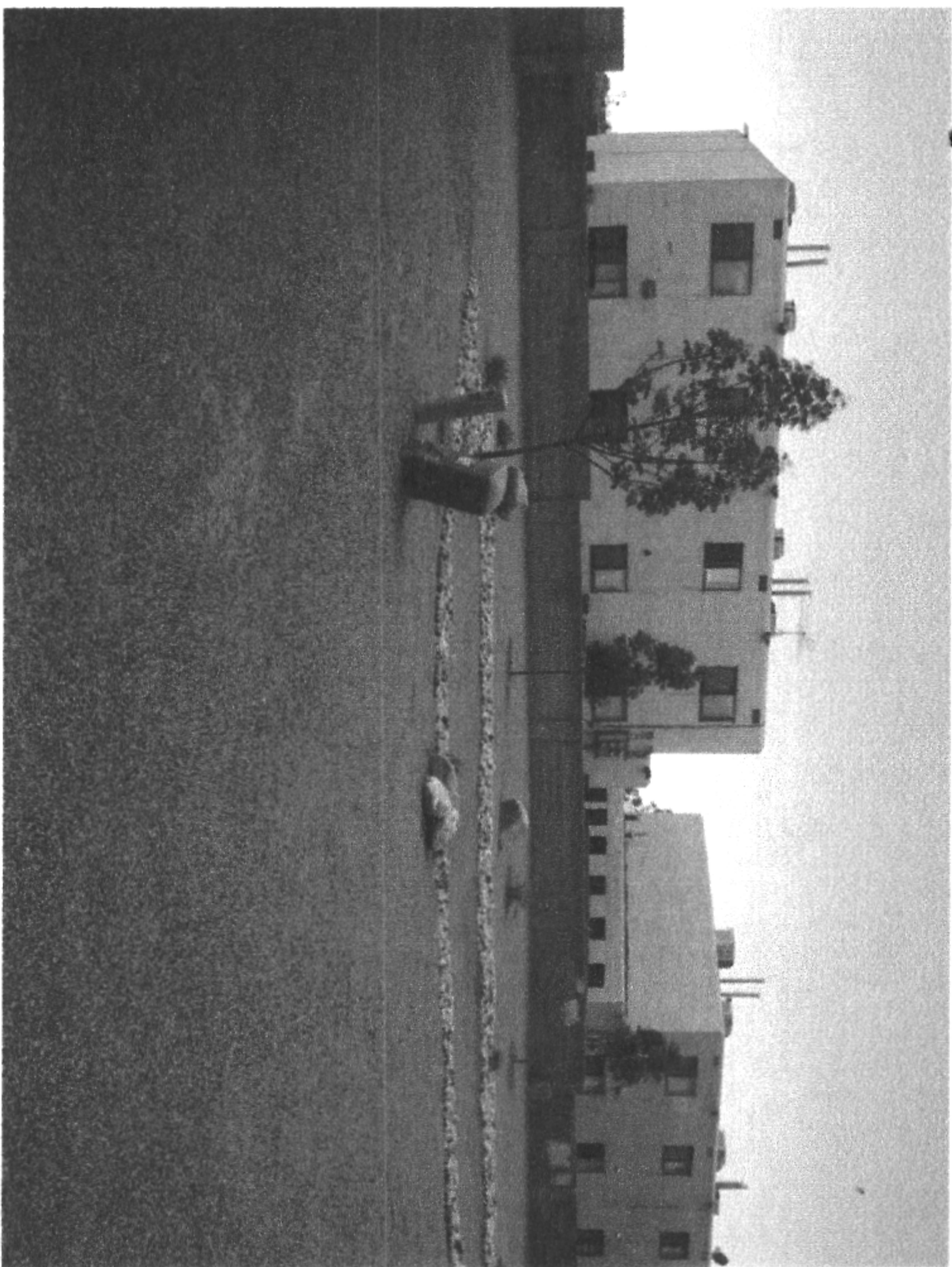
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

5-11-07



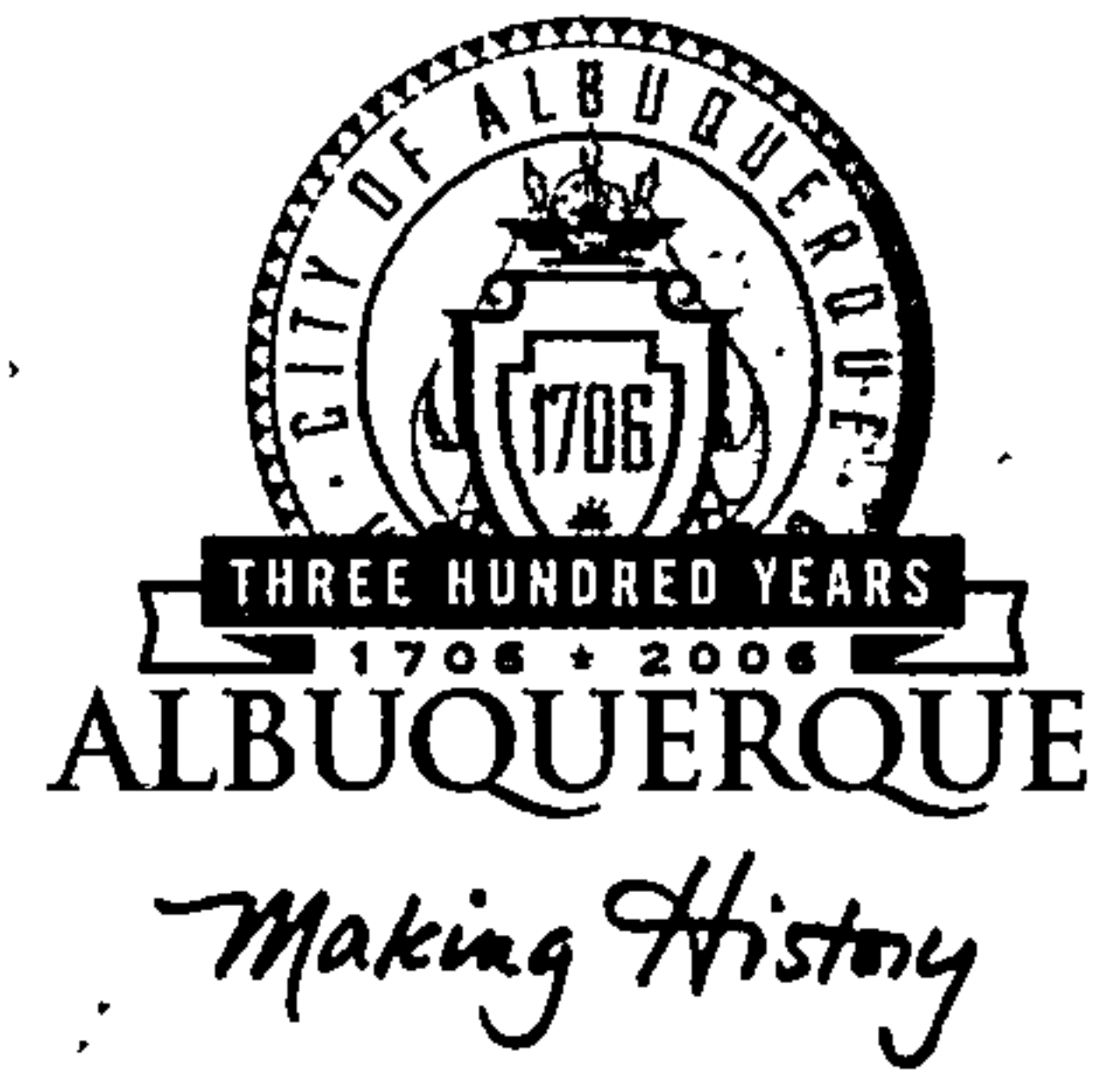




CITY OF ALBUQUERQUE

December 7, 2005

Jackie S. McDowell, PE
McDowell Engineering, LLC
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122



Re: Hardin Townhomes, 12505 & 12508 Hardin Ct. NE
Grading and Drainage Plan
Engineer's Stamp dated 12-04-05 (F22/D10)

Dear Ms. McDowell,

Based upon the information provided in your submittal received 12-05-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If you have any questions, you can contact me at 924-3986.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: File

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Building and Development Services

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: HARDIN TOWNHOMES

ZONE MAP/DRG. FILE #: F-22 / D10

DRB #: _____ EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: LOTS 5 & 6, BLOCK 2, NEW HOLIDAY PARK PARTS 5 & 6

CITY ADDRESS: 12505 & 12508 HARDIN COURT NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: DC ENTERPRISES, INC.

ADDRESS: 847 CALLE DE CORONADO SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87123

ARCHITECT: RON MONTOYA CUSTOM DES.

ADDRESS: 4801 ALAMEDA NE, STE. G-1

CITY, STATE: ALBUQUERQUE, NM

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SURVEYOR: PROFESSIONAL CONT. SVC.

ADDRESS: 11200 MONTGOMERY

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BERNARD SEITZ, PS

PHONE: 294-2609

ZIP CODE: 87111

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

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CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
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- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

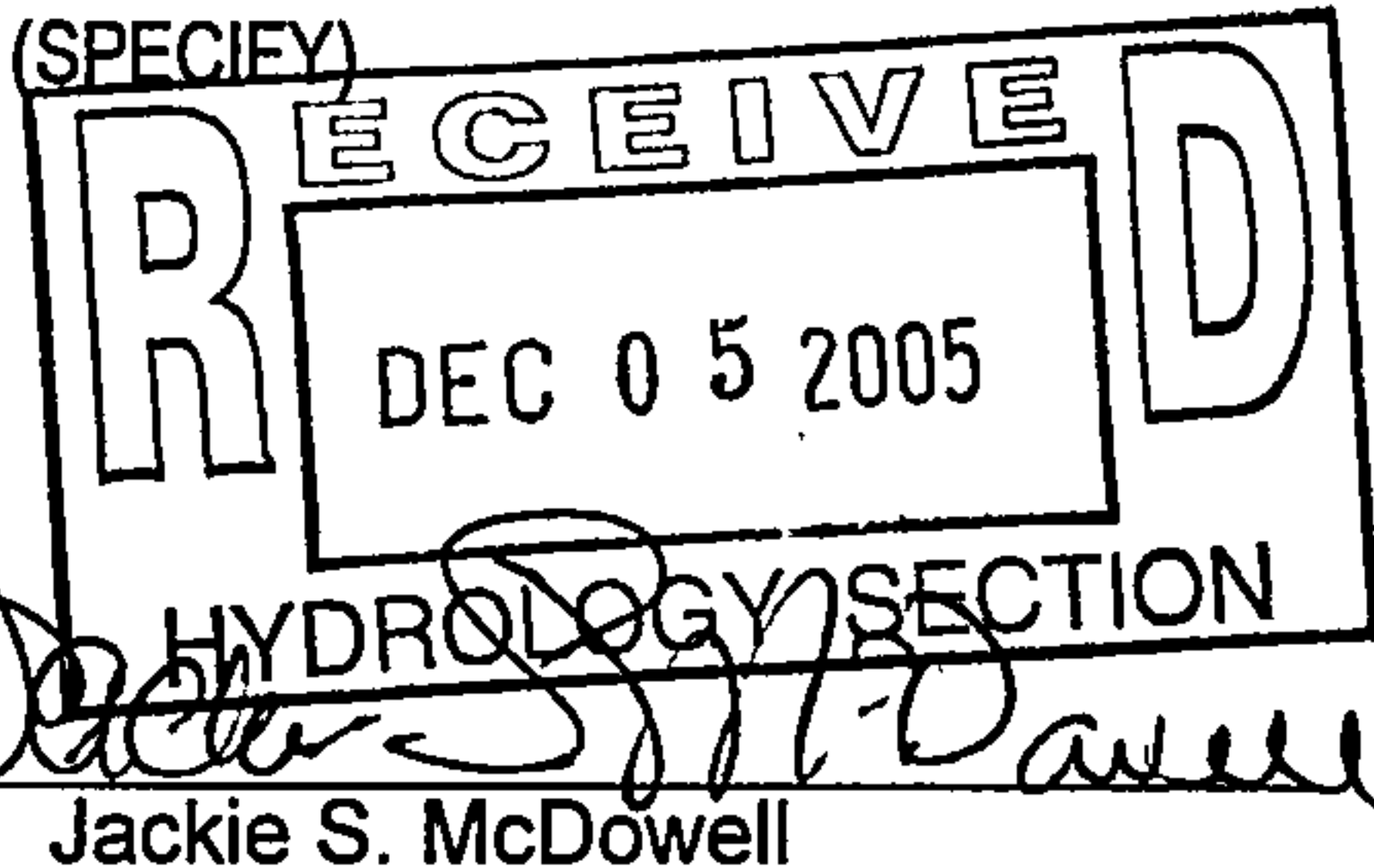
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ SECTOR PLAN APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 12-5-05

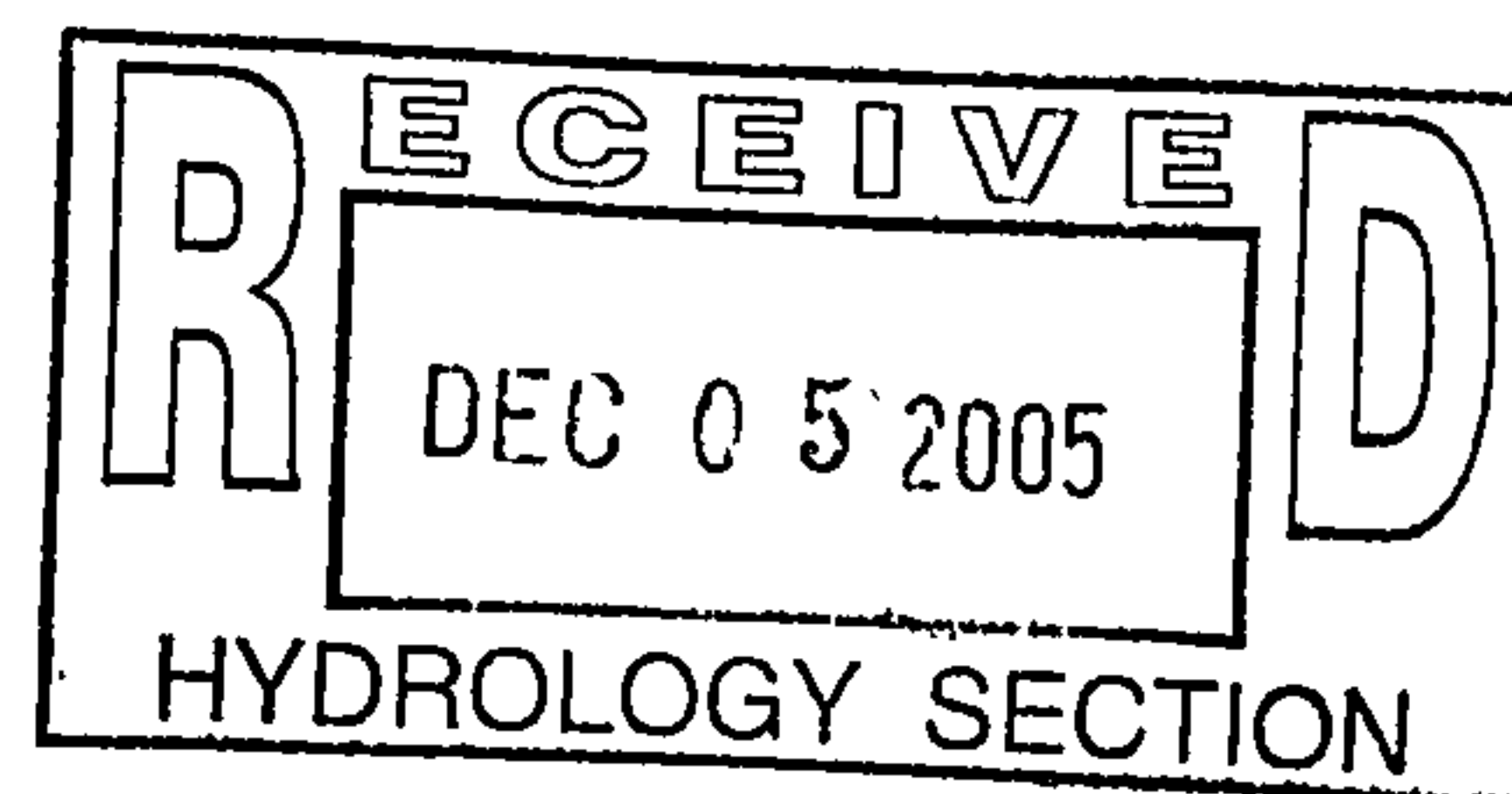
BY: _____



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services



PAID RECEIPT

F-22/D10

APPLICANT NAME

McDowell Engineering

AGENT

ADDRESS

12505 & 12508 Hardin Ct. N.E.

PROJECT & APP #

F-22/D10

PROJECT NAME

HARDIN TOWN HOMES

\$ 441032/3424000 Conflict Management Fee

Owners

DC Enterprises, Inc

\$ 441006/4983000 DRB Actions

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 50.⁰⁰ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

☒ Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 50.⁵⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Jackie S. McDowell
McDowell Engineering, Inc.
17820 Beverly Hills Ave. NE
Albuquerque, NM 87122
Tele: 505-828-2430

Date 12-4-05

Pay to the Order of City of Albuquerque

Fifty & 00/100 \$50.00

SANDIA AREA FEDERAL CREDIT UNION
P.O. BOX 18044
ALBUQUERQUE NM 87185-0044

Lot 3 & 4
DC Ent. / Montoya

4818

12-5-2005 1:05PM

RECEIVED 01270805 WSH 006

Account 441006/4983000

Activity 4983000

LOC: ANNX

TRANSH 0005

TRSEJA

\$50.00

EXECUTIVE

1-800-562-8768

www.imagechecks.com

J24 Misc

\$50.00

CK
CHANGE

\$50.00
\$0.00

Thank You

McDowell Engineering, Inc.

7820 Beverly Hills Ave. NE

Albuquerque, NM 87122

Tele: 505-828-2430

Fax: 505-821-4857

LETTER OF TRANSMITTAL

TO: Brad Bingham
COA Hydrology

DATE: 12-5-05

PROJ. #: _____

RE: DC ENT / MONTROYA LOTS 6 & 14

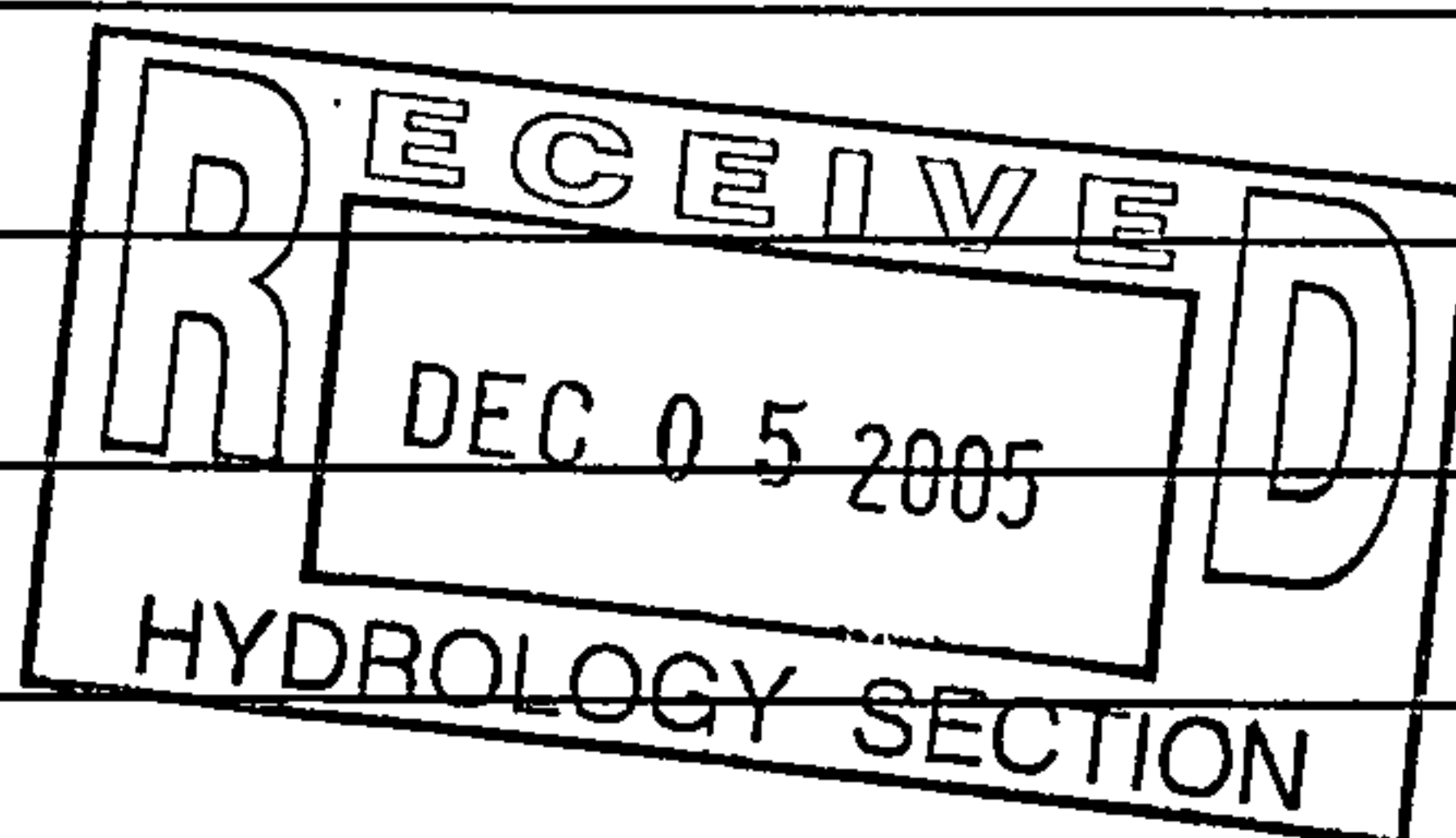
WE ARE SENDING YOU: ☒ Attached ☐ Under Separate Cover via delivery the following items:

COPIES	DATE	DESCRIPTION
<u>1</u>		<u>Info Sheet w/ \$5000 Fee</u>
<u>2</u>		<u>Grading & Drainage Plan</u>

THESE ARE TRANSMITTED as check below:

☒ For Approval ☐ For Your Use ☐ As Requested ☐ For Review & Comment
☐ Other _____

REMARKS: _____



COPY TO: [Signature]

SIGNED: [Signature]
Jackie S. McDowell, P.E.

If enclosures are not as noted, kindly notify us at once.

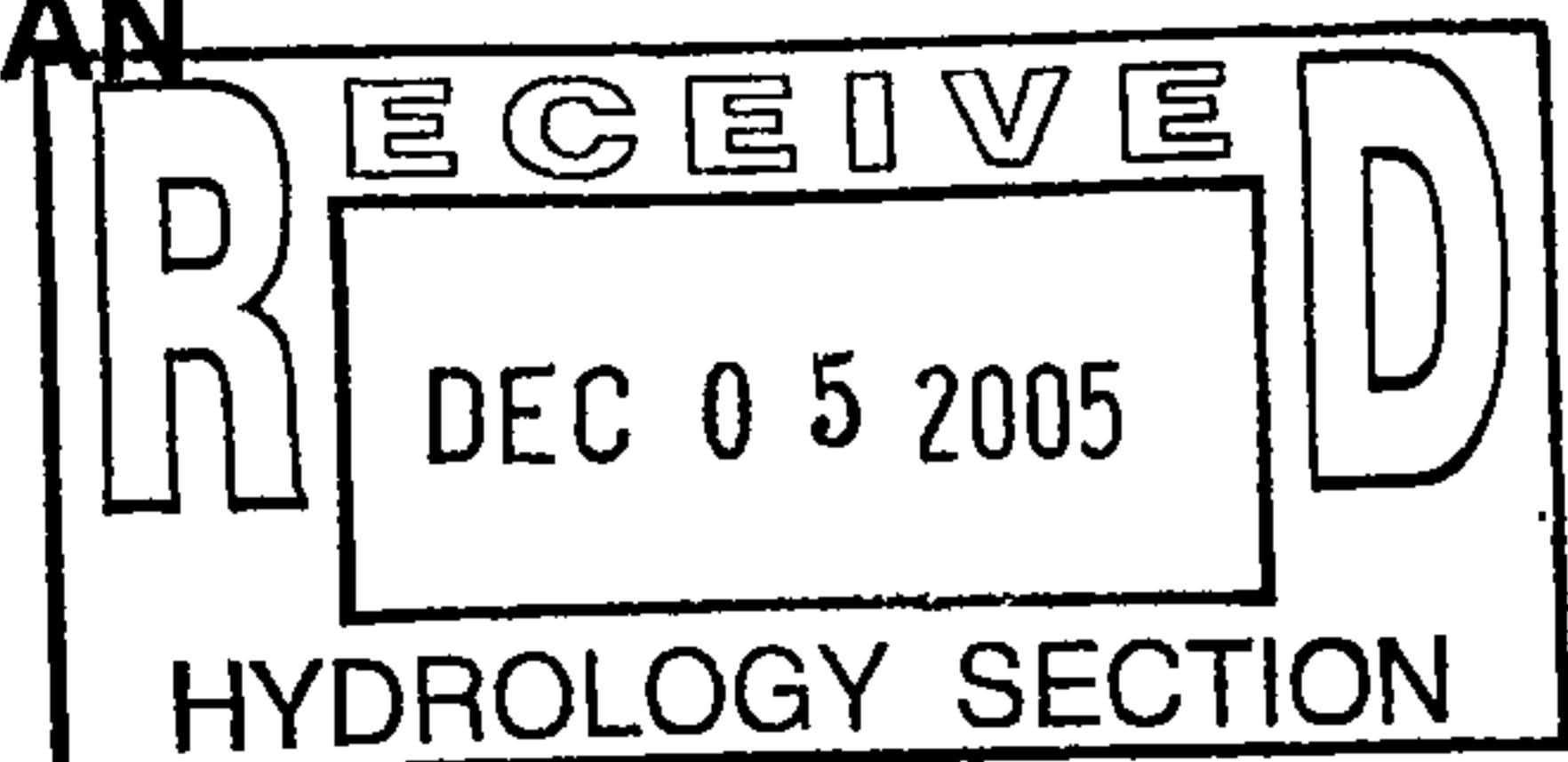
ATTACHMENT NO. 1

SUPPLEMENTAL CALCULATIONS

FOR

DC ENTERPRISES/MONTOYA
HARDIN TOWNHOMES
LOTS G & H, BLOCK 2
NEW HOLIDAY PAKR PARTS 5 & 6

GRADING & DRAINAGE PLAN



I, Jackie S. McDowell, Registered Professional Engineer,
No. 10903, hereby certify that I have prepared the attached
calculations.

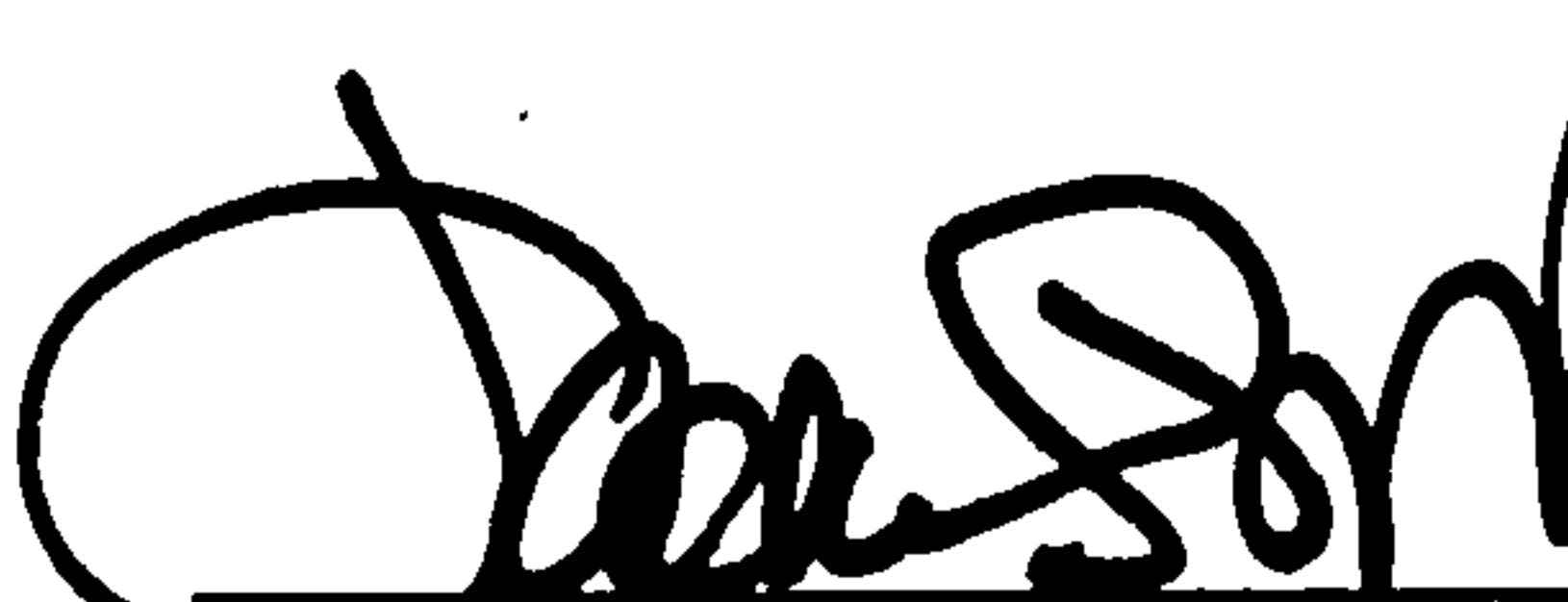
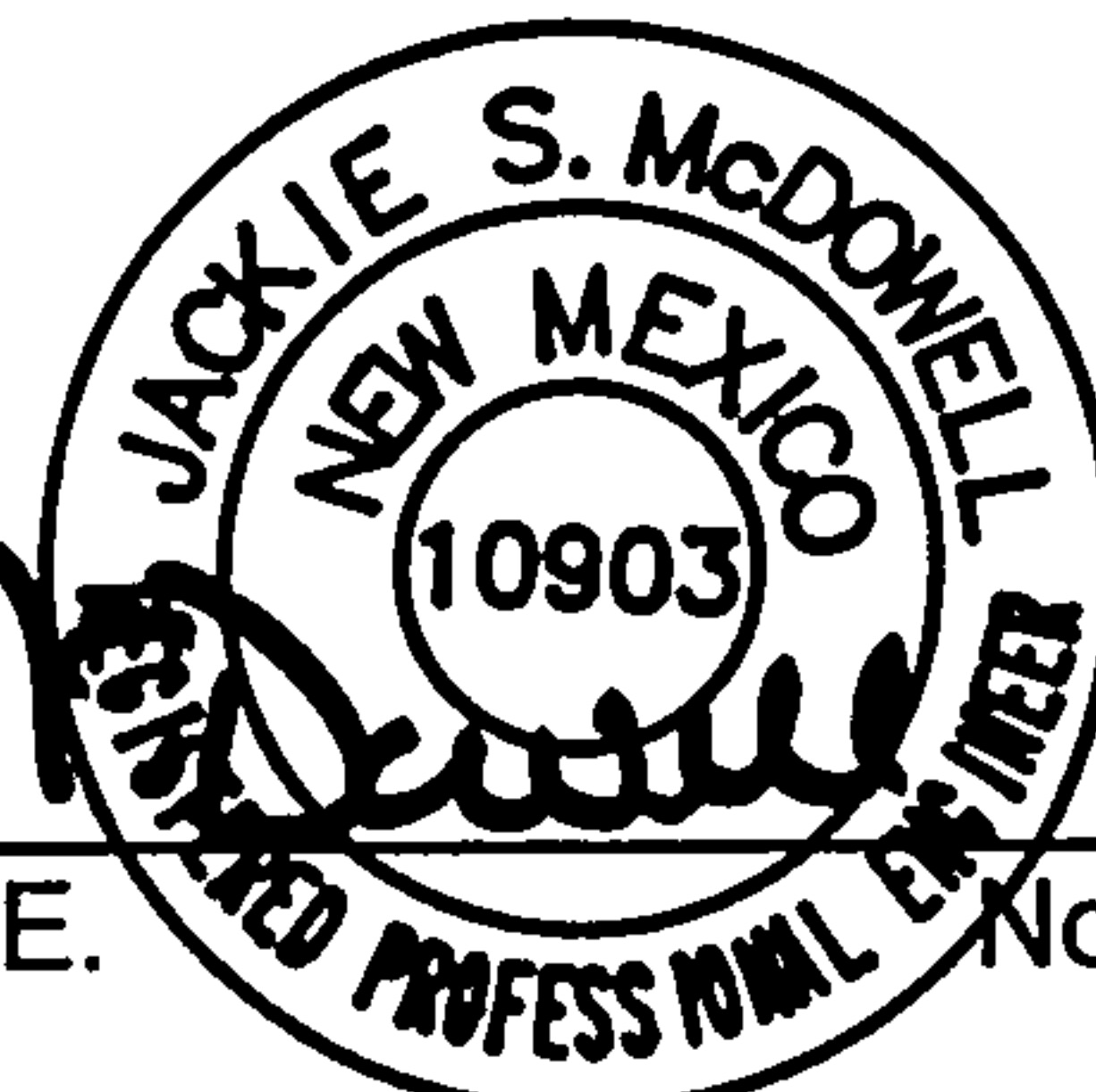
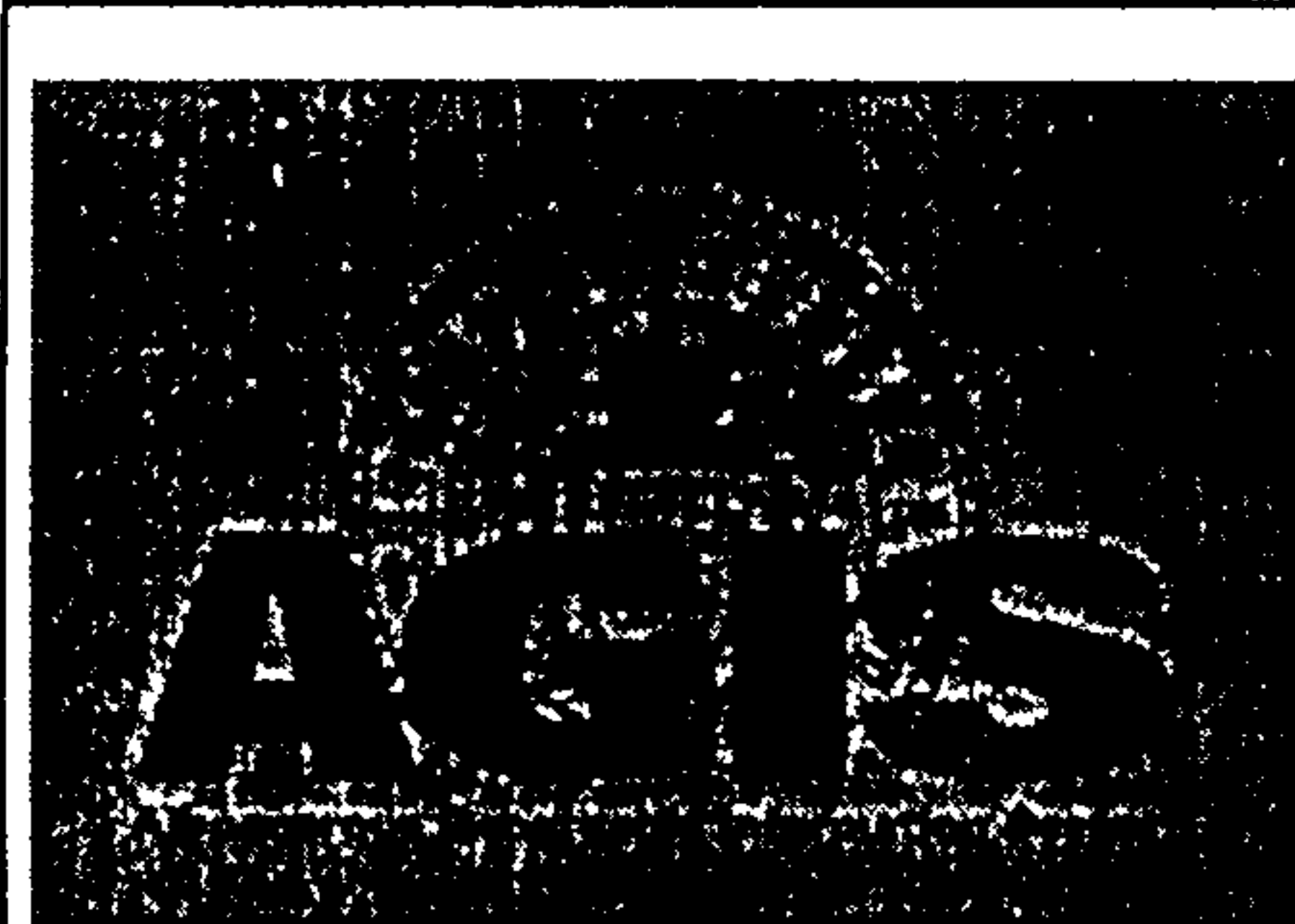
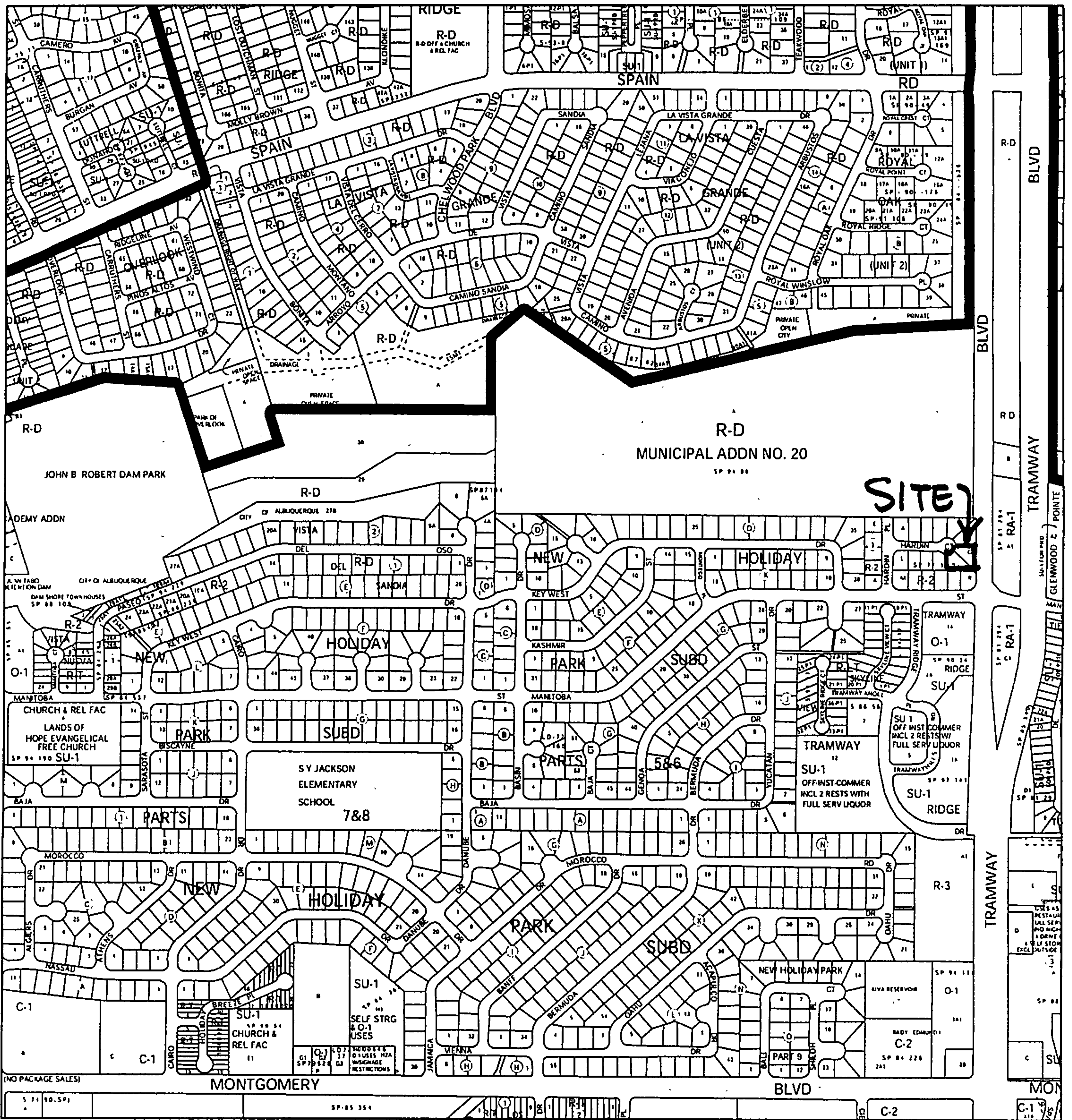

Jackie S. McDowell, P.E.  12-4-05 No. 10903

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Vicinity Map - Zone Atlas F-22	1
FEMA Firmette – Panel #163	2
Reduced Grading & Drainage Plan	3
Onsite Basin Calculations	4-7



Map amended through: Apr 18, 2005



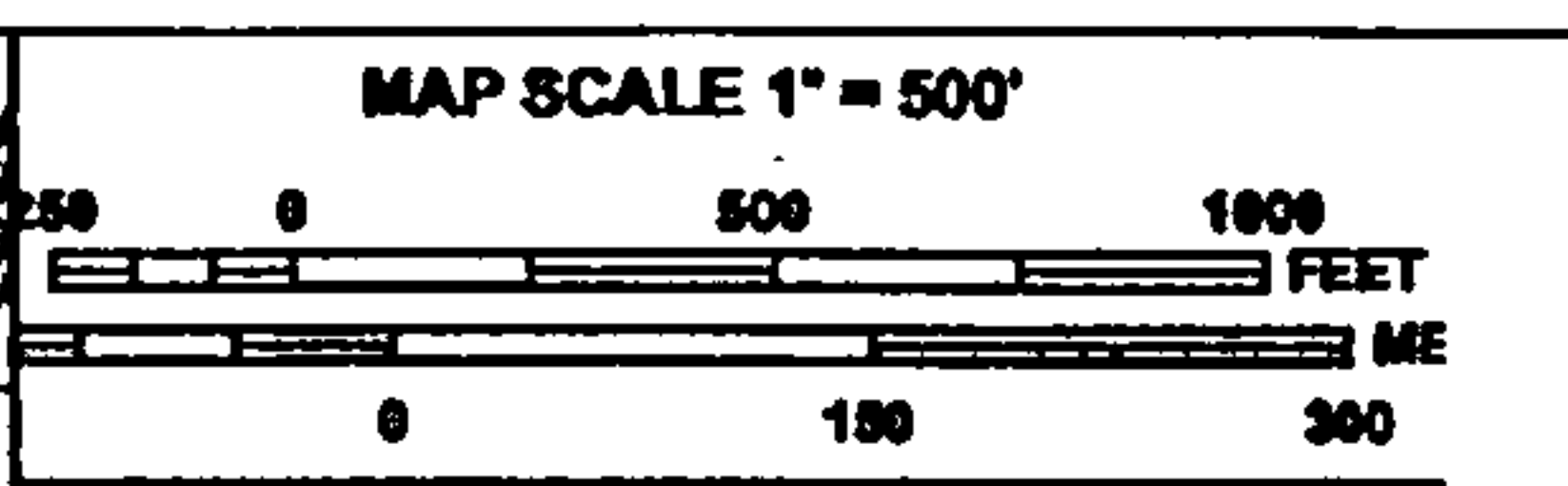
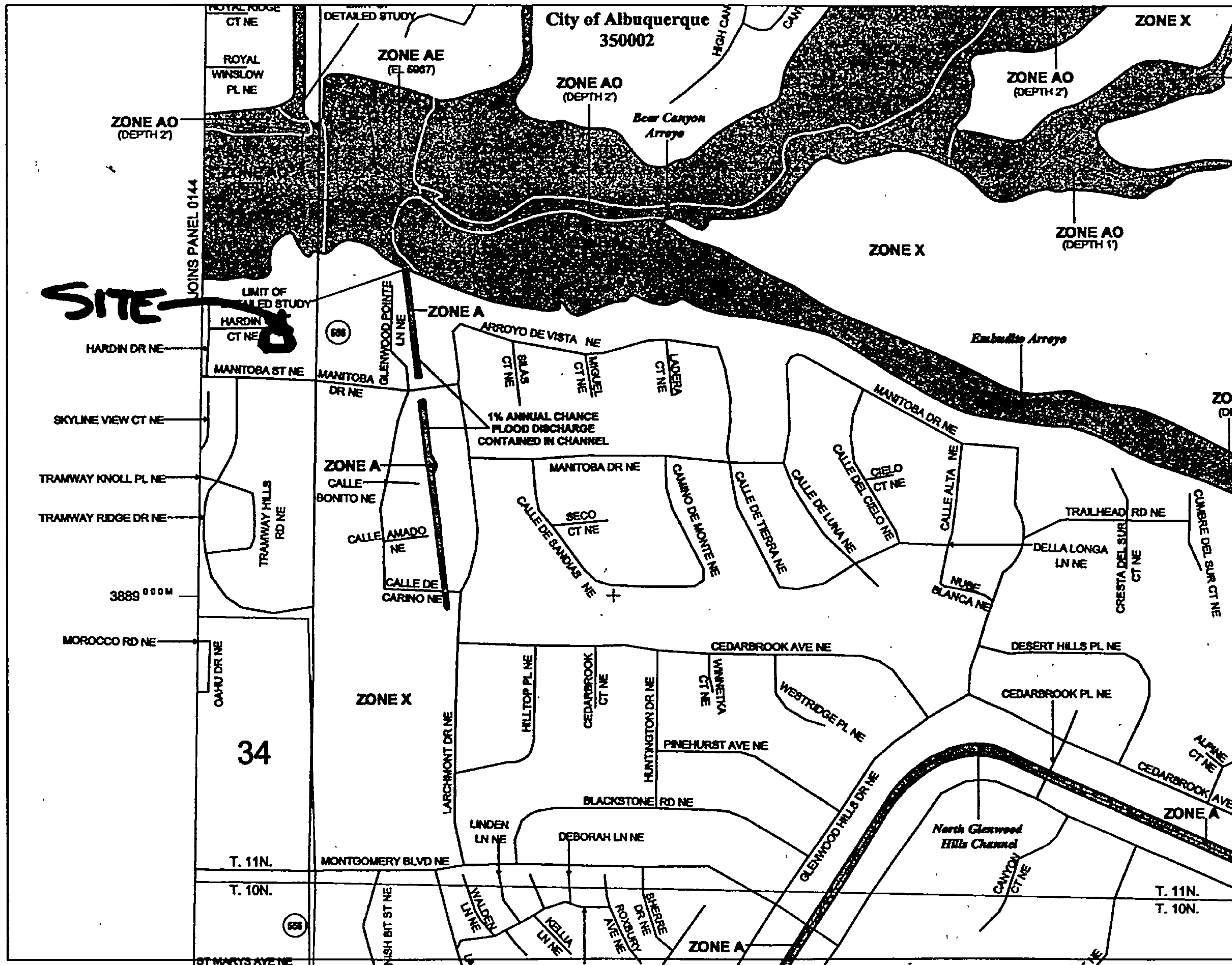
Zone Atlas Page:

F-22-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



PANEL 0163F

FIRM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO
AND INCORPORATED AREAS

PANEL 163 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0163	F

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



MAP NUMBER
35001C0163F
MAP REVISED
NOVEMBER 19, 2003

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

5-Dec-05

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

BASIN H-NORTH
FREE DISCHARGE
TO HARDEN CT.

Precipitation Zone = 4

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.90 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

N = 0.00

Therefore Percent Treatment D = 0.00%

(includes local streets)

Areas: (acres)	Existing	Proposed
Treatment A	0.09	0.00
Treatment B	0.00	0.02
Treatment C	0.00	0.00
Treatment D	0.00	0.07
Total (acres) =	0.09	0.09

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.01	0.02	0.00	0.01	0.00	0.01
Volume (cubic feet) =	261	749	91	463	7	265

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.20	0.00	0.08	0.00	0.00	0.00
Treatment B	0.00	0.06	0.00	0.03	0.00	0.01
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.37	0.00	0.25	0.00	0.15
Total Q (cfs) =	0.20	0.43	0.08	0.28	0.00	0.16

5-Dec-05

Calculations: Total Basin

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, January 1993 - basins < 40 acres".

Precipitation Zone = 4

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.90 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

Therefore Percent Treatment D = 0.00%

(includes local streets)

N = 0.00

BASIN H-SOUTH
RET. POND

POND VOL.

Elev. Area Val.

Areas: (acres)	Existing	Proposed
Treatment A	0.12	0.00
Treatment B	0.00	0.09
Treatment C	0.00	0.00
Treatment D	0.00	0.03
Total (acres) =	0.12	0.12

98 1229
97 360 > 794 CF
✓
OK

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.01	0.01	0.00	0.01	0.00	0.00
Volume (cubic feet) =	348	640	122	334	9	146

REQ'D POND VOL = $(640 - 348) \cdot Z = 584 \text{ CF.}$

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.26	0.00	0.10	0.00	0.01	0.00
Treatment B	0.00	0.26	0.00	0.13	0.00	0.03
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.16	0.00	0.11	0.00	0.07
Total Q (cfs) =	0.26	0.42	0.10	0.24	0.01	0.10

5-Dec-05

Calculations: Total Basin

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Precipitation Zone = 4

Depth at 100-year, 6-hour storm: (Table A-2)

P = 2.90 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$$

where N = units/acre

$$N = \text{-----} = \text{-----}, \text{ok} < 6$$

$$N = 0.00$$

Therefore Percent Treatment D = 0.00%
(includes local streets)

BASING - WEST

FREE DISCHARGE
TO HARDEN CT.

Areas: (acres)	Existing	Proposed
Treatment A	0.09	0.00
Treatment B	0.00	0.02
Treatment C	0.00	0.00
Treatment D	0.00	0.07
Total (acres) =	0.09	0.09

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.01	0.02	0.00	0.01	0.00	0.01
Volume (cubic feet) =	261	749	91	463	7	265

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Treatment A	0.20	0.00	0.08	0.00	0.00	0.00
Treatment B	0.00	0.06	0.00	0.03	0.00	0.01
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.37	0.00	0.25	0.00	0.15
Total Q (cfs) =	0.20	0.43	0.08	0.28	0.00	0.16

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where N = units/acre

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Therefore Percent Treatment D = 0.00%

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Areas: (acres)	Existing	Proposed
Treatment A	0.12	0.00
Treatment B	0.00	0.08
Treatment C	0.00	0.00
Treatment D	0.00	0.04
Total (acres) =	0.12	0.12

BASIN 6 - EAST

RET. POND

POND VOL.

Elw. Area Vol
100 1136 > 760 gr
99 384
OK

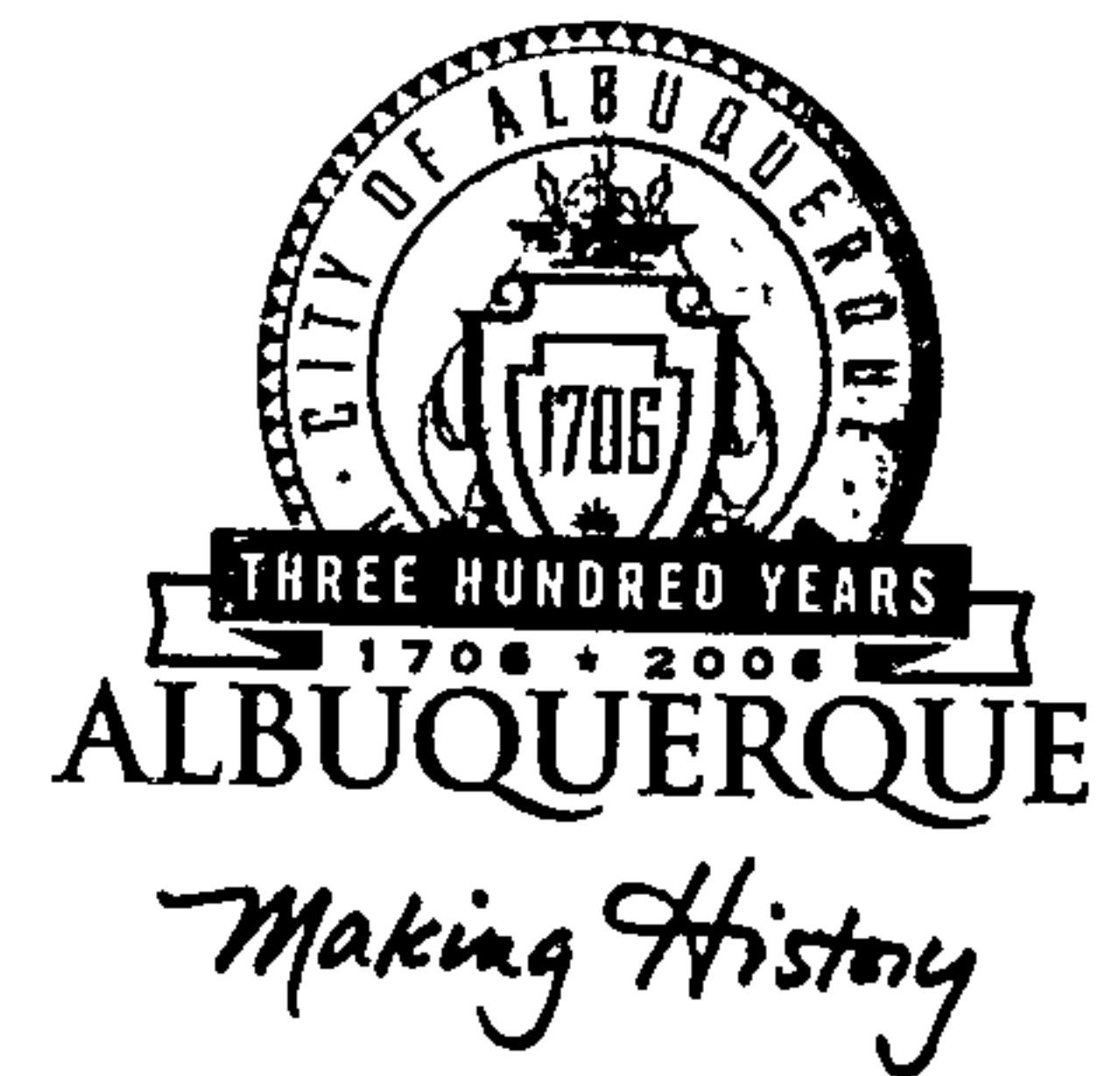
Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.01	0.02	0.00	0.01	0.00	0.00
Volume (cubic feet) =	348	697	122	379	9	179

$$\text{REQD POND VOL} = (697 - 348) \cdot 2 = 698 \text{ CF.}$$

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.26	0.00	0.10	0.00	0.01	0.00
Treatment B	0.00	0.23	0.00	0.12	0.00	0.03
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.21	0.00	0.14	0.00	0.09
Total Q (cfs) =	0.26	0.44	0.10	0.26	0.01	0.12

CITY OF ALBUQUERQUE

File



**Planning Department
Transportation Development Services Section**

May 23, 2006

Jackie McDowell
McDowell Engineering
7820 Beverly Hills Ave. NE
Albuquerque NM 87122

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
Hardin Town Homes F-22/D-10]
12504 & 12508 Hardin Court NE, Albuquerque, NM
TCL submitted 5-15-06 along with amendment dated 5-23-06

Dear Ms. McDowell,

The TCL submittal dated 5-15-06 (incorporating the amendment referenced above) is approved for building permit. **(Prior to the issuance of a CO, a cross access easement between the two lot will need to be approved by Transportation Development and filed.)** The plan is stamped and signed as approved. Two copies of the plan that is stamped as approved will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Richard Dourte, PE
Development and Building Services

cc: Hydrology file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: HARDIN TOWNHOMES

DRB #:

EPC #:

ZONE MAP/DRG. FILE #: F-22/D22

WORK ORDER #:

LEGAL DESCRIPTION: LOTS 5 & 6, BLOCK 2, NEW HOLIDAY PARK PARTS 5 & 6

CITY ADDRESS: 12505 & 12508 HARDIN COURT NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: DC ENTERPRISES, INC.

ADDRESS: 847 CALLE DE CORONADO SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87123

ARCHITECT: RON MONTOYA CUSTOM DES.

ADDRESS: 4801 ALAMEDA NE, STE. G-1

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87113

SURVEYOR: PROFESSIONAL CONT. SVC.

ADDRESS: 11200 MONTGOMERY

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BERNARD SEITZ, PS

PHONE: 294-2609

ZIP CODE: 87111

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

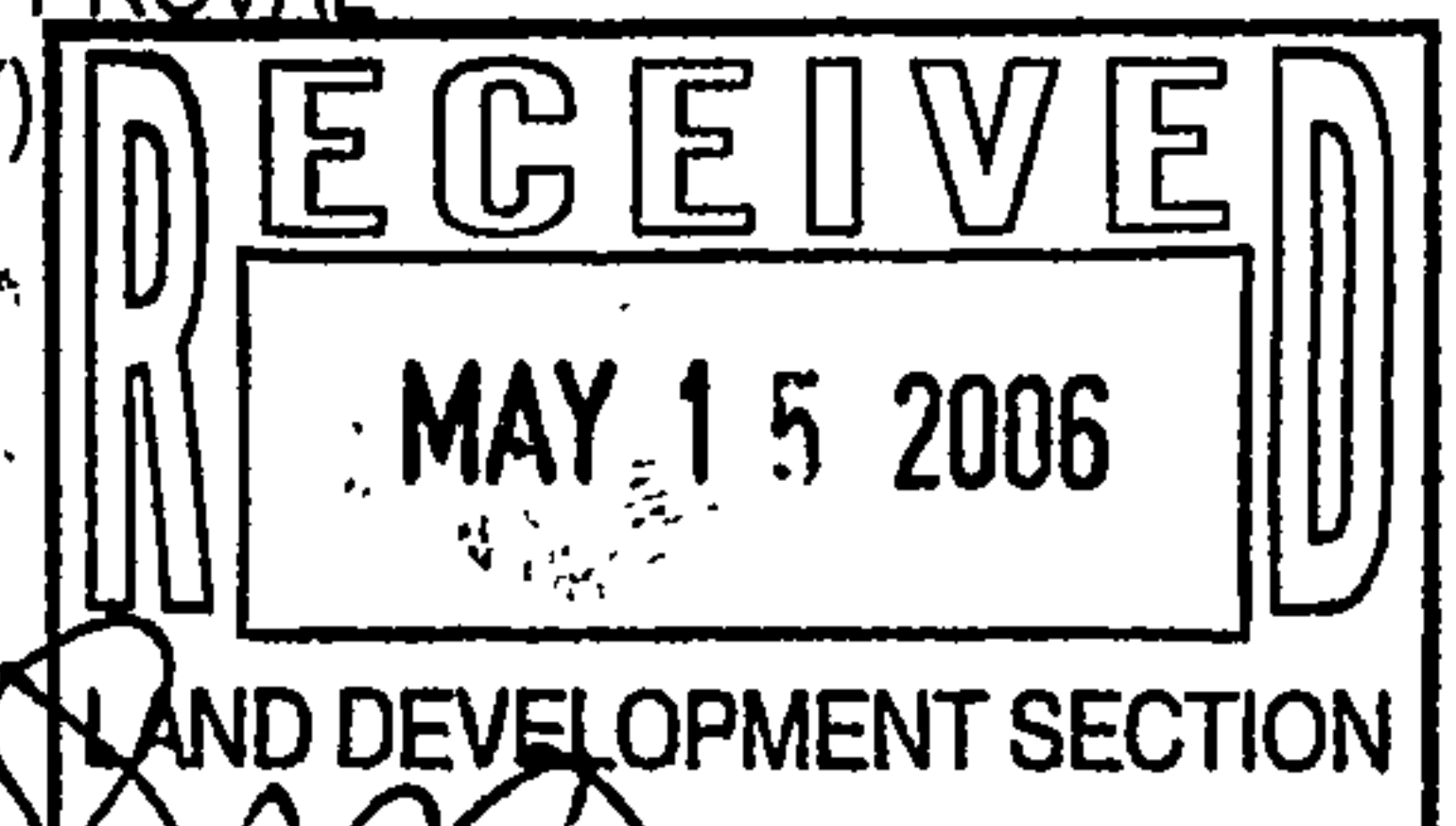
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 5-12-06

BY:

Jackie S. McDowell



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

McDowell Engineering, Inc.

Jackie Sedillo McDowell, P.E.
Civil Engineering Consultant

May 12, 2006

Mr. Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: LOTS 5 & 6, BLOCK 2, NEW HOLIDAY PARK PART 5 & 6, 12505 & 12508
HARDIN CT., TRAFFIC CIRCULATION LAYOUT (F22-D10)**

Dear Mr. Wilfred A. Gallegos:

In response to your letter date March 15, 2006, we offer the following response with the same numbers listed:

1. The drive-pads have been labeled (existing).
2. There are not City Standards associated with new construction of the site.
3. The hydrology has been removed from the plan and 2 TCL plans are provided with this re-submittal.
4. Parking calculations are shown on the plan.
5. The widths of the sidewalks and the drive-pads have been added to the plan.

Your timely approval is appreciated.

If you have any questions, please do not hesitate to call me.

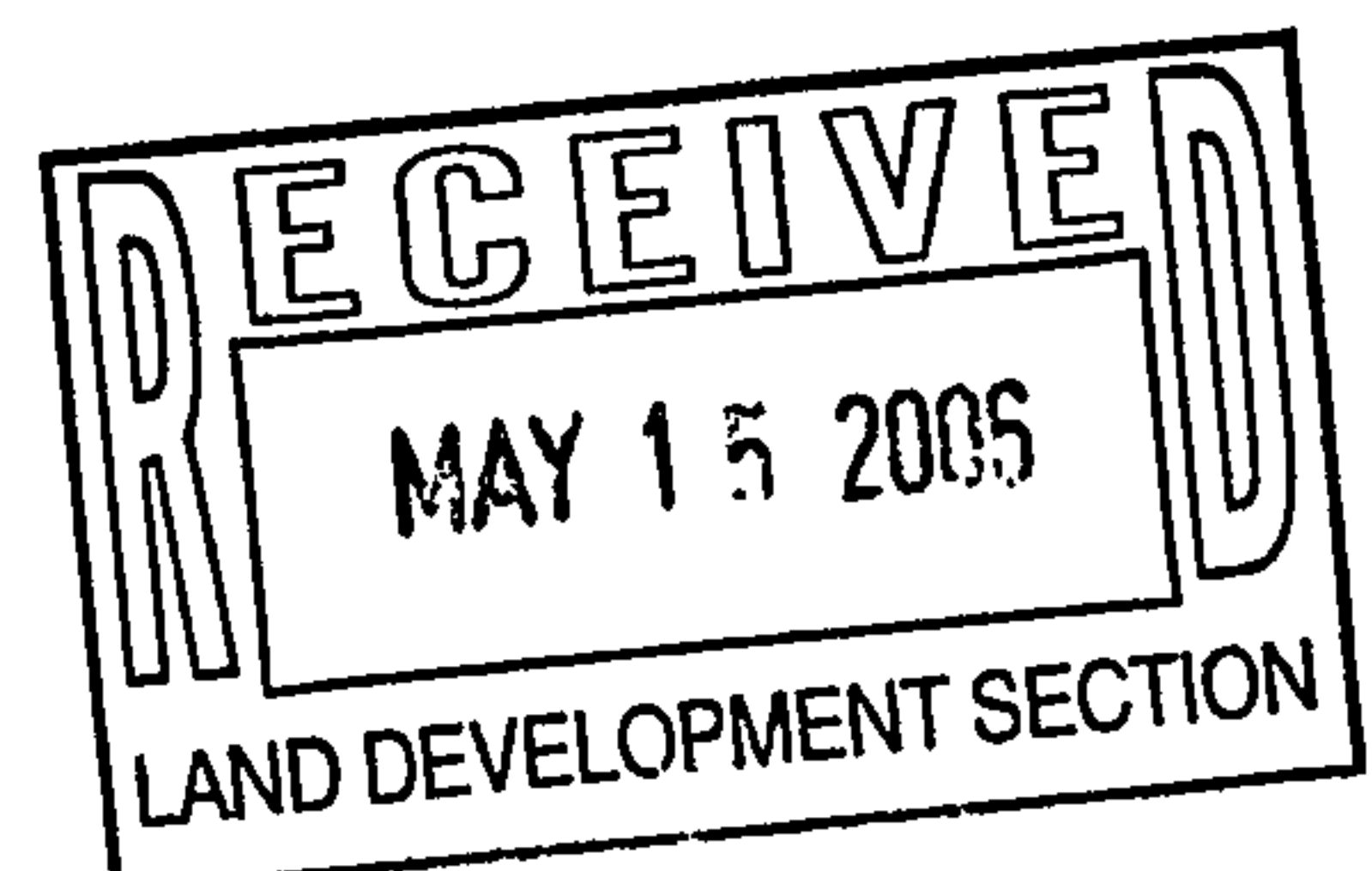
Sincerely,

MCDOWELL ENGINEERING, INC.



Jackie S. McDowell, P.E.

Copy: Owners



C 1 R= 45' L= 41.21'
C 2 R= 45' L= 41.21'

LOT F BLOCK 2
HOLIDAY PARK PTS 5 & 6
VOLUME C14 FOLIO 100

HARDIN COURT N.E.

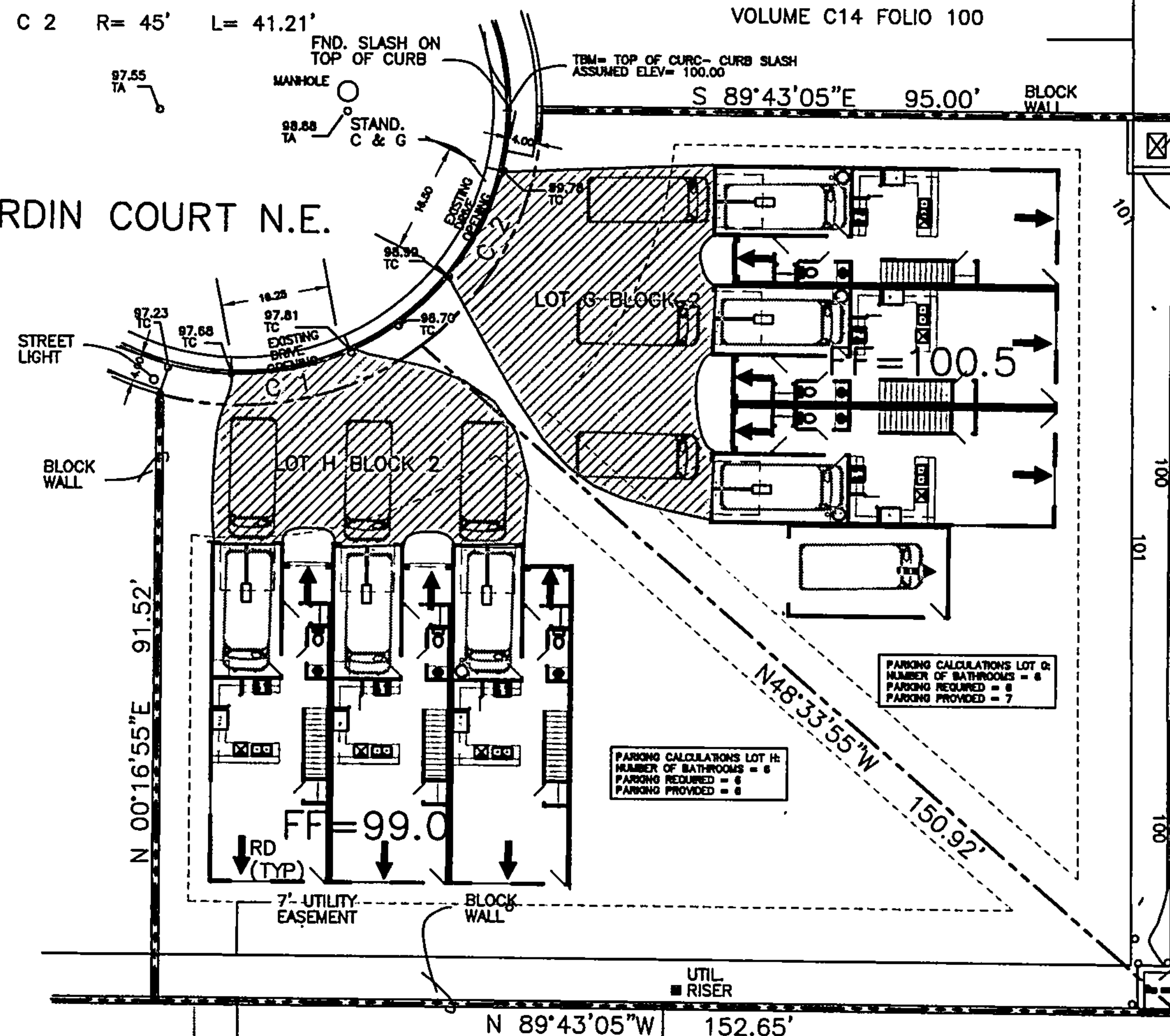
LOT I BLOCK 2
NEW HOLIDAY PARK PTS 5 & 6
VOLUME C14 FOLIO 100

LOT P BLOCK 2
NEW HOLIDAY PARK PTS 5 & 6
VOLUME C14 FOLIO 100

LOT Q BLOCK 2
NEW HOLIDAY PARK PTS 5 & 6
VOLUME C14 FOLIO 100

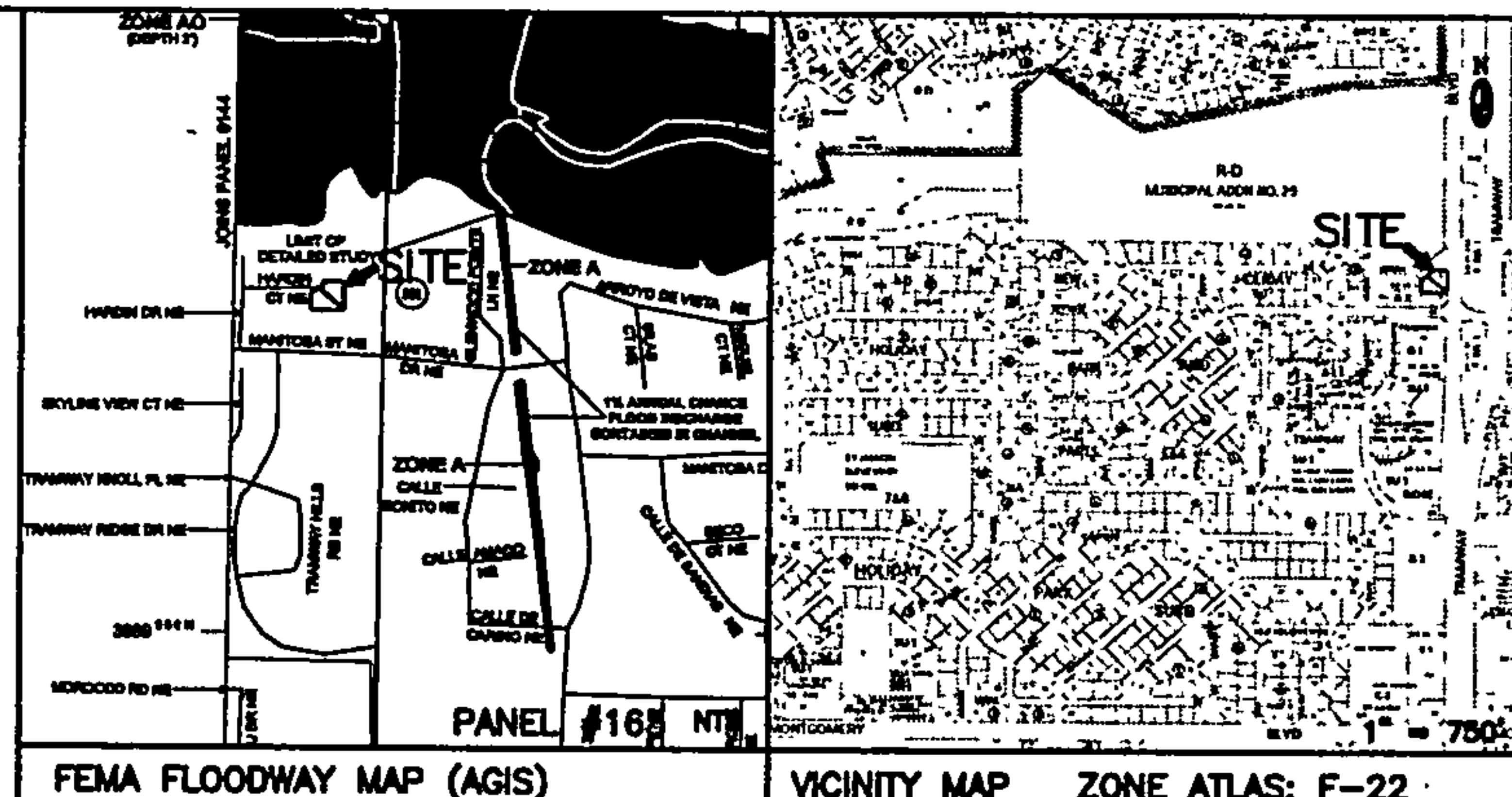
LOT R BLOCK 2
NEW HOLIDAY PARK PTS 5 & 6
VOLUME C14 FOLIO 100

LOTS G & H
WITH
BLOCK 2
NEW HOLIDAY PARK PARTS 5 & 6
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ADDRESS'S: 12504 & 12508 HARDIN CT.

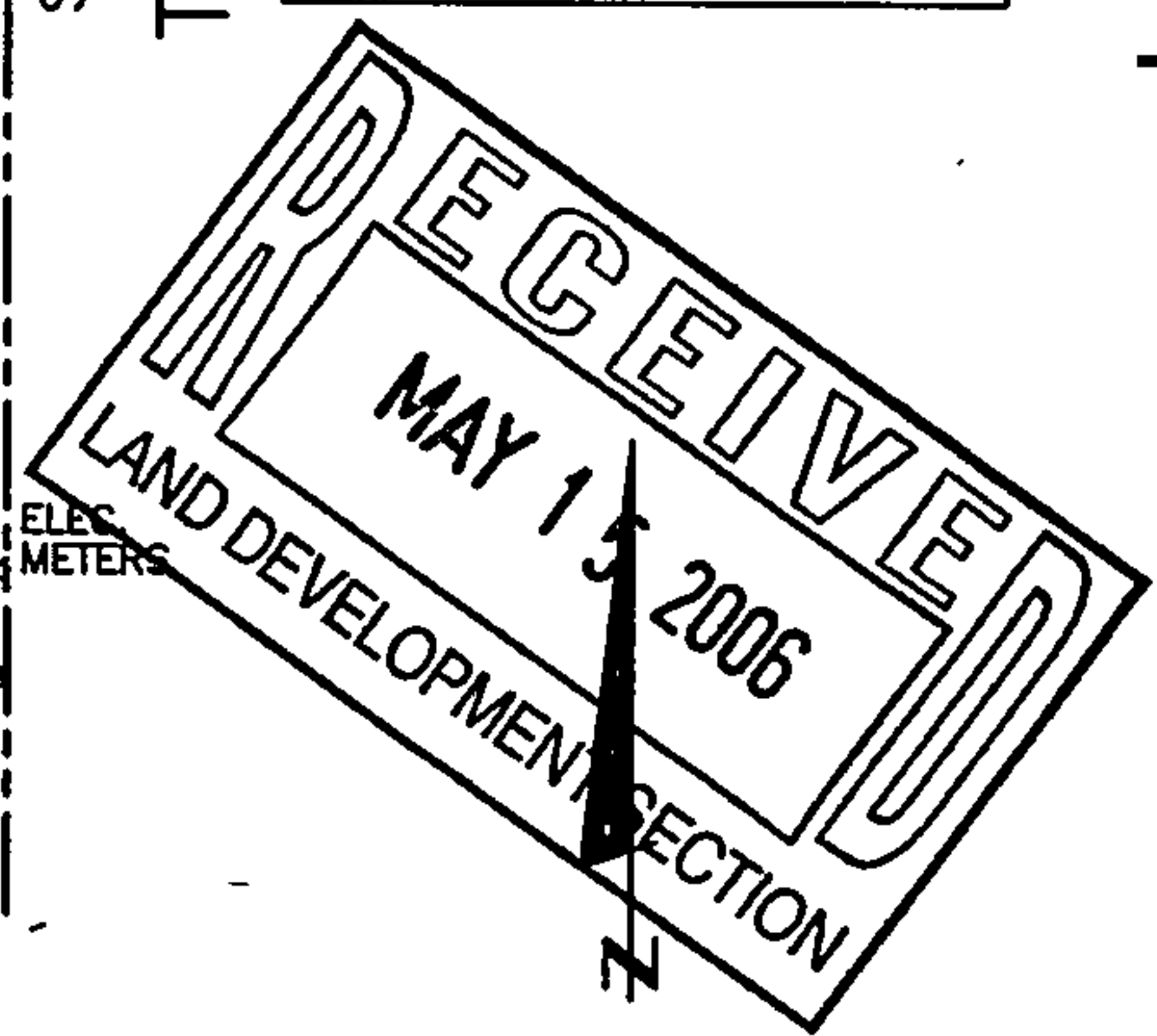
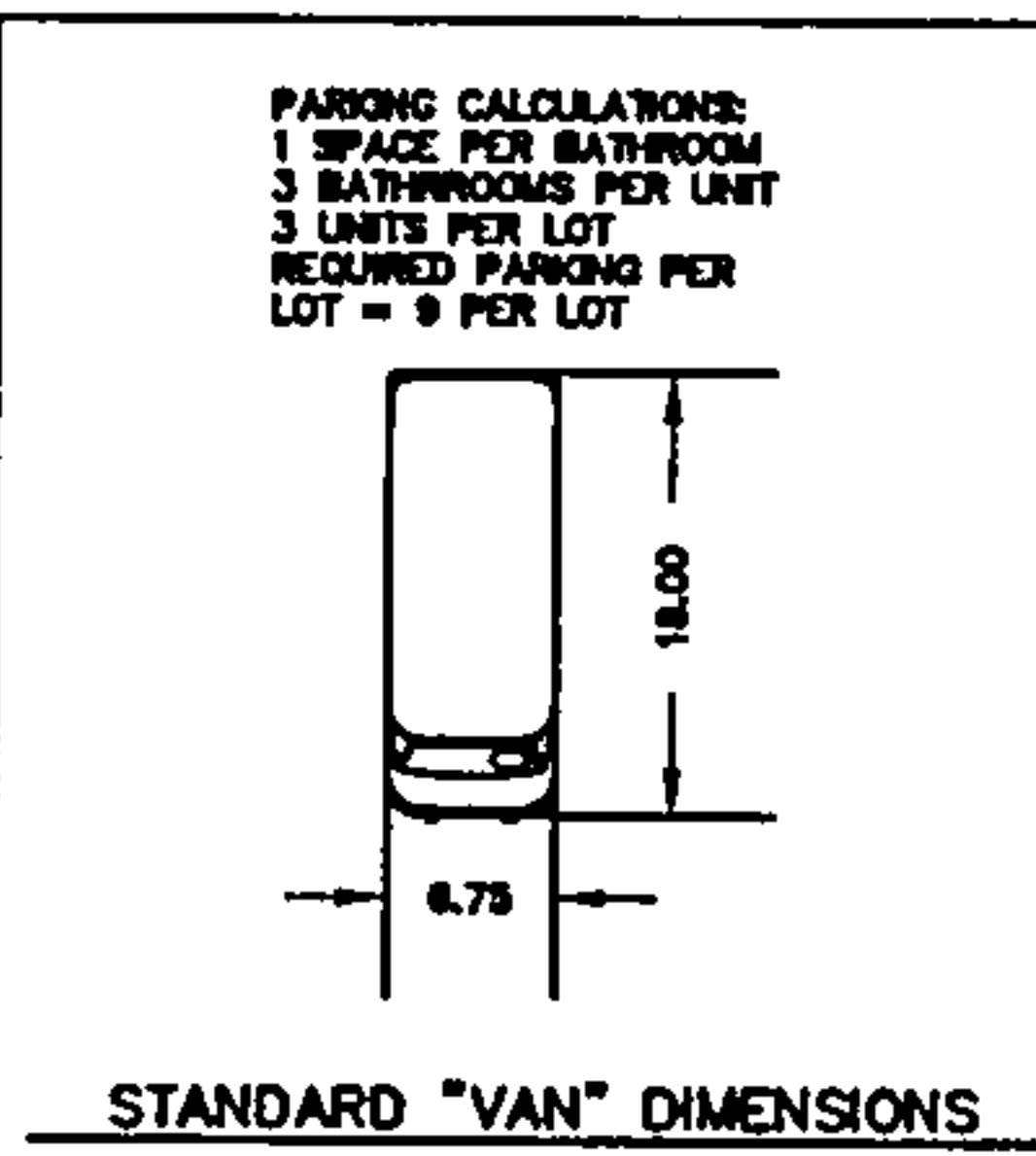


PARKING CALCULATIONS LOT G:
NUMBER OF BATHROOMS = 6
PARKING REQUIRED = 6
PARKING PROVIDED = 7

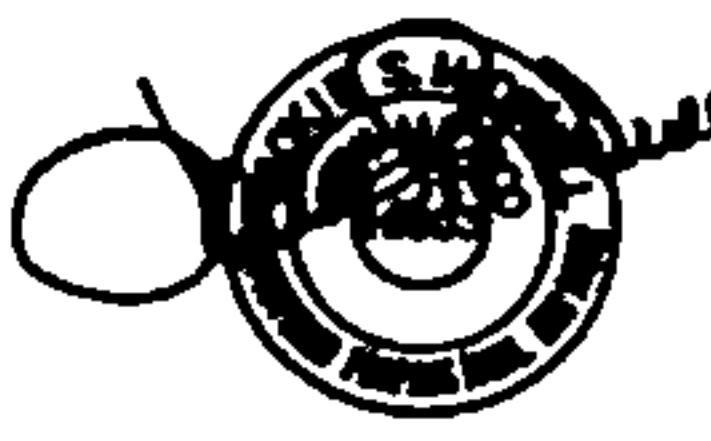
PARKING CALCULATIONS LOT H:
NUMBER OF BATHROOMS = 6
PARKING REQUIRED = 6
PARKING PROVIDED = 6



- GENERAL GRADING NOTES:
1. THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
 4. PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
 5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
 6. TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (280-1980) FOR LOCATION OF EXISTING UTILITIES.
 7. CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BONDS IN DRAINAGE PIPE.
 8. THE TOPSOIL COULD BE SAVED ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AROUND THE STRUCTURE.
 9. ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDED WITH NATIVE SEEDING MATERIAL.
 10. THE MAXIMUM GRADED SIDE SLOPE SHALL NOT EXCEED 3 FEET (HORIZONTALLY) TO 1 FOOT (VERTICALLY).
 11. AREAS DISTURBED DUE TO GRADING SHALL BE RESEEDED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STD. SPECIFICATION 1012 - NATIVE GRASS SEEDING, G.A.E.



LEGEND	
EXISTING	PROPOSED
PROPERTY LINE	---
ROAD	---
SETBACK	---
RETAINING WALL	=====
SPOT ELEVATION	8' 11.25' 17.75'

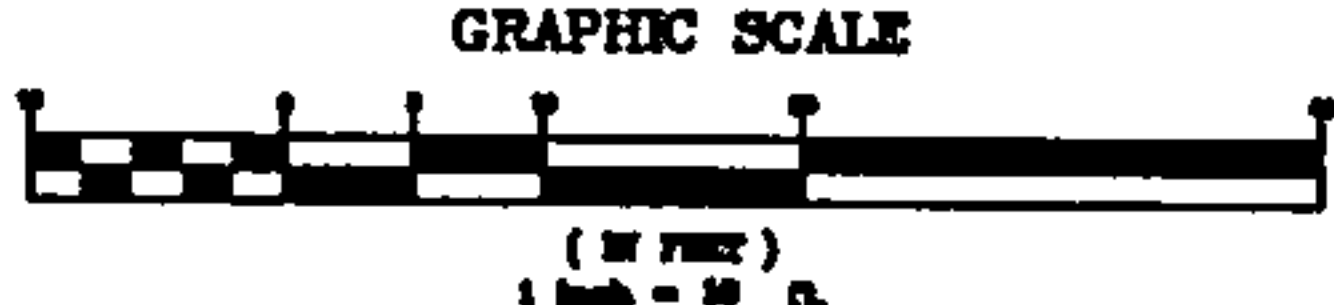


4-5-06
Rev 5-12-06

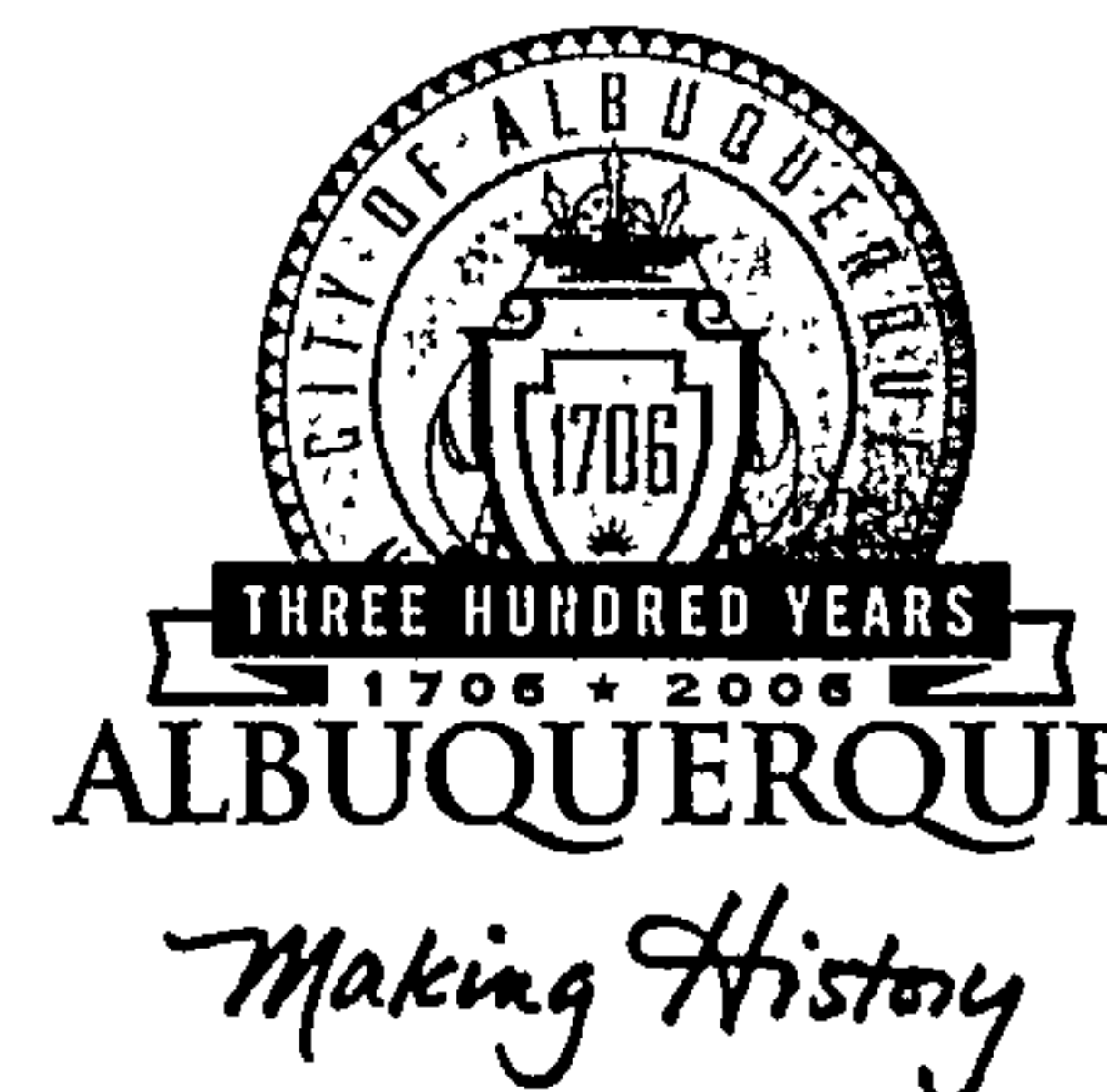
TRAFFIC CIRCULATION LAYOUT (LCL)

CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO	
LOTS G & H, BLOCK 2 NEW HOLIDAY PARK PARTS 5 & 6			
DC ENTERPRISES/MONTTOYA GRADING & DRAINAGE			
McDowell Engineering Inc.			
Designed JSM	Drawn STAFF	Checked JSM	Sheet 1 of 1
File MON0106L	Date DECEMBER, 2005		

TOPOGRAPHIC SURVEY BASED ON ASSUMED ELEVATION AS SHOWN HEREON.
NO BOUNDARY SURVEY WAS PERFORMED. ALL IMPROVEMENTS SHOWN BASED ON FIELD SURVEYS.
BOUNDARY INFORMATION AND EASEMENTS ARE AS SHOWN ON PLAN OF RECORD.
PURPOSE OF THIS SURVEY IS TO PROVIDE BASIC ENGINEERING DESIGN INFORMATION FOR DEVELOPMENT OF THE LOTS SHOWN HEREON.



CITY OF ALBUQUERQUE



March 15, 2006

Jackie Mc Dowell, P.E.
Mc Dowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

**Re: Lots 5& 6, Block 2 New Holiday Park Part 5 & 6, 12505 & 12508
Hardin Ct., Traffic Circulation Layout Architect's Stamp dated
1214-2005 (F22-D10)**

Dear Ms. McDowell,

Based upon the information provided in your submittal received 02-17-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Label the drive-pads as existing or proposed.
2. Please, refer to all appropriate City Standards; the drawing number should be included in this reference.
3. Remove the hydrology from plan, also two TCL marked plans need to be submitted with next submittal.
4. Provide parking calculations.
5. Provide the widths of sidewalks and drive-pads.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: file
WAG:tes

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

PROJECT TITLE: HARDIN TOWNHOMES

DRB #:

EPC #:

ZONE MAP/DRG. FILE #: F-22/D10

WORK ORDER #:

LEGAL DESCRIPTION: LOTS 5 & 6, BLOCK 2, NEW HOLIDAY PARK PARTS 5 & 6

CITY ADDRESS: 12505 & 12508 HARDIN COURT NE

ENGINEERING FIRM: MCDOWELL ENGINEERING, INC.

ADDRESS: 7820 BEVERLY HILLS AVE. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JACKIE S. MCDOWELL

PHONE: (505) 828-2430

ZIP CODE: 87122

OWNER: DC ENTERPRISES, INC.

ADDRESS: 847 CALLE DE CORONADO SE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87123

ARCHITECT: RON MONTOYA CUSTOM DES.

ADDRESS: 4801 ALAMEDA NE, STE. G-1

CITY, STATE: ALBUQUERQUE, NM

CONTACT: YOLANDA MONTOYA

PHONE: 823-6474

ZIP CODE: 87113

SURVEYOR: PROFESSIONAL CONT. SVC.

ADDRESS: 11200 MONTGOMERY

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BERNARD SEITZ, PS

PHONE: 294-2609

ZIP CODE: 87111

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

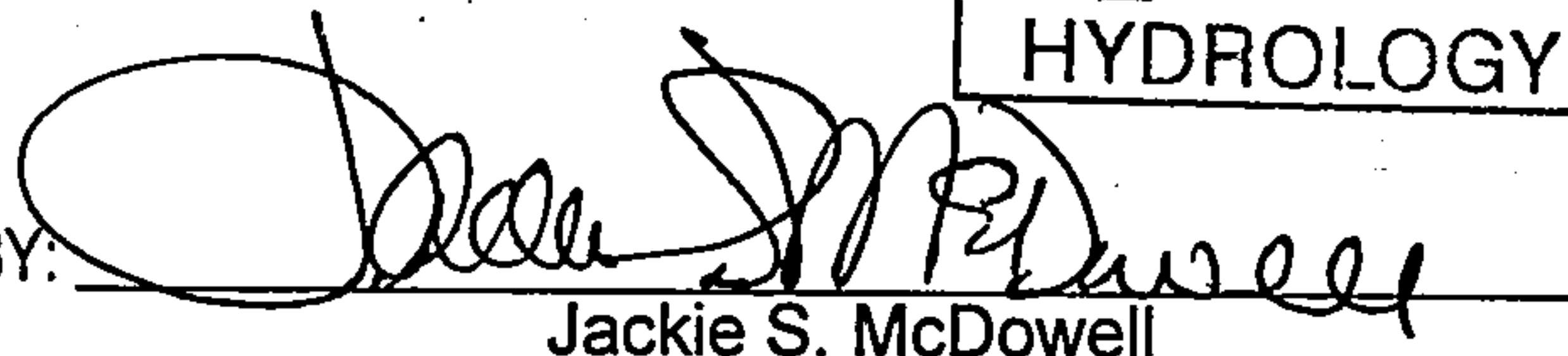
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

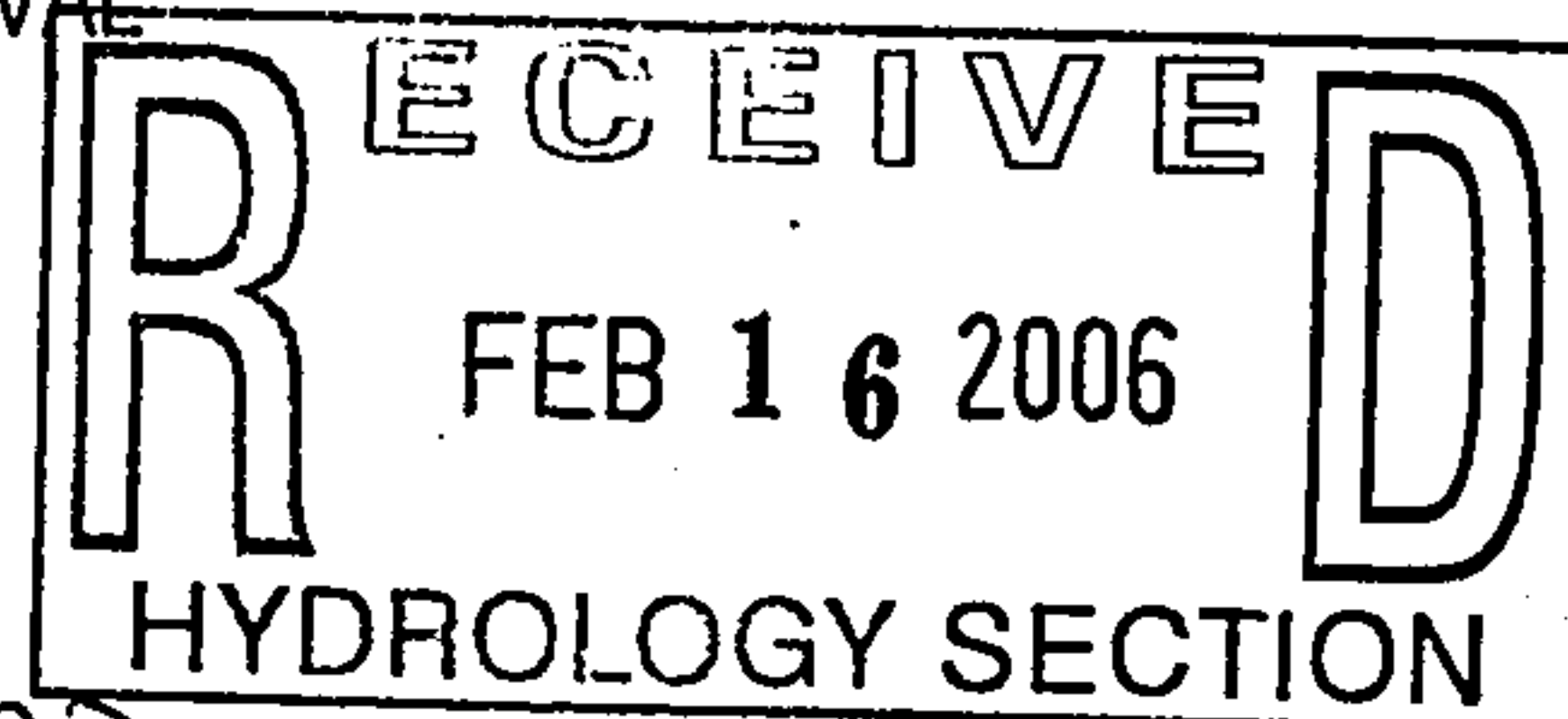
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ DON'T REMEMBER

DATE SUBMITTED: 2-15-06

BY:


Jackie S. McDowell



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope of the proposed development defines the degrees of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five acres.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits, and site plans less than five acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

✓ PARKING CALCS
✓ REMOVE Hydrology
✓ WIDTH of SDWK
DRIVEWAYS
DRIVE PADS

✓ IS DRIVE PADS EXISTING or PROPOSED

✓ PLANS MARKED TCL

Find file, give
to Tim for
TCL-BP

Chapter 22 - Drainage, Flood Control and Erosion Control

- E. Internal contributory drainage areas, including roof areas, outlined on plan.
 - F. Flow lines defined by arrows and spot elevations with NGVD 29 designation, or equivalent, as appropriate for clarity.
 - G. Pond(s) 100 year water surface elevation outlined and indicated on plan.
 - H. Finish building floor elevation(s) or pad elevation(s) with complete NGVD 29 designation, or equivalent, when applicable.
 - I. Elevations along property lines including relationship to adjacent top of curb.
 - J. Details of ponds, inverts, rundowns, curb cuts, water blocks, emergency spillways, retaining walls, pond outlets, safety fences, slopes, and all other significant drainage structures with contours, cross-sections and spot elevations. All cross-sections must be drawn to a standard engineering scale and adequately dimensioned.
 - K. Phasing
 - L. Proposed construction of private storm drain improvements within public right-of-way and/or easement including identification of the public entity having ownership.
 - M. Proposed contours superimposed over existing contours adequately demonstrating changes in grade especially at the property line
 - N. Identification of any required offsite grading
 - O. Specifications for the proposed grading and/or soil compaction
2. Off-site:
- A. Definition, location, and configuration of required drainage facilities.
 - B. Rights-of-way and easements needed to accommodate (A) above

ENGINEER'S CERTIFICATION CHECKLIST FOR NON-SUBDIVISION

Use this checklist when certifying compliance with an approved drainage report or drainage plan for public, commercial and multi-residential buildings requiring a Certificate of Occupancy building permit or grading and paving projects. Engineer must revise the original drawing as approved with the following information which shall serve as minimum criteria for evaluation. This is merely a guide. The level of detail necessary for presentation and verification is a function of the specific plan being evaluated. The engineer's certification must be approved prior to the release of the issuance of a Certificate of Occupancy, or acceptance (by the City) of the completed work.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 19, 2003

Harold Bennett
8601 Washington NE Unit A
Albuquerque, New Mexico 87113

RE: Engineer's Certification (Hydrology) for Hardin Court Apartments (F22-D10)
Dated July 23, 2003

Dear Mr. Bennett:

I have reviewed the referenced Certification and forward the following comments.

1. I have attached the certification language that needs to be placed and signed on the drawing.
2. I have attached the Certification Checklist that details what has to be as built.
3. I was unable to read your changes on the drawing. Please show the changes more clearly.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator

DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

I, _____, NMPE _____, OF THE FIRM _____,
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF
THE APPROVED PLAN DATED _____. THE RECORD INFORMATION EDITED ONTO THE
ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY

_____, NMPS _____, OF THE FIRM _____.
I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON _____
AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS
REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE
BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT
OF A REQUEST FOR _____.

(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE
PARAGRAPH)

(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE
PARAGRAPH)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND
DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT
ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING
IT FOR ANY OTHER PURPOSE.

XXXXXXXXXXXXXXXXXXXX, NMPE XXXX

(SEAL)

DATE

APPROVED BY THE EXECUTIVE COMMITTEE ON 4/9/02

DRAINAGE CERT W/ VERIFICATION BY ENGINEER OF RECORD
12/28/01

DRAINAGE CERTIFICATION

I, _____, NMPE _____, OF THE FIRM _____,
HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF
THE APPROVED PLAN DATED _____. THE RECORD INFORMATION EDITED ONTO THE
ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT
SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR
_____.

(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE
PARAGRAPH)

(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE
PARAGRAPH)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND
INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND
DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT
ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING
IT FOR ANY OTHER PURPOSE.

XXXXXXXXXXXXXXXXXXXX, NMPE XXXX

(SEAL)

DATE

APPROVED BY THE EXECUTIVE COMMITTEE ON 4/9/02

Chapter 22 - Drainage, Flood Control and Erosion Control

- E. Internal contributory drainage areas, including roof areas, outlined on plan.
 - F. Flow lines defined by arrows and spot elevations with NGVD 29 designation, or equivalent, as appropriate for clarity.
 - G. Pond(s) 100 year water surface elevation outlined and indicated on plan.
 - H. Finish building floor elevation(s) or pad elevation(s) with complete NGVD 29 designation, or equivalent, when applicable.
 - I. Elevations along property lines including relationship to adjacent top of curb.
 - J. Details of ponds, inverts, rundowns, curb cuts, water blocks, emergency spillways, retaining walls, pond outlets, safety fences, slopes, and all other significant drainage structures with contours, cross-sections and spot elevations. All cross-sections must be drawn to a standard engineering scale and adequately dimensioned.
 - K. Phasing
 - L. Proposed construction of private storm drain improvements within public right-of-way and/or easement including identification of the public entity having ownership.
 - M. Proposed contours superimposed over existing contours adequately demonstrating changes in grade especially at the property line
 - N. Identification of any required offsite grading
 - O. Specifications for the proposed grading and/or soil compaction
2. Off-site:
- A. Definition, location, and configuration of required drainage facilities.
 - B. Rights-of-way and easements needed to accommodate (A) above

ENGINEER'S CERTIFICATION CHECKLIST FOR NON-SUBDIVISION

Use this checklist when certifying compliance with an approved drainage report or drainage plan for public, commercial and multi-residential buildings requiring a Certificate of Occupancy building permit or grading and paving projects. Engineer must revise the original drawing as approved with the following information which shall serve as minimum criteria for evaluation. This is merely a guide. The level of detail necessary for presentation and verification is a function of the specific plan being evaluated. The engineer's certification must be approved prior to the release of the issuance of a Certificate of Occupancy, or acceptance (by the City) of the completed work.

Chapter 22 - Drainage, Flood Control and Erosion Control

1. Completed Information Sheet - see Information Sheet.
2. Provide as-built finished floor and/or pad elevations.
3. Provide as-built spot elevations on the property line and/or limits of phase development (points of significant grade changes) to demonstrate compliance with the approved drainage report or drainage plan.
4. Provide copies of construction approval from the appropriate government agencies for construction within their right-of-ways and/or easements.
5. Outline the as-built drainage basin(s) (including roof areas) supported with sufficient spot elevations and roof drain locations.
6. Provide as-built elevations and dimensions for the following structures:
 - A. Pond(s) (include as-built volume calculations)
 - B. Pipe inlet(s) and outlet(s) (include as-built capacity calculations)
 - C. Rundown(s) (including the required inlet dimensions)
 - D. Spillway(s) (including the required outlet dimensions)
 - E. Channel(s)
 - F. Flowlines
 - G. Erosion control structure(s)
 - H. Temporary drainage facilities required for phased development
 - I. Retaining and/or garden wall(s)
 - J. Other features critical to the drainage scheme.
7. Professional Certification
 - A. Engineer's stamp dated and signed accompanied with a statement indicating substantial compliance with the approved drainage report and/or deficiencies with recommended corrections.
 - B. The surveying associated with the certification must be performed by a professional engineer and/or surveyor in accordance with the "New Mexico Engineering and Surveying Practice Act" as amended and any standards adopted by the State Board of Registration.

ENGINEER'S CERTIFICATION CHECKLIST FOR SUBDIVISIONS

Use this checklist when certifying compliance with an approved drainage report or drainage plan for subdivisions when required by the Development Review Board (DRB) for the release of financial guarantees associated with an executed Subdivision Improvement Agreement (SIA). Engineer must revise the DRB approved drawing with the following information, which shall serve as minimum criteria for evaluation. This is merely a guide. The level of detail necessary for presentation and verification is a function of the specific plan being evaluated. The engineer's certification must be approved prior to the release of the SIA and/or financial guarantees.

HARDING COURT N.E.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HARDING COURT APTS

DRB #:

EPC#:

ZONE MAP/DRG. FILE #:

WORK ORDER#:

LEGAL DESCRIPTION:

CITY ADDRESS:

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☒ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED.

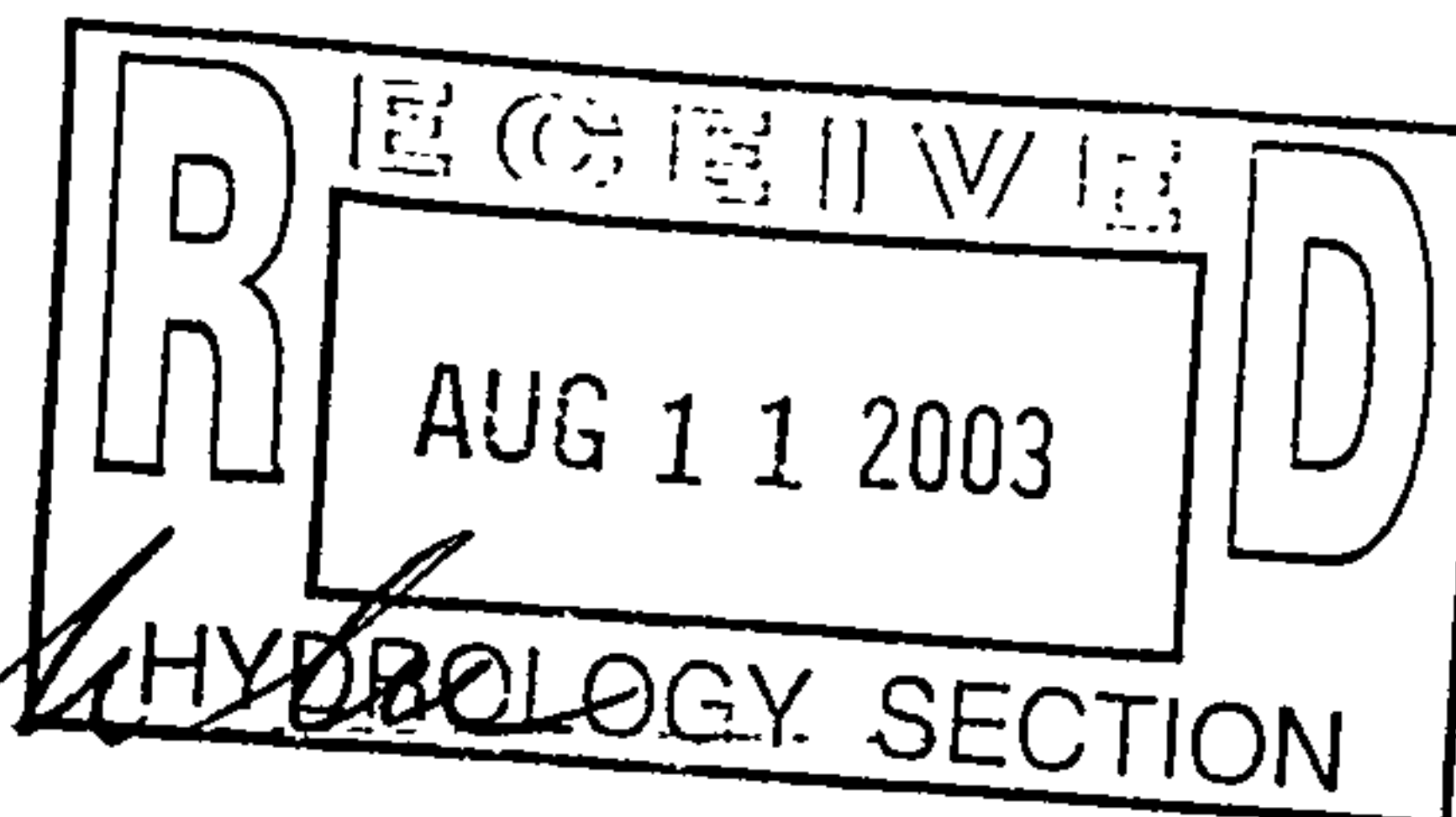
- ☐ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED

8/11/03

BY

[Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 29, 2003

Harold Bennett
8601 Washington NE Unit A
Albuquerque, New Mexico 87113

RE: Engineer's Certification (Hydrology) for Hardin Court Apartments (F22-D10)
Dated August 22, 2003

Dear Mr. Bennett:

Thank you for including the certification on the drawings. Please check the attached Engineer's Checklist. You did not address item number 2 and 3.
If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

August 19, 2003

Harold Bennett
8601 Washington NE Unit A
Albuquerque, New Mexico 87113

RE: Engineer's Certification (Hydrology) for Hardin Court Apartments (F22-D10)
Dated July 23, 2003

Dear Mr. Bennett:

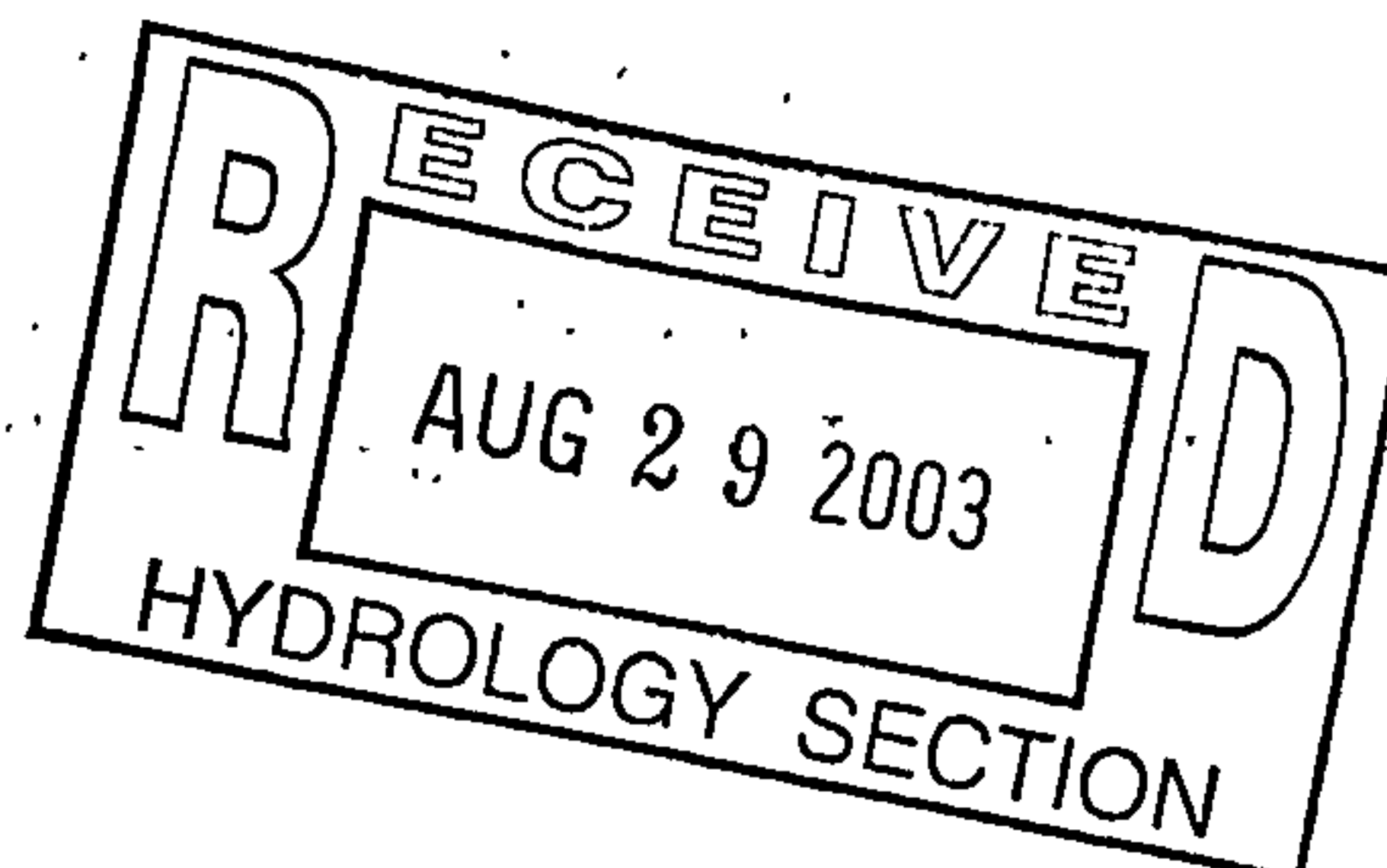
I have reviewed the referenced Certification and forward the following comments.

1. I have attached the certification language that needs to be placed and signed on the drawing.
2. I have attached the Certification Checklist that details what has to be as built.
3. I was unable to read your changes on the drawing. Please show the changes more clearly.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HARDING CT. APAS ZONE MAP/DRG. FILE #: F-22 / D20
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS I, J, K SUB. TRACT B NEW HOLIDAY PARK, PLOTS 5 & 6
 CITY ADDRESS: 12,404, 408 & 12,500 HARDING CT.

ENGINEERING FIRM: BEANETT ENGINEERS
 ADDRESS: 8601 WASHINGTON N.E. STE. A
 CITY, STATE: ALB.

CONTACT: HAROLD BEANETT
 PHONE: 250-4121
 ZIP CODE: 87113

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: KDC
 ADDRESS: 8601 WASHINGTON N.E.
 CITY, STATE: ALB.

CONTACT: John Klee
 PHONE: 830-3637
 ZIP CODE: 87113

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL GRADING & DRAINAGE PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY) *RESUBMIT*
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEERS CERTIFICATION (TCL)
- _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- _____ OTHER

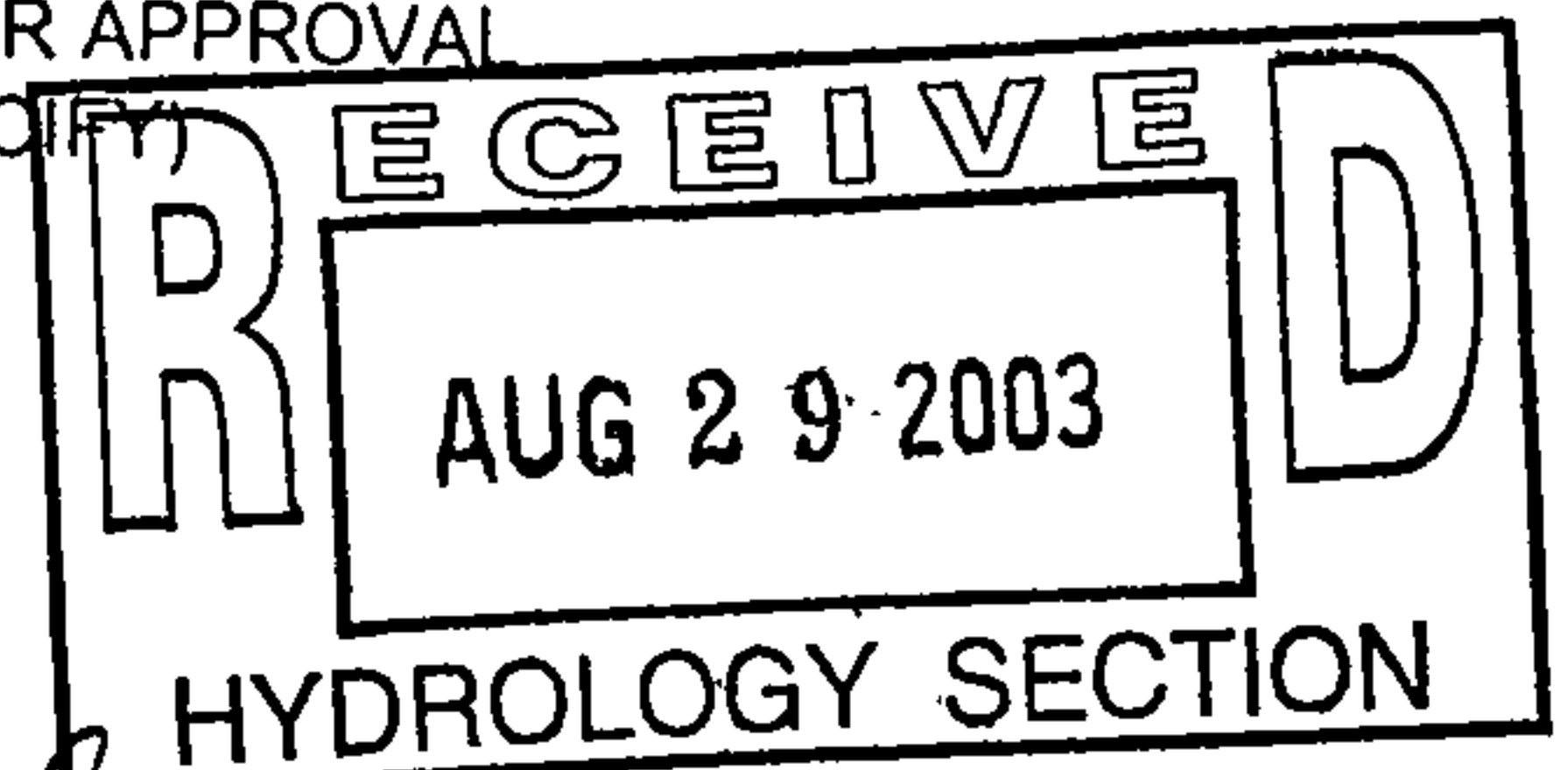
CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA / FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D. APPROVAL
- _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM.)
- _____ CERTIFICATE OF OCCUPANCY (TEMP.)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- _____ NO
- _____ COPY PROVIDED

DATE SUBMITTED 8/29/03 BY [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

August 18, 2003

Harold L. Bennett, P.E.
8601 Washington NE, Unit A
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Hardin Courts Apt, [F-22 / D10]
12500, 12408, & 12404 Hardin Cout
Engineer's Stamp Dated 04/23/03

Dear Mr. Bennett:

The TCL / Letter of Certification submitted on August 11, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

HARDIN COURT N.E.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: HARDIN COURT APTS ZONE MAP/DRG. FILE #: F-22 / D10
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOTS I, J, K SUBDIVISION OF TRACT B, NEW HOLIDAY
 CITY ADDRESS: 12,500, 12,408, 12,404 HARDIN COURT PARK-PHASE 5 & 6

ENGINEERING FIRM: DEANETT ENGINEERS N.E. CONTACT: HAROLD BENNETT
 ADDRESS: 8601 WASHINGTON N.E. UNIT A PHONE: 250-4121
 CITY, STATE: ALBANY, GA 31703 ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL GRADING & DRAINAGE PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- _____ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- _____ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- _____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

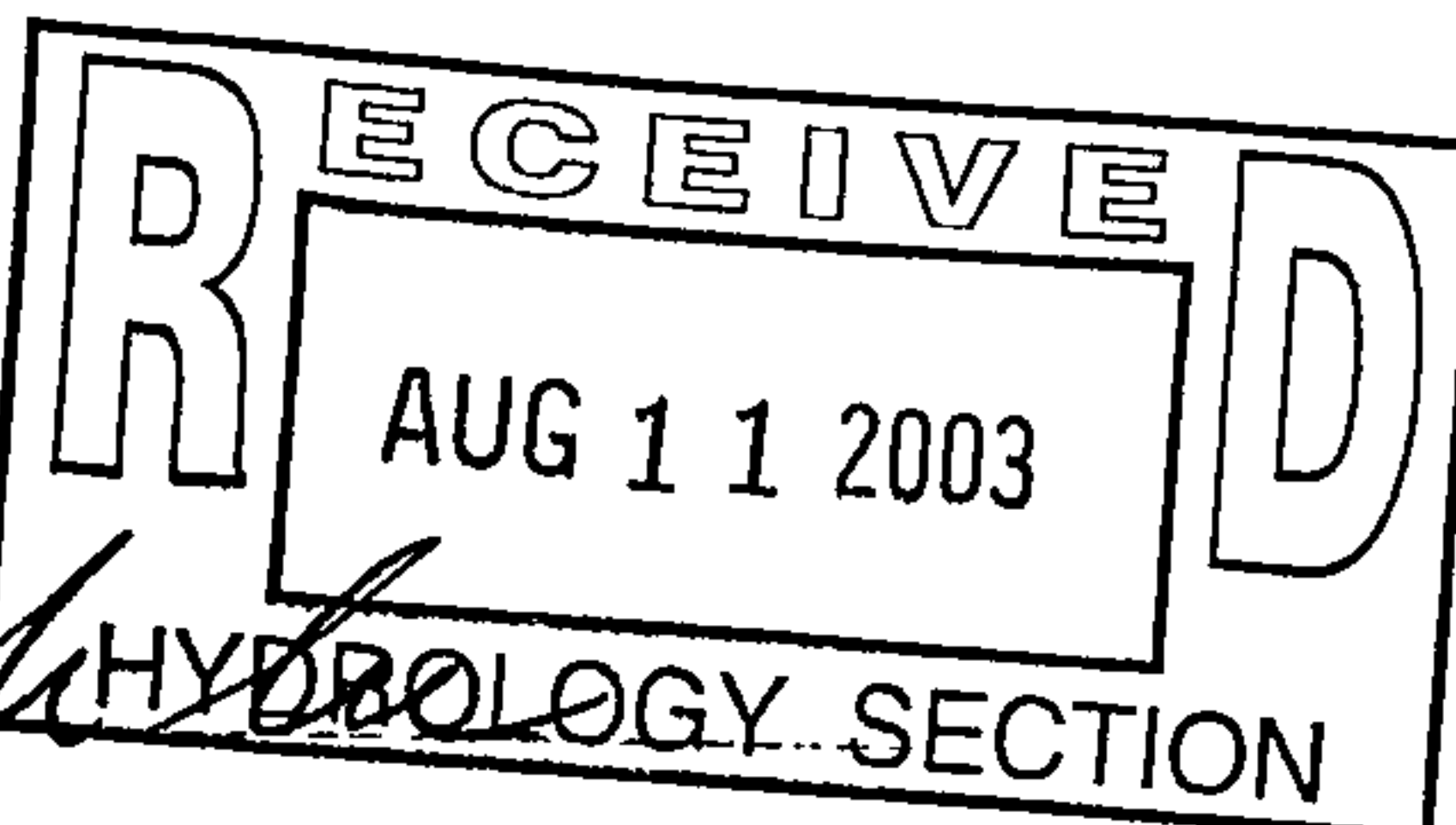
- _____ SIA / FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D. APPROVAL
- _____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- _____ CERTIFICATE OF OCCUPANCY (TEMP.)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- _____ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 8/11/03

BY [Signature] HYDROLOGY SECTION



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 2, 1999

Harold Bennett, PE
Bennett Engineering
4409 Karrol Rd. SW
Albuquerque, NM 87121

Re: Hardin Court Apartments Grading and Drainage Plan
Engineer's Stamp dated 10-1-99 (F22/D10)

Dear Mr. Bennett,

Based upon the information provided in your submittal dated 10-12-99, the above referenced grading and drainage plan is approved for Building Permit and Foundation Permit.

Please attach a copy of this approved plan to the construction set prior to sign-off by Hydrology.

Please be advised that prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE
Hydrology Review Engineer

C: file



City of Albuquerque

Public Works Department Transportation Development Services Section

August 10, 2000

John Klee, Registered. Arch.,
Klee Design Collaborative
8500 Menaul N.E.
Albuquerque, New Mexico 87112

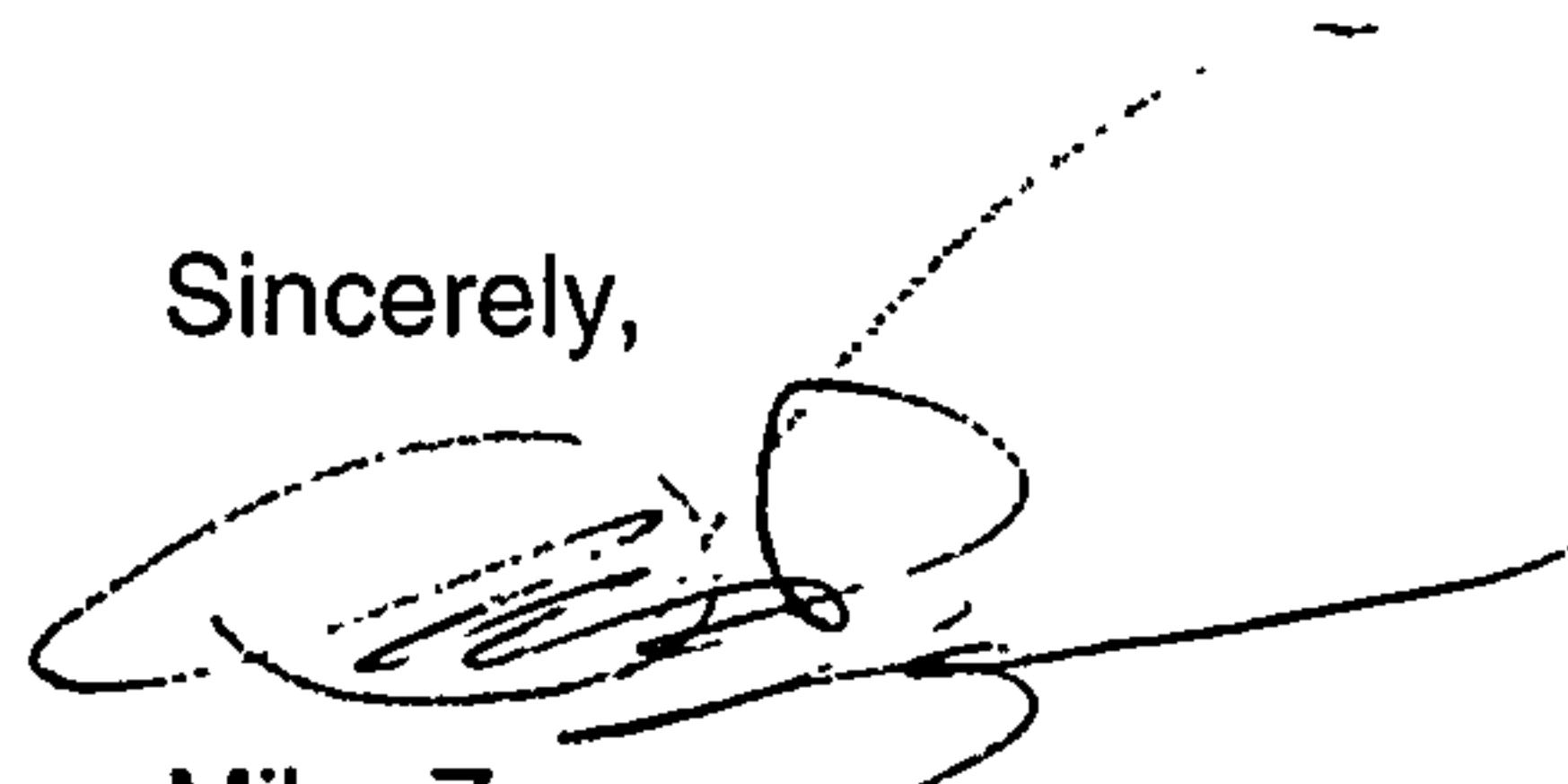
Re: T.C.L. submittal for building permit approval for Hardin Court Apartments, [F22 / D010]
XXXX Hardin Court N.E., New Holiday Park Subd., Tract B, Lots I, J, and K.
No Architect's stamp.

Dear Mr. Klee,

The location referenced above, dated July 25, 2000, is not acceptable and requires modification to the Traffic Circulation Layout (T.C.L.) prior to Building Permit release as stated on the attached written comments and red-lined T.C.L. markup.

Please resubmit revised T.C.L. after addressing typed and marked up comments.
Submit Plan along with typed comments and all red-lined, mark-up copies.

Sincerely,



Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

Written Comments: File # F22 / D010
8/09/2000

- T.C.L.(Site Plan) must be stamped and signed by designer and must be dated.
- For this Plan, and all others following, submit full street address of site, could be part of title block or Drainage Application sheet in Hydrology file. Call out name of subdivision and lot number or tract number on TCL.
- - Label, all landscaping(or include landscape plan), curbing, walls, etc.
- Place a note on the plan stating the following:

Contractor selected must be made aware, by note on TCL, that any agreement with the owner(if applicable to this particular project), stating that any portions of permit construction, chosen to be completed by the owner, or his selected representative, other than that contractor, will most likely result in delay. Therefore, if this applies, Certificate of Occupancy will not be issued **until all work is finished.**
- Because of the preliminary nature of the new review process, if Zoning has not seen this layout prior to this review, any requirements by Zoning at time of their review, altering the parking layout, will void approval of TCL and new review will be needed. _Need to consider use by refuse vehicle, where is Enclosure?
- - Label - Construct new drivepad "per City of Albuquerque Std. Detail Dwg. No. 2425. (or No. 2426)" - at each location, as noted on TCL.
- Property description on TCL does not match current City Zone Map. Copy of replat or acceptable current plat, stamped and signed by County Clerk's Office, will be needed prior to approval for building permit.
- Show and label right-of-way lines.
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan and TCL & details) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match T.C.L. exactly. __Resubmittal to Hydrology may be necessary.
- - Place concrete wheel stop 18'-0" from rear of stall, use #6 rebar anchors, 18" in length.
- Not sure what areas are being referred to on "section thru sidewalk . . ."
- At east drive, try to place the alignment of drivepad in line with the drive aisle, or "perpendicular" to the center of the street, as shown.

APPLICANT'S NAME John Klee ZONE ATLAS/DRNG. FILE # F-22/D010

DRB # _____ EPC # _____ WORK ORDER # _____

LEGAL DESCRIPTION lots I, J, K Tract B

CITY ADDRESS: _____

ENGINEERING FIRM: Harold L. Bennett CONTACT: Same

ADDRESS: Hardin Court PHONE: 266-3038

OWNER: Darryl Fieley CONTACT: John K. Klee

ADDRESS: 2403 San Mateo N.E. PHONE: _____

ARCHITECT: KDC CONTACT: John K. Klee

ADDRESS: 2403 San Mateo N.E. PHONE: 830-3637

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: Darryl Fieley CONTACT: Same

ADDRESS: _____ PHONE: _____

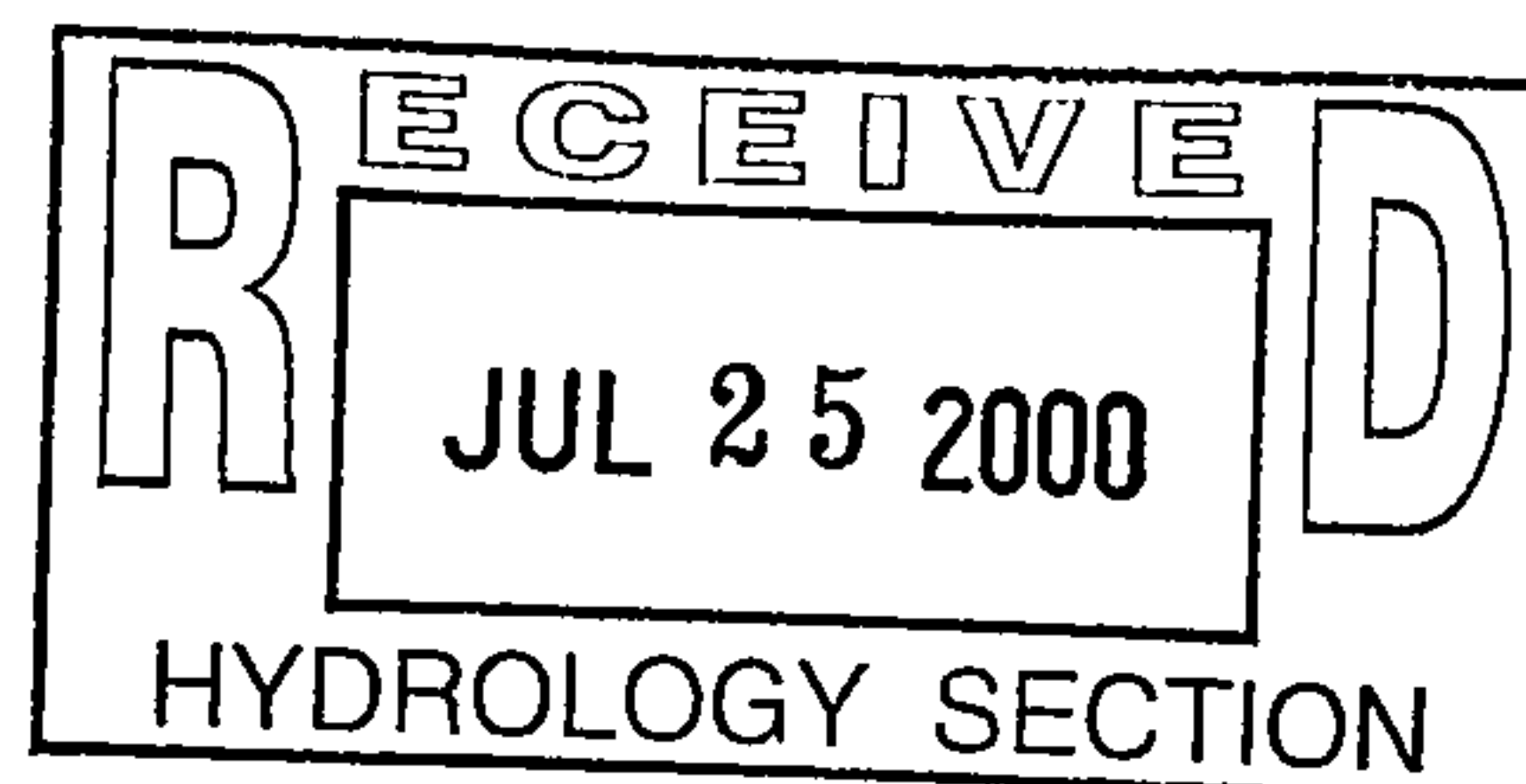
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:
☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:
☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☒ OTHER TCL (SPECIFY)

DATE SUBMITTED: 7/25/00
BY [Signature]

Revised 02/98



DRAINAGE INFORMATION SHEET

APPLICANT'S NAME: HARDIN COURT FOURPLEXES ZONE ATLAS/DRNG. FILE #: F-22 / D10

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Lots I, J, & K Subdivision OF TRACT B NEW HOLIDAY PARK

CITY ADDRESS: _____

ENGINEERING FIRM: Bennett Engineering CONTACT: HAROLD Bennett OR BERNIE MONTAÑA

ADDRESS: 4409 Karrol Rd S.W. PHONE: 877-4041-450-5851

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: John Klee Designs CONTACT: John Klee

ADDRESS: _____ PHONE: 291-8787

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER _____

PRE-DESIGN MEETING:

- ☒ YES
- ☒ NO
- ☐ COPY PROVIDED

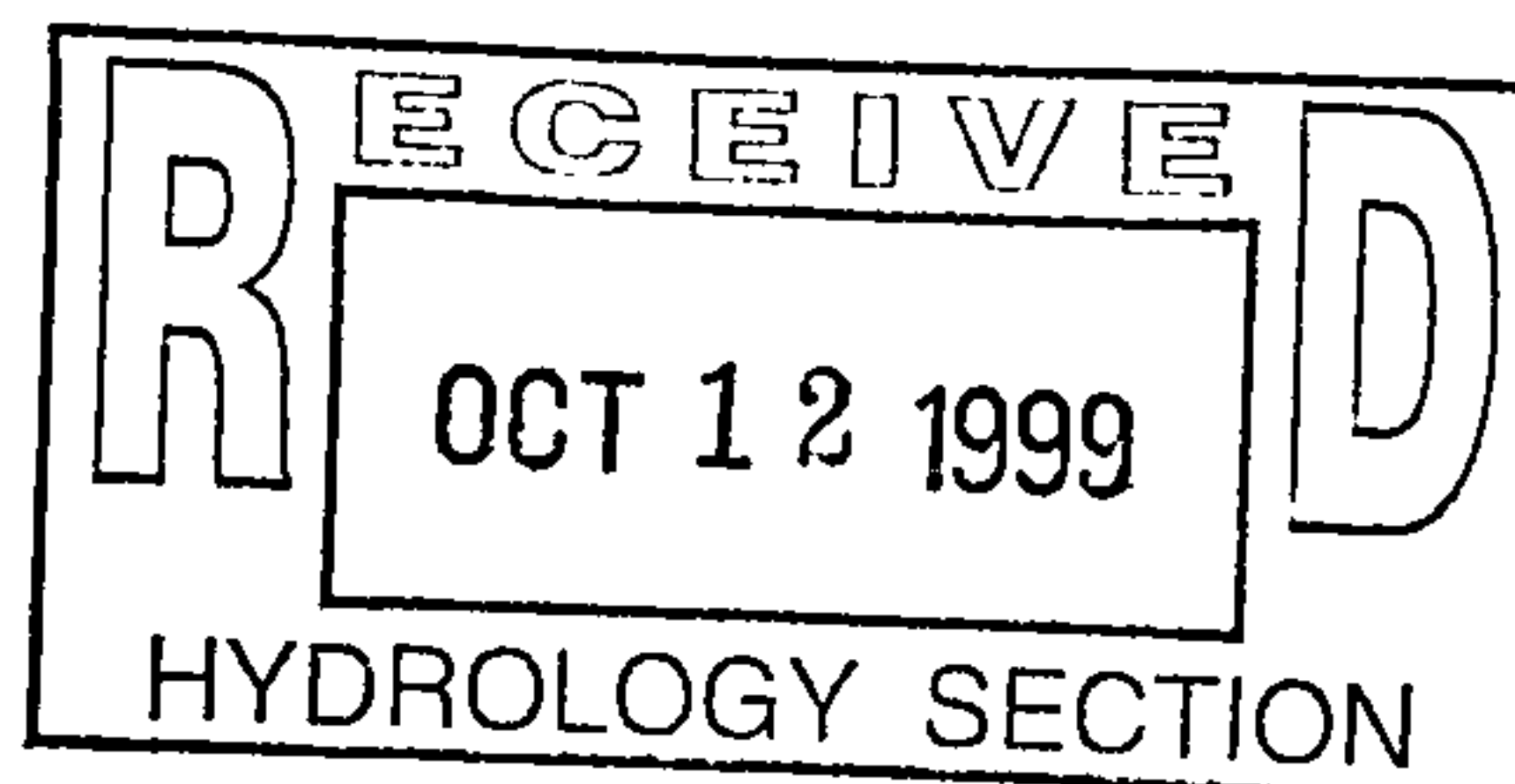


DATE SUBMITTED: 10/12/99

BY: B.J. Montaña

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)



VOLUME C14 FOLIO

C 2 R= 45' L= 41.21'

