



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 12, 1994

Kerry L. Davis, P.E.
Bohannon-Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

RE: CERTIFICATION STATEMENT FOR VISTA DEL SANDIA SUBDIVISION (F22-D11C)
STATEMENT DATED 11/28/94.

Dear Mr. Davis:

The subject submittal is approved for final plat sign-off. If you should have any questions, feel free to contact me at 768-2668.

Sincerely,

Fred J. Aguirre, P.E.
PWD/Hydrology Division

FJA/d1/WPHYD/8975

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Vista del Sandia Subd. ZONE ATLAS/DRNG. FILE # E-22/011C

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Vista del Sandia Subd.

CITY ADDRESS: E. of Jun Taked NE Adjacent to Pared del Oso and

John B. Robert Dam

ENGINEERING FIRM: BOHANNAN HUSTON, INC.

CONTACT: Kerry Davis

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

PHONE: 823-1000

OWNER: Walpe Co, Inc.

CONTACT: Bob Walpe

ADDRESS: 2730 San Redo NE

PHONE: 881-1436

ARCHITECT: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

SURVEYOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

CONTRACTOR: _____

CONTACT: _____

ADDRESS: _____

PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

- DRAINAGE REPORT
- DRAINAGE PLAN
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION
- OTHER

- SKETCH PLAT APPROVAL
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- S.A.D. DRAINAGE REPORT
- DRAINAGE REQUIREMENTS
- OTHER Sub cert (SPECIFY)

PRE-DESIGN MEETING:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: 11/28/94

BY: Kerry Davis

NOV 29 1994

November 28, 1994

Fred Aguirre
 City Hydrologist
 Public Works Dept.
 Hydrology Div.
 City of Albuquerque
 P.O. Box 1293
 Albuquerque, NM 87103

Re: Grading and Drainage Certification for Vista del Sandia Subdivision, Drainage File S-22

Dear Fred:

Submitted herewith for final plat approval is the referenced certification. This project consists of four lots on approximately 0.3 acres and is located east of Juan Tabo Blvd. adjacent to Paseo del Oso Ave. and the John B. Robert Dam. Development of this project included retaining walls, earthwork and sidewalks. The earthwork included fill obtained from within the dam basin and stabilization of the slopes with revegetation seeding and crimped hay or gravel mulch.

All improvements shown on the attached grading and drainage plan have been completed in accordance with the plan, therefore my certification is presented in order to obtain final plat approval for the four lot subdivision. Please don't hesitate to call me if you should have any questions or comments.

Sincerely,



Kerry L. Davis, P.E.
 Vice President & Group Manager
 Community Development
 and Planning Group

KLD/kc

Enclosure - Grading/Drainage Plan

cc: Bob Wolfe

I:\CDP\9415707\AGUIRRE.LTR-11/28/94

PRINCIPALS

LARRY W. HUSTON, C.P.
 MICHIAL M. EMERY, P.E.
 BRIAN G. BURNETT, P.E.
 KERRY L. DAVIS, P.E.

LARRY A. LARRAÑAGA, P.E.
 HOWARD C. STONE, P.E.
 WILLIAM L. VREEKE, P.E.
 GORDON A. WALHOOD, JR., P.E.

MARY E. CARTER
 GEORGE RADNOVICH, R.L.A.
 SILAS V. SUAZO
 JAMES R. TOPMILLER, P.E.

BOHANNAN-HUSTON INC.



COURTYARD I, 7500 JEFFERSON STREET, N.E. ALBUQUERQUE, NM 87109
 TEL (505) 823-1000 FAX (505) 821-0892

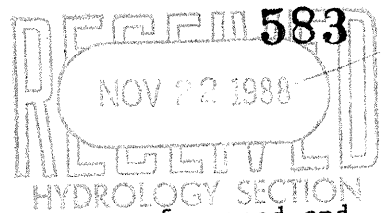
NOV 29 1994

80 52334

GRANT FOR EASEMENT

FOR

FLOODWAY AND STORM DRAINAGE WORKS



The CITY OF ALBUQUERQUE, a municipal corporation, Grantor, for good and valuable consideration, the receipt of which is hereby acknowledged, does grant; bargain, sell and convey unto the ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, a political subdivision of the State of New Mexico, Grantee, and its successors and assigns, the following permanent right of way and easement over the following described land:

- (A) the permanent right and easement to construct, operate, repair, reconstruct and maintain flood control facilities thereupon, and
- (B) the permanent right and easement to overflow, flood and cover said real estate with flood waters impounded by the construction and operation of said flood control facilities up to, but not above 5776 feet above mean sea level, and
- (C) the permanent right and easement to prohibit and prevent the Grantor, and its successors and assigns, from diminishing the water storage capacity, (through the importation and placement of earth, dirt, spoil or other materials or otherwise), thereof, and
- (D) the permanent right and easement to prohibit and prevent the Grantor, and its successors and assigns, from altering the inlet works, outlet works, and other flood control facilities constructed and operated by the Grantee, and its successors and assigns, thereupon.

The land in which the forementioned rights and easements are granted is located in the County of Bernalillo and State of New Mexico and is more particularly described as follows:

A certain tract or parcel of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1-1/2" iron pipe in concrete, set for the closing corner of sections 33 and 34, T 11 N, R 4 E, N.M.P.M. on the South boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision, Parts 7 & 8, bears S 3° 18' 26" W 992.45' distant: thence from said point of beginning N 0° 14' 37" E 329.12' to a point; thence S 89° 45' 08" E 860.29' to a point; thence S 69° 18' 45" W 921.07' to the point and place of beginning; containing 141,569.3 sq. ft., more or less (3.250 acres, more or less), said tract being that tract delineated as park on the plat of Part 7 & 8, the New Holiday Park Subdivision.

Tract 2

TO HAVE AND TO HOLD the said right and easement for the uses and purposes aforesaid, unto the grantee, its successors and assigns, forever.

THERE IS RESERVED to the Grantor, its successors and assigns, the right to use said lands for recreation purposes, open space, road crossings and other purposes which will not interfere with the rights and easements hereby granted, provided that such use shall be exercised in such a manner as will not damage or interfere with the construction, operation and maintenance of Grantee's flood control facilities.

WITNESS its hand and seal this 8th day of September, 1980.

CITY OF ALBUQUERQUE, A MUNICIPAL CORPORATION

BY Arthur A. Blumenthal
Chief Administrative Officer

(SEAL)

ATTEST:

Mary Lou Longen
City Clerk/Recorder

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO)
) SS.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 8th day of September, 1980, by Arthur A. Blumenthal,
(Name of Officer)
Acting Chief Administrative Officer of City of Albuquerque,
(Title of Officer) (Name of Corporation Acknowledging)

a municipal ~~New Mexico~~ Corporation, on behalf of said corporation.

My Commission Expires:
4-18-81

Roe P. Jewell
Notary Public

(SEAL)

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD
SEP 11 10 20 AM '80
BK 797 PG 583-584
TERRY S. HANLON
CO. CLERK / RECORDER
DEPUTY



STATE OF NEW MEXICO

COUNTY OF BERNALILLO

IN THE DISTRICT COURT

ALBUQUERQUE METROPOLITAN ARROYO
FLOOD CONTROL AUTHORITY,
Petitioner,

RECEIVED
NOV 22 1988
HYDROLOGY SECTION
No. 3-76-01371

vs.

ALBUQUERQUE NATIONAL BANK and ALBERT
SIMMS, Co-Trustees under a Trust
designated as "The Academy for Boys
Trust" as established by a Trust
Indenture from Albert G. Simms to
said Co-Trustees; STATEWIDE TRUST
INVESTMENTORS OF TEXAS; INVESTMENTORS
OF TEXAS; HORACE F. MCKAY, JR., and
ELMYERA, his wife; JOHN H. CRAIG and
MARY D. CRAIG, his wife; TREASURER OF
BERNALILLO COUNTY,

ENDORSED
FILED IN MY OFFICE THIS

FEB 23 1977

Elmer S. Young
CLERK DISTRICT COURT

J U D G M E N T

(Statewide Trust Investmentors of
Texas and Investmentors of Texas)

This cause coming on for hearing as to that real
estate taken or damaged by Petitioner which was on the date
of taking herein owned by Defendants Statewide Trust Invest-
mentors of Texas and Investmentors of Texas, the Petitioner
appearing by and through Charles A. Keeling, Jr., its attorney,
the Defendant Statewide Trust Investmentors of Texas and In-
vestmentors of Texas) appearing by Arthur Melendres, of Modrall,
Sperling, Roehl Harris and Sisk, their attorneys and the
Defendants HORACE F. MCKAY, JR., and ELMYERA, his wife; and
JOHN H. CRAIG and MARY D. CRAIG, his wife appearing through
their attorney James Paulantis, and the Court having exercised

see Page 824
for AMAFCA Rights
on Tract A-4 of
Holiday Park #78-2359
(C12-183)

Beck

*Esmt
south side Dam
of J.T.
= 1 1/2*

the pleadings and affidavits on file herein, having considered the arguments of counsel, and being fully advised in the premises, FINDS the facts as follows:

1. That the Court has jurisdiction of the parties and of the subject matter.
2. That judgment should issue in this cause as to Parcel originally designated as Tract 1 in the Petition in this cause, which Tract by virtue of this judgment shall be amended to be Tract 1, 1-A and 1-B, hereinafter sometimes called or referred to as the "subject real estate".
3. That the Petitioner has made due search and inquiry to ascertain the places of residence of each and all of the Defendants herein; that each of the Defendants have been duly served with process as required by law and the rules of this Court; that none of them has entered his appearance or answered claiming any interest in the real estate described in the Petition except Defendants, STATEWIDE TRUST INVESTMENTORS OF TEXAS AND INVESTMENTORS OF TEXAS; HORACE F. MCKAY, JR., and ELMYERA, his wife; JOHN H. CRAIG and MARY D. CRAIG his wife, and TREASURER OF BERNALILLO COUNTY, and that all of them are now in default, and that this action may be heard without further notice to such defaulting Defendants.

4. That except as otherwise specifically ordered herein, each and all of the allegations of the Petition are true and correct, are sustained by the evidence, and are hereby adopted as findings of fact by this Court to the same extent as set forth at length herein.

5. That Defendants STATEWIDE TRUST INVESTMENTORS OF TEXAS AND INVESTMENTORS OF TEXAS; are the owners in fee simple of Tract 1 described in the Petition and HORACE F. MCKAY, JR., and ELMYERA, his wife; and JOHN H. CRAIG and MARY D. CRAIG, his wife are the mortgagees of Tract 1 described in the Petition.

6. That all real estate taxes on the property being condemned for the year 1975 and for all prior years have been fully paid and satisfied.

7. That the Petitioner has heretofore deposited with the Clerk of the District Court of Bernalillo County the sum of \$19,000.00 to apply on final judgment for just compensation and damages for the taking of the real estate and easements herein described, none of which has previously been disbursed to the fee owners above set forth.

8. That judgment should be rendered against Petitioner in the sum of \$19,000.00, which judgment amount constitutes just compensation for the taking in fee simple of .3431 acres, more or less and easements in 1.0176 acres more or less from the Defendants STATEWIDE TRUST INVESTMENTORS OF TEXAS AND INVEST-

MENTORS OF TEXAS; and HORACE F. MCKAY, JR., and ELMYERA, his wife; and JOHN H. CRAIG and MARY D. CRAIG, his wife, for the construction of the Juan Tabo Dam of Petitioner and related public improvements, and that such judgment amount includes all damages of whatsoever kind and nature that said defendants are legally entitled to as compensation for the taking.

IT IS, THEREFORE, ORDERED, ADJUDGED AND DECREED that judgment be, and it hereby is, rendered against Petitioner, ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, and in favor of Defendants STATEWIDE TRUST INVESTMENTORS OF TEXAS AND INVESTMENTORS OF TEXAS; and HORACE F. MCKAY, JR., and ELMYERA, his wife; and JOHN H. CRAIG and MARY D. CRAIG, his wife, in the sum of Nineteen Thousand and No/100ths (\$19,000.00) Dollars, with no interest thereon.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the Petitioner be, and it hereby is, adjudged to be the owner of Tract 1 in fee simple and easements as to Tract 1-A and 1-B all as are more particularly described as follows:

Estate in Favor of the Petitioners
in Fee Simple in the Following
Described Tract

Tract I

A certain parcel or tract of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1 1/2" iron pipe in concrete set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. ($x = 420,734.73$ and $y = 1,504,236.13$) on the south boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision Parts 7 and 8, bears $S25^{\circ}22'41''$ W a distance of 1131.38 feet; thence, from said point of beginning $N80^{\circ}50'17''$ W a distance of 245.41 feet; thence, $N69^{\circ}18'45''$ E a distance of 162.00 feet; thence, $S69^{\circ}29'12''$ E a distance of 173.39 feet; thence, $S63^{\circ}37'09''$ W a distance of 80.00 feet to the point of beginning which has coordinates $x = 421,219.45$ and $y = 1,505,257.96$ and contains 14946.15 square feet (0.3431 acres) more or less.

(See Exhibit A)

Easement

Tract 1A

A certain parcel or tract of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1 1/2" iron pipe in concrete set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. (x = 420,734.73 and y = 1,504,236.13) on the south boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision Parts 7 and 8, bears S 25° 22' 41" W a distance of 1131.38 feet; thence, from said point of beginning S 63° 37' 09" W a distance of 77.73 feet; thence, N 79° 23' 36" W a distance of 249.91 feet; thence, N 69° 18' 45" E a distance of 78.12 feet; thence, S 80° 50' 17" E a distance of 245.41 feet to the point of beginning which has coordinates x = 421,219.45 and y = 1,505,257.96 and contains 10609.85 square feet (0.2436 acres) more or less.

The foregoing property description designated Tract 1-A is subject to an easement in favor of the petitioner, its successors and assigns as follows:

The permanent assignable right and easement to enter said lands and construct thereon and maintain permanent embankments for the Juan Tabo Dam, and to permanently thereafter prohibit excavation below the surface of such embankments, including such right of ingress, egress and passage as may be necessary to implement said purposes and reserving to the landowner and his respective heirs and assigns all rights, title and interest in and to said land as may be used and enjoyed without interfering with the rights being hereby acquired among which reserved rights are the right to fill said lands up to a level of 5774.50 feet above mean sea level and the right to occupy the same with buildings or other structures. Said land may not now, or ever, be graded or excavated below its embankment slope level.

(See Exhibit B)

Pass
contains

to property now located on 171 PM

REC

EASEMENT

824

Tract 1B

A certain parcel or tract of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1 1/2" iron pipe in concrete set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. (x = 420,734.73 and y = 1,504,236.13) on the south boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision Parts 7 and 8 bears S 27° 45' 09" W a distance of 1195.24 feet; thence from said point of beginning N 69° 29' 12" W a distance of 173.39 feet; thence, N 69° 18' 45" E a distance of 435.94 feet; thence S 24° 39' 01" W a distance of 132.48 feet; thence, S 63° 37' 09" W a distance of 212.26 feet to the point of beginning which has coordinates x = 421,291.09 and y = 1,505,293.49 and contains 33715.20 square feet (0.7740 acres) more or less.

The foregoing property description designated Tract ^B1B is subject to an easement in favor of the petitioner, its successors and assigns as follows:

The right to flood and inundate with storm waters each and every portion of said land which is below 5772.0 feet above mean sea level.

Reserving to the landowner, its successors and assigns, all such rights and priveleges as may be used and enjoyed without interferring with or abridging the rights of the easements hereby acquired, including the right to fill any portion of said land, and adjacent lands presently owned by Statewide Trust Investmentors of Texas and Investmentors of Texas, provided, however, that the earth and other materials used for the fill may be provided by Petitioner at no cost to the landowner from lands of the Petitioner adjacent to said tract and east of the Juan Tabo Dam, as the Petitioner may direct. The landowner may not use any earth or other materials for fill other than those set forth above without the consent of the Petitioner.

- A 4 by
1470 11 28
C 12/183

(See Exhibit B)

IT IS FURTHER ORDERED, ADJUDGED AND DECREED that the judgment sum of \$19,000.00, all of which has been heretofore deposited in Court Registry be disbursed by the Clerk as follows:

The sum of \$17,737.60 to Defendants STATEWIDE TRUST INVESTMENTORS OF TEXAS AND INVESTMENTORS OF TEXAS, and HORACE F. MCKAY, JR., and ELMYERA, his wife; and JOHN H. CRAIG and MARY D. CRAIG, his wife, with the check therefor to be delivered or mailed to either Arthur Melendres or James Paulantis, their attorneys.

The sum of \$1,262.40 payable to the "Treasurer of Bernalillo County" in full payment of all of the 1976 taxes and by the said defendants on the property a portion of which is subject to this judgment.

MAURICE SANCHEZ

DISTRICT JUDGE

APPROVED:

S/ Charles A. Keeling, Jr.
Attorney for Petitioner

S/ Arthur D. Melendres
Attorney for Defendants
STATEWIDE TRUST INVESTMENTORS of TEXAS AND INVESTMENTORS OF TEXAS

S/ James Paulantis
Attorney for Defendants
HORACE F. MCKAY, JR., and ELMYERA, his wife; and JOHN H. CRAIG and MARY D. CRAIG, his wife

State of New Mexico }
County of Bernalillo } SS
This instrument was filed for record on

FEB 25 1977 *min*
At *1:24* o'clock *P.*m. Recorded in Vol. *521*
of records of said County Folio *818-829*
Gamma C. Sanchez Clerk & Recorder
Deputy Clerk

Eloise E. Young, Clerk of the District Court of Bernalillo County, New Mexico, hereby certify that the foregoing is true, correct and full copy of the instrument herewith set out as appears of record in my office.

Dated this *25th* day of *Feb.* 19 *77*
Eloise E. Young
Clerk of the District Court
By *Paul L. Ray*
Deputy

76 43016

QUITCLAIM DEED

RECEIVED 435 NOV 2 1988 HYDROLOGY SECTION

The ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY for consideration paid, quitclaim to the CITY OF ALBUQUERQUE, New Mexico, a Municipal Corporation 2600 Prospect NE Bernalillo County, New Mexico: the following described real estate in

A certain tract or parcel of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1-1/2" iron pipe in concrete, set for the closing corner of sections 33 and 34, T 11 N, R 4 E, N.M.P.M. on the south boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision, Parts 7 & 8, bears S 3° 18' 26" W 992.45' distant; thence from said point of beginning N 0° 14' 37" E 329.12' to a point; thence S 89° 45' 08" E 860.29' to a point; thence S 69° 18' 45" W 921.07' to the point and place of beginning; containing 141,569.3 sq. ft., more or less (3.250 acres, more or less), said tract being that tract delineated as park on the plat of Part 7 & 8, the New Holiday Park Subdivision.

Tract 2

WITNESS hand and seal this day of 19 (Seal) B. H. Swinburne, Chairman AMAFCA Board of Directors

(Seal) Secretary, Board of Directors

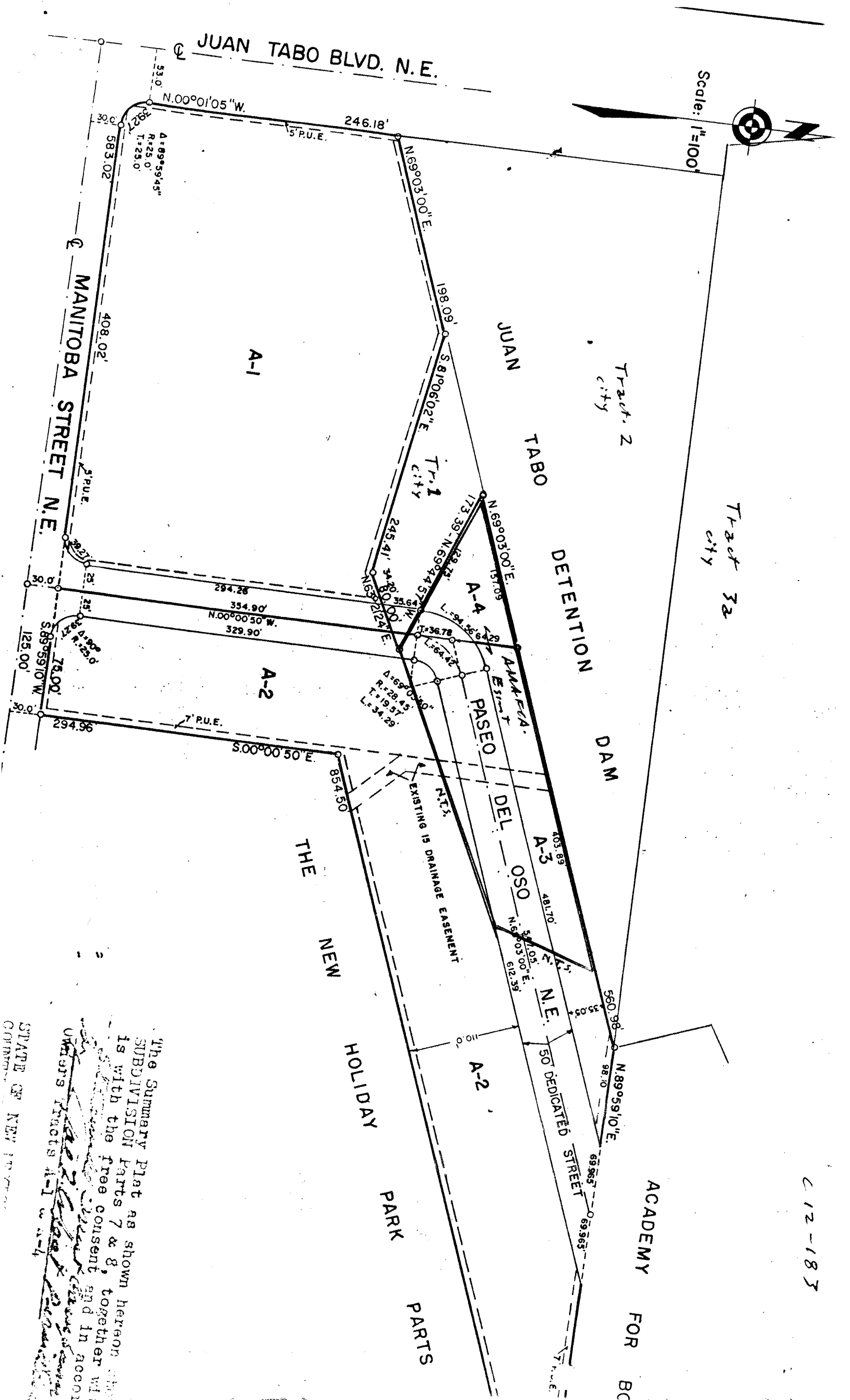
ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO COUNTY OF The foregoing instrument was acknowledged before me this day of 19 by (Name or Names of Person or Persons Acknowledging) My commission expires: (Seal) Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO COUNTY OF BERNALILLO The foregoing instrument was acknowledged before me this 22 day of July, 1976 by Bernie H. Swinburne Chairman, BOD of Albuquerque Metropolitan Arroyo Flood Control Authority New Mexico corporation, on behalf of said corporation. My commission expires: 9-20-76 (Seal) Leslie H. Moran Notary Public

FOR RECORDER'S USE ONLY State of New Mexico } ss County of Bernalillo } This instrument was filed for record on AUG 12 1976 At o'clock p.m. Recorded in Vol. 12A of records of said County Folio 435 Emma B. Sanchez Clerk & Recorder Deputy Clerk



Scale: 1"=100'

JUAN TABO BLVD. N.E.

MANITOBA STREET N.E.

JUAN TABO DETENTION DAM

Tract 32 City

Tract 2 City

THE NEW HOLIDAY PARK PARTS

ACADEMY FOR BOYS

C 12-183

$\Delta = 89^{\circ}59'45''$
 $R = 225.0'$
 $T = 25.0'$

246.18'

583.02'

$N.00^{\circ}01'05''W.$

5' P.U.E.

$N.69^{\circ}03'00''E.$

198.09'

A-1

$S.81^{\circ}06'02''E.$

Tr. 1 City

245.41'

A-4

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

$N.69^{\circ}03'00''E.$

294.28'

354.90'

$N.00^{\circ}00'50''W.$

329.90'

294.96'

$S.00^{\circ}00'50''E.$

854.50'

7' P.U.E.

5' P.U.E.

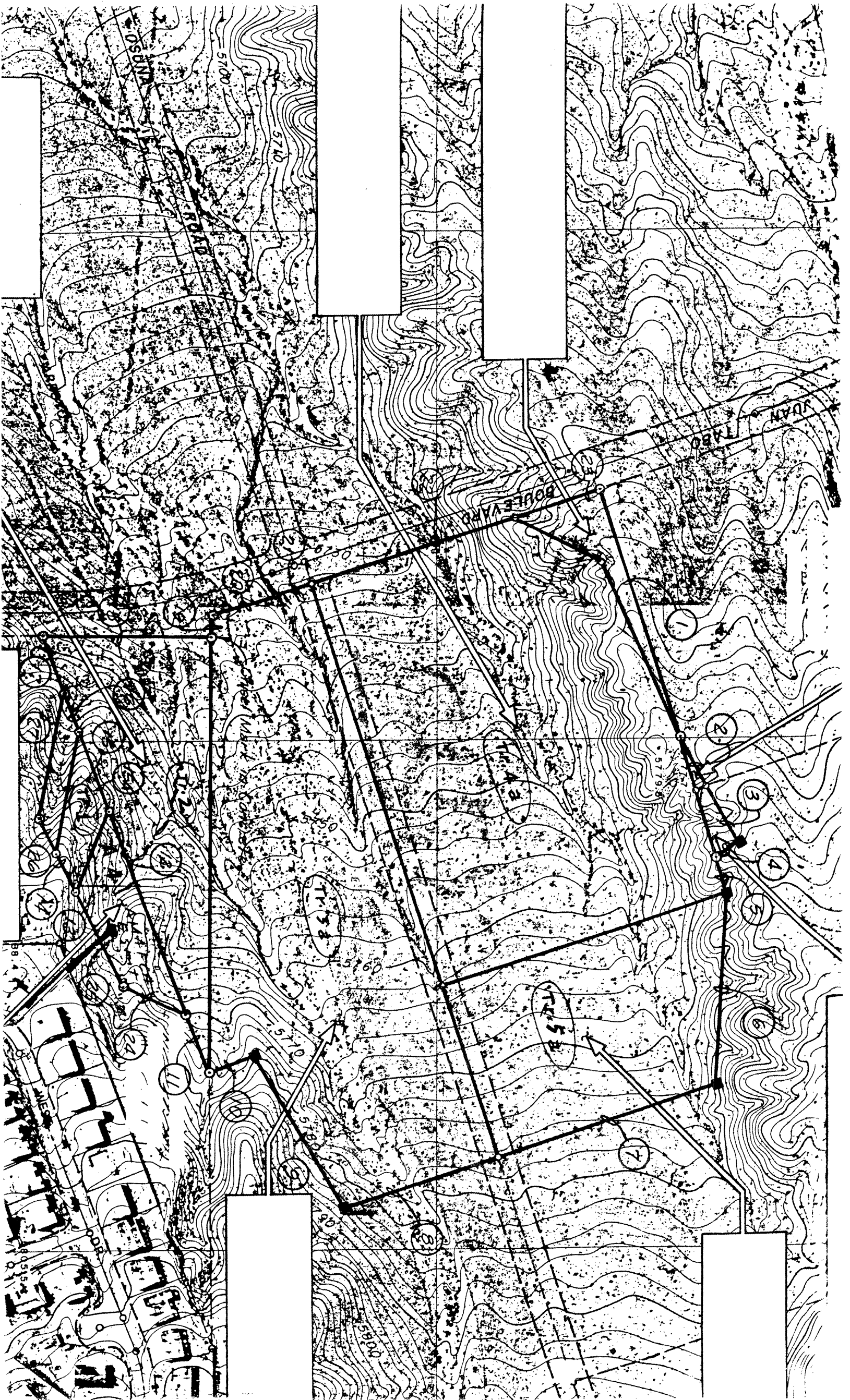
408.02'

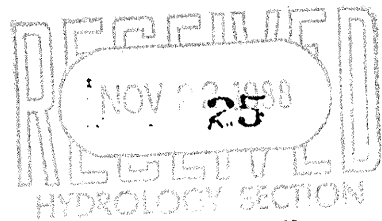
583.02'

125.00'

The Summary Plat as shown hereon is with the free consent and in accordance with the provisions of the laws of the State of New Mexico.

STATE OF NEW MEXICO





The ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY,

in consideration of Ten Dollars (\$10.00) and other valuable consideration in hand paid, receipt whereof is hereby acknowledged, hereby grants and conveys to the CITY OF ALBUQUERQUE, its successors and assigns, solely and exclusively for public parks and recreational purposes, the following described real estate:

TRACT 1

A certain parcel or tract of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the southwesterly corner of the tract herein described, whence a 1½" iron pipe in concrete set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. (x = 420,734.73 and y = 1,504,236.13) on the south boundary of the Elena Gallegos Grant, said pipe being the southwesterly corner of the New Holiday Park Subdivision Parts 7 and 8, bears S 25 deg. 22' 41" W a distance of 1131.38 feet; thence, from said point of beginning N 80 deg. 50' 17" W a distance of 245.41 feet; thence N 69 deg. 18' 45" E a distance of 162.00 feet; thence S 69 deg. 29' 12" E a distance of 173.39 feet; thence S 63 deg. 37' 09" W a distance of 80.00 feet to the point of beginning which has coordinates x = 421,219.45 and y = 1,505,257.96 and contains 14946.15 square feet (0.3431 acres) more or less.

TRACT 3-A

A certain tract or parcel of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico, and being more particularly described as follows:

Beginning at the Southwesterly corner of the tract herein described, whence a 1½" iron pipe in concrete, set for the closing corner of sections 33 and 34, T11N, R4E, N.M.P.M. on the South boundary of the Elena Gallegos Grant, said pipe being the Southwesterly corner of the New Holiday Park Subdivision, Parts 7 and 8, bears S 0 deg. 39' 59" W, 1320.19' distant; said point being a point on the Easterly right of way line of Juan Tabo Boulevard, N.E.;

thence, from said point of beginning running along said right of way line around a curve to the left with:
 $\Delta = 5 \text{ deg. } 22' 14''$, R = 1398.00', T = 65.57', L = 131.04'
 (Chord N 14 deg. 57' 56" W, 130.99') to a point;

thence, continuing along said right of way line N 17 deg. 37' 40" W, 68.05' to a point;

thence, leaving said right of way line N 72 deg. 16' 08" E, 1181.10' to a point;

thence, S 18 deg. 20' 24" E, 305.59' to a point;

thence, S 59 deg. 18' 45" W, 345.00' to a point;

thence, S 20 deg. 41' 15" E, 95.00' to a point;

thence, N 89 deg. 45' 08" W, 903.59' to the point and place of beginning; containing 402,952.6 sq. ft., more or less (9.250 acres, more or less).

977-3

TRACT 4-A

A certain tract or parcel of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the Southwesterly corner of the tract herein described, whence a 1½" iron pipe in concrete, set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. on the South boundary of the Elena Gallegos Grant, said pipe being the Southwesterly corner of the New Holiday Park Subdivision, Parts 7 & 8, bears S 1 deg. 23' 51" E, 1512.01' distant; said point being a point on the Easterly right of way line of Juan Tabo Boulevard, NE; thence from said point of beginning running along said right of way line N 17 deg. 37' 40" W, 602.49' to a point; thence, leaving said right of way line N 72 deg. 30' 50" E, 828.54' to a point; thence, S 17 deg. 32' 14" E, 598.95' to a point; thence, S 72 deg. 16' 08" W, 827.59' to a the point and place of beginning; containing 497,429.5 square ft., more or less (11.419 acres, more or less).

TRACT 5-A

A certain tract or parcel of land lying and being situate within the Elena Gallegos Grant, City of Albuquerque, Bernalillo County, New Mexico and being more particularly described as follows:

Beginning at the Southwesterly corner of the tract herein described, whence a 1½" iron pipe in concrete, set for the closing corner of Sections 33 and 34, T11N, R4E, N.M.P.M. on the South boundary of the Elena Gallegos Grant, said pipe being the Southwesterly corner of the New Holiday Park Subdivision, Parts 7 & 8, bears S 23 deg. 01' 01" E, 1916.09' distant; thence from said point of beginning N 17 deg. 32' 14" W, 598.95' to a point; thence S 86 deg. 02' 14" E, 373.00' to a point; thence S 18 deg. 20' 24" E, 461.10' to a point; thence S 72 deg. 16' 08" W, 353.51' to the point and place of beginning; containing 185,428.1 sq. ft., more or less (4.257 acres, more or less).

RESERVING, HOWEVER, UNTO THE GRANTOR AND ITS SUCCESSORS AND ASSIGNS,

(A) the permanent right and easement to construct, operate, repair, reconstruct and maintain flood control facilities thereupon and

(B) the permanent right and easement to overflow, flood and cover said real estate with flood waters impounded by the

construction and operation of said flood control facilities up to, but not above 5771 feet above mean sea level, and

(C) the permanent right and easement to prohibit and prevent the Grantee, and its successors and assigns, from diminishing the water storage capacity, (through the importation and placement of earth, dirt, spoil or other materials or otherwise), thereof, and

(D) the permanent right and easement to prohibit and prevent the Grantee, and its successors and assigns, from altering the inlet works, outlet works, and other flood control facilities constructed and operated by the Grantor, and its successors and assigns thereupon,

so that said real estate, as it is modified by the flood control facilities now and hereafter placed thereon by the Grantor, may fulfill the flood control functions planned and provided for by Sheets Numbered 1-14 of the construction plans and drawings entitled Juan Tabo Detention Dam on Bear Canyon Arroyo dated 2/3/76, prepared for Grantor by Scanlon and Associates, a copy of which is on file in the office of and maintained as a part of the permanent official records of the Grantor, and which copy is incorporated herein by reference the same as if fully set forth herein.

It is the intent of this instrument that the Grantor, and not the Grantee, shall have the obligation of operating and maintaining the flood control facilities described herein.

With special warranty covenants.

WITNESS its hand and seal this 24th day of February, 1977.

(seal) B. H. Swinburne (seal)
Chairman, AMAFCA Board of Directors

Francis M. McCoy (seal)
Secretary-Treasurer, AMAFCA Board
(Seal of the Metropolitan Arroyo Flood Control Authority, Bernalillo County, New Mexico)

ACKNOWLEDGMENT FOR CORPORATION

State of NEW MEXICO)
County of Bernalillo) SS.

The foregoing instrument was acknowledged before me this 24th day of February, 1977, by B. H. Swinburne,
(Name of Officer)

Chairman of Albuquerque Metropolitan Arroyo Flood Control
(Title of Officer) (Name of Corporation Acknowledging) Authority

a New Mexico corporation on behalf of said corporation.
(State of Incorporation)

My Commission Expires:
1980
(Seal)

Richard H. Tiler
NOTARY PUBLIC
(Seal)

State of New Mexico }
County of Bernalillo } SS
This instrument was filed for record on
14 MAR 2 1977 D
At 10 o'clock a. m. Recorded in Vol. 26-A
of records of said County Folio 25-28
Emma C. Angales Clerk & Recorder
Deputy Clerk

file 88305.02

COLE & MYERS, P.C.
ATTORNEYS AT LAW
6400 UPTOWN BOULEVARD, N.E.
SUITE 300-WEST
ALBUQUERQUE, NEW MEXICO 87110

GERALD R. COLE
JOHN A. MYERS

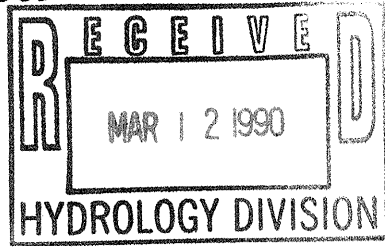
TELEPHONE
(505) 889-4040

KEVIN J. MCCREADY
DAVID S. CAMPBELL

November 21, 1989

FACSIMILE
(505) 889-4025

Mr. Bob Wolfe
Wolfe Co., Inc.
2730-H San Pedro, N.E.
Albuquerque, New Mexico 87110



RE: VISTA DEL SANDIA DEVELOPMENT/JOHN ROBERT DAM

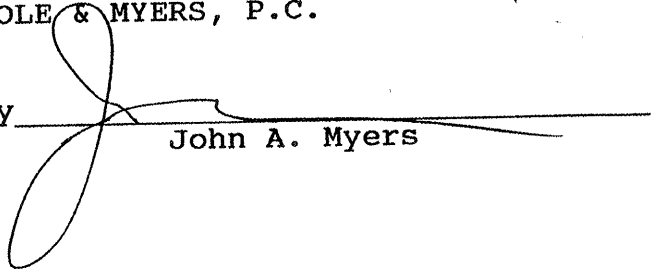
Dear Mr. Wolfe:

Enclosed please find a copy of the fully executed Slope Easement Agreement between the Wolfe Company, Inc. and the City of Albuquerque.

If you have any questions, please feel free to contact us.

Sincerely,

COLE & MYERS, P.C.

By  John A. Myers

JAM:ldc
Enclosure

SLOPE EASEMENT AGREEMENT

RE: Vista del Sandia Development by Bob Wolfe at the John B. Robert Dam


The purpose of this letter is to summarize the discussion of the meeting of January 25, 1989, with Bob Wolfe regarding the referenced development and the preliminary plat that was approved by DRB. The points of discussion and their resolution were as follows:

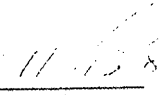
1. The pedestrian access pathway may be relocated to utilize the easternmost private drive through the development. The plat should identify the pedestrian access use upon this easement. The required retaining wall along the northerly boundary of the project may be terminated at the pedestrian access pathway. The grading plan should provide a shelf for the pathway adjacent to the existing waterline alignment.
2. Access control for the pathway will be provided by Bob Wolfe during construction of the garden wall along the northerly boundary of the project, and will consist of a U-shaped wall penetrated by the garden wall to provide a maze that will restrict access to pedestrian only. Clearance from the garden wall to the U-shaped wall should be 2' all around, and the garden wall should penetrate the U by approximately 6". Access control for the existing concrete rundown will be provided by the City in order to discourage motorcyclists and skateboarders from using the rundown.
3. The 4' high retaining wall, as required in your letter dated December 12, 1988, should be constructed with its outer face (north side) on the property line. The slope encroachment easement approval will include allowance for the footing of the retaining wall to encroach on City property as well. Fill material for the slope construction may be obtained from within the basin in accordance with the requirements of Cliff Anderson at AMAFCA.
4. An escrow account to be established by the Wolfe Company, Inc. in the amount of \$2,000 will be provided to substitute for a surety bond that would be used only to repair or replace the rock plating and revegetation on the slope within the City's open space area. Interest from the account will remain the property of the Wolfe Company, Inc., to be withdrawn or used as he sees fit. Wolfe Company, Inc. and the City shall enter into an escrow agreement in a form acceptable to the City Attorneys Office. Watering of the slope vegetation during the first summer may be provided by the Wolfe Company, Inc. as needed.

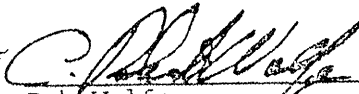
This agreement accurately summarizes the discussion and commitments made by Rex Funk on behalf of the City of Albuquerque and by Mr. Wolfe as property owner. Please indicate approval of these points of discussion by signing the spaces provided below.

APPROVED:

APPROVED:


Rex Funk, Director
Office of Open Space
City of Albuquerque


Date


Bob Wolfe
Wolfe Company, Inc


Date

R. WARD HUNNICUTT, CHAIRMAN
PAT D. HIGDON, VICE-CHAIRMAN
RÉX FUNK, SECRETARY-TREASURER
DANIEL W. COOK, DIRECTOR
RONALD D. BROWN, DIRECTOR

LARRY A. BLAIR
EXECUTIVE ENGINEER

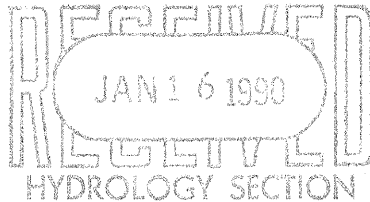


Albuquerque
Metropolitan
Arroyo
Flood
Control
Authority

2600 PROSPECT N.E. - ALBUQUERQUE, N.M. 87107
TELEPHONE (505) 884-2215

file 88305-02
RECEIVED SHI NOV 16 1989

November 14, 1989



Mr. C. Robert Wolfe
Wolfe Company, Inc.
2730-H San Pedro NE
Albuquerque, NM 87110

Dear Mr. Wolfe:

My apologies for the very tardy response. Although we have discussed some of our concerns, I will reiterate them, and also give you our comments.

Over the years, removal of sediment and the lack of significant inflow have changed the reservoir topography. As a result, the reservoir bottom appears to be relatively stable. Consequently, we are concerned that additional excavation may destabilize the bottom, and generate headcutting or other actions which might jeopardize the waterline and the drainage structures, or at the minimum, create increased maintenance.

I would much prefer that the needed fill be imported.

If however, importing fill is not acceptable, we would like to see the following comments addressed before we approve the Grading Plan:

1. A minimum slope of 0.005 is required for positive drainage of the basin to the Principal Spillway Inlet (your May 18, 1989 letter commits to 0.01). Excavation is shown below the 5730 contour, and the Inlet elevation is 5729. Control must be established so that the slope from the Inlet to the east edge of the basin area is at least 0.005.
2. Excavation should not create conditions which will induce or aggravate headcutting/erosion which might affect the northern tributary arroyo ("Broke Off Arroyo"), or the integrity of the storm sewer outlet in the northeast quadrant of the basin. These facilities should be identified in the Grading Plan and a note added that grading in these areas will be done at the

November 14, 1989

Page 2

direction of the engineer. We will expect your engineer to establish grading guidelines in these areas which will preclude damage.

3. There are no proposed grades shown for the secondary grading area, so we cannot approve it as presently depicted. Should it become necessary to use it, we will require a grading plan for approval, prior to its excavation. Accordingly, add a note to the Grading Plan which makes it clear to the contractor that this area cannot be used without prior Engineer/AMAFCA approval. Alternatively, delete it from the Grading Plan.
4. A haul road should be designated, or the contractor required to limit haul operations to well-defined limits.
5. While "replacement of topsoil containing vegetative material including native grasses" should be satisfactory on the flat slopes, I would like to see the steeper slopes (especially the 12% slopes) reseeded and mulched. This will help control erosion and leave positive impression of your operation. Reseeding specifications as used on AMAFCA's recently completed Pino Arroyo project (BHI was the Engineer) are appropriate. Note 3 should be modified accordingly.
6. Other notes/revisions which should be added/made:
 - a. City/County regulations regarding dust control must be complied with.
 - b. AMAFCA is to be notified two days prior to start of construction.
 - c. The word "above" in Note 1 should be changed to "over".
7. I presume concurrent approval will be required from City Open Space and Public Works Utility Development Divisions.

Albuquerque
Metropolitan
Arroyo
Flood
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Authority

November 14, 1989

Page 3

Please address these comments and send a revised Grading Plan for approval.

If you have any questions, please call.

Sincerely,
AMA FCA



Larry A. Blair
Executive Engineer

cc: John Myers, Attorney
Kerry Davis, BHI
Fred Aguirre, Hydrologist, City of Albuquerque, PWD
Jon Ertsgaard, City of Albuquerque, PWD, Water & Waste Water
Rex Funk, City of Albuquerque, Open Space Division

Albuquerque
Metropolitan
Arroyo
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EARTHWORK SPECIFICATIONS

Clearing and Grubbing

Prior to placing structural fill all borrow areas and areas to receive structural fill shall be stripped of vegetation and deleterious materials. Strippings shall be hauled offsite or stockpiled for subsequent use in landscaped areas or non structural fill areas as designated by the Owner or his representative and approved by the Geotechnical Engineer.

Site Preparation - Fill Areas

Prior to placing structural fill the areas to be filled shall be scarified to a depth of eight inches and moisture conditioned as described below. The area to be filled shall then be compacted to a minimum of 95 percent of maximum density as determined by ASTM D-1557. If vibratory compaction techniques pose a threat to the structural integrity of near by facilities a static compactor shall be used. Any soft or "spongy" areas shall be removed as directed by the Geotechnical Engineer and replaced with structural fill as described herein.

Site Preparation - Cut areas

Following excavation to rough grade all building and pavement areas shall be scarified to a depth of eight inches and moisture conditioned as described below. All building and paved areas shall be compacted to a minimum of 95 percent of maximum density as determined by ASTM D-1557. If vibratory compaction techniques pose a threat to the structural integrity of near by facilities a static compactor shall be used. Any soft or "spongy" areas shall be removed as directed by the Geotechnical Engineer and replaced with structural fill as described herein.

Fill Material

Fill material shall be non expansive soil which may be gravel, sand, silt or clay or a combination thereof. Fill material shall exhibit a plasticity index of twenty or less. No organic or decomposable material shall be utilized. Material larger than six inches shall not be placed in the fill without prior approval of the Owner or his representative and the Geotechnical Engineer. All fill material shall be approved by the Geotechnical Engineer.

Fill Placement

Fill material shall be blended as necessary to produce a homogeneous material. Fill material shall be spread in horizontal lifts no greater than eight inches in uncompacted thickness but in no case thicker than can be properly compacted with the equipment to be utilized. If fill is to be placed on slopes steeper than 5:1 (horizontal:vertical) the natural ground shall be benched with minimum three foot wide benches at maximum two foot vertical intervals.

Moisture Conditioning

Fill material shall be dried or moistened as necessary, prior to compacting, to within + three percent of optimum moisture content as determined by ASTM D-1557. Moisture shall be distributed uniformly throughout each lift.

Compaction

Structural fill shall be mechanically compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.

Compaction by flooding and jetting is specifically prohibited unless authorized in advance by the Owner or his representative and the Geotechnical Engineer.

Observation and Testing

The Geotechnical Engineer or his representative shall perform field density tests with a frequency and at the locations he feels appropriate. The Geotechnical Engineer or his representative will perform Proctor tests on representative samples of all fill material. To minimize delays the Earthwork Contractor is encouraged to submit soil samples prior to use for Proctor testing.

Seeding (NIGHD Specification 212 as Modified)
The seed mix and rates of seeding shall be as follows:

Species	Origin	Lbs Pure Live Seed per Acre
Annual Ryegrass	Any	2
Blue Grama	Alchitta or Lovington	4
Indian Ricegrass	Palome	4
Alkali Sacaton	New Mexico Region	0.5
Sideoats Grama	Utah or Blumer	4
Sand Dropseed	New Mexico Region	1
Total		12.5

- Notes:
- 25% of the seed mix for use in gravel mulch areas shall contain in addition to the above, 1 lb. per acre four-wing saltbush, New Mexico Region, with seeding location to be selected by the governing Authority in the field.
 - Fertilizer is not required.
 - Seeding shall be performed between the dates of May 1 through June 15, or as otherwise authorized by the governing Authority. Seeding shall not be performed during periods of inclement weather caused by rain, wind velocities of 15 mph or higher, or sub-freezing temperatures.

Sieve	% Passing	No.
1"	0-20	100
1/2"	0-10	
No. 4		

- Notes:
- Stone shall be sound and durable and of such characteristics that it will not disintegrate when subjected to the action of water. Loss by abrasion shall not exceed 5%.
 - Stone shall be of shapes which will form a stable protection layer over the surface of the embankment. Stones and gravel smaller than 1" in every dimension may be of any shape, rounded cobbles and boulders larger than 1" may be used if approved by the governing Authority.
 - Alternate gradation or material may be used with permission of the governing Authority.
 - Contractor may reuse gravel mulch and vegetation mixture scraped from the site prior to fill operation. Supplemental gravel mulch shall be added as required.
 - The bed for the mulch shall be shaped and trimmed to provide an even surface. The embankment shall be constructed to the lines and grades shown on the plan prior to placement of the stone or gravel.
 - The contractor may use any approved means of placing the gravel or rock in order to obtain 100% ground cover over the entire embankment. The earth embankment shall be completely covered by a layer of gravel or stone (to a minimum thickness of 3/8") to obtain 100% ground cover.
 - Compaction of the stone or gravel mulch will not be required.

Hay Mulch

- Notes:
- All seeded areas shall be mulched. Mulch type and quantity shall be one of the following:
 - a. Small grain straw (Rye, barley, wheat, or Oats) 2-1/2 tons/acre
 - b. Grass hay (irrigated) 2 tons/acre
 - c. Native grass Hay/prairie hay 2 tons/acre

Mulch material shall consist of stems and leaves which are predominantly 8" or more in length. Mulch quantity and quality must be verified by the owner's inspector prior to application. Mulch shall be spread uniformly over the area either by hand or with a mechanical mulch spreader. When spread by hand, the piles of mulch shall be wind velocity exceeds 15 miles per hour. Mulch shall be crimped or anchored by means of a crimper disk or "collar type" machine with a spacing of no more than 8" between disks. The disks shall be sufficient diameter to prevent the frame of the equipment from dragging the mulch. Mulch anchoring shall be to a minimum depth of 2 inches and shall not be covered with excessive amounts of soil. Anchoring operations shall be across the slope where practical with no more than two passes of the anchoring equipment. Crimp alignment shall be generally in a N-S direction or 90° to the direction of prevailing winds. If shape, contour, or other physical limitation prevents use of the crimp alignment specified above, crimping shall be either cross-matched or done in interlocking serpentine or "S" curves to that crimp lines are not aligned with prevailing winds. When slopes prevent the use of crimping machines, hand crimping shall be employed. Soil retention blankets may be utilized in place of crimping for hand crimping areas.

No tackifiers or chemical stabilant may be used in lieu of the mulching methods specified above. No hydromulching will be allowed.

DRAINAGE MANAGEMENT PLAN

Project Location and Description

The site is located east of Juan Tabo Boulevard approximately two blocks north of Manitoba Street, adjacent to the flood control reservoir created by the John B. Robert Dam. The site consists of approximately 0.29 acres total, which is to be divided into four lots of approximately 0.07 acres each. The current zoning is R-2, but the site will be developed for single family detached homes.

Existing soils on the site are classified as those within the Embudo Tijeras Complex by the SCS' Soil Survey of Bernalillo County, which are suitable for community development, with medium runoff and moderate erosion potential. The soils are hydrologically classified as type B soils. The sparse vegetation on the site consists primarily of native grasses.

The northerly boundary of the site falls steeply away into the reservoir at slopes varying from approximately 10:1 to almost 2:1. The southerly boundary of the site is formed by Paseo del Oso Drive, which slopes from east to west at approximately 4%. An existing concrete runoff conveys collected runoff from Paseo del Oso to the reservoir along the westerly boundary of the site. The slope on the existing rundown is approximately 2:1.

Storm Drainage Management

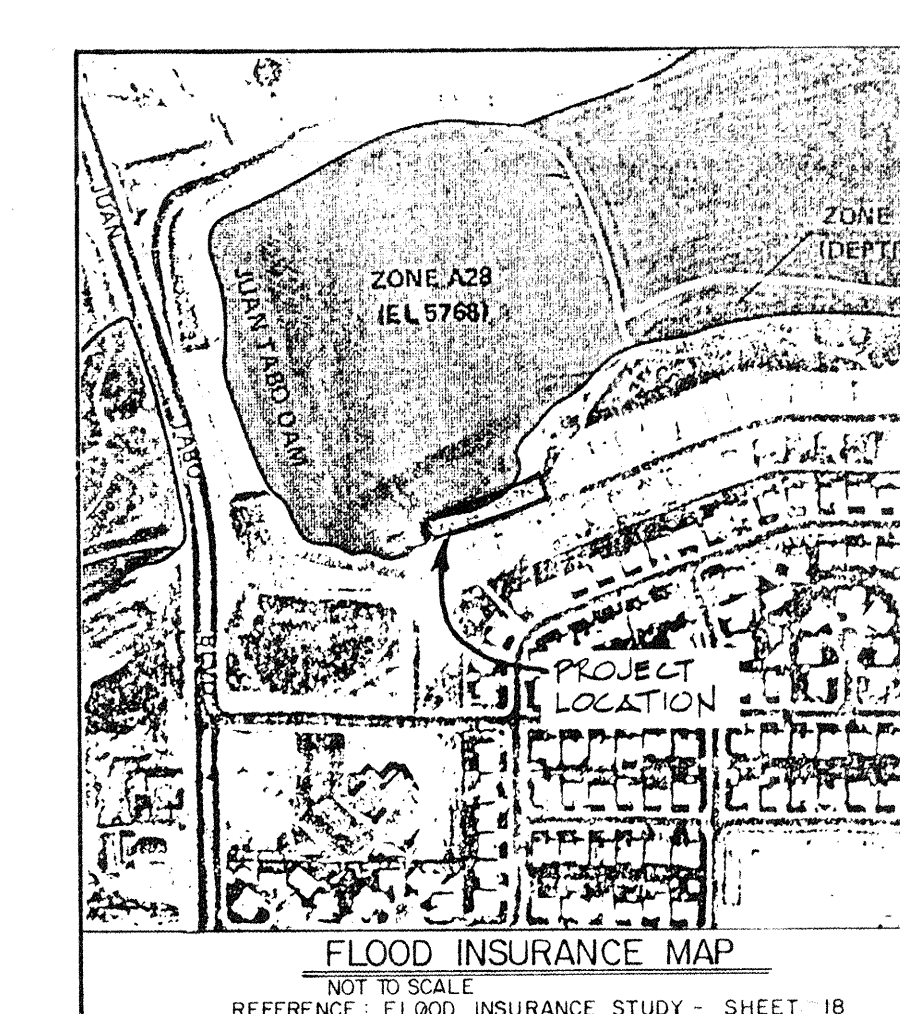
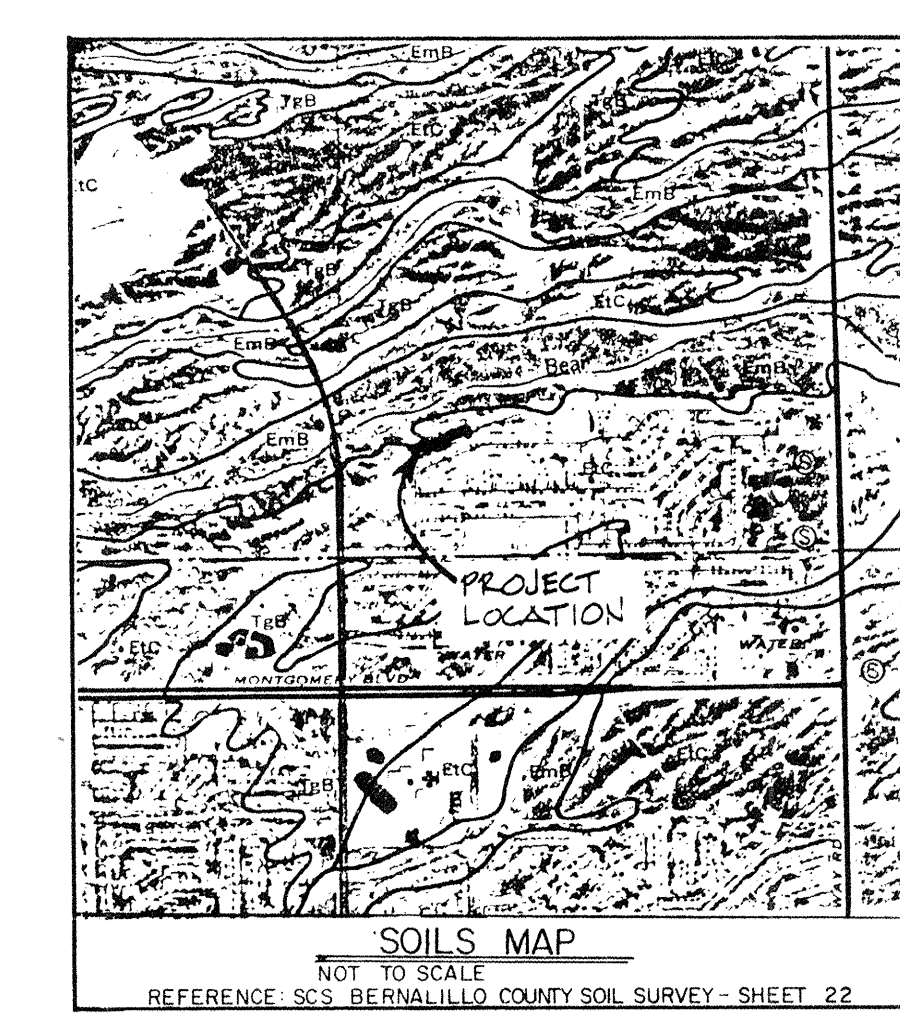
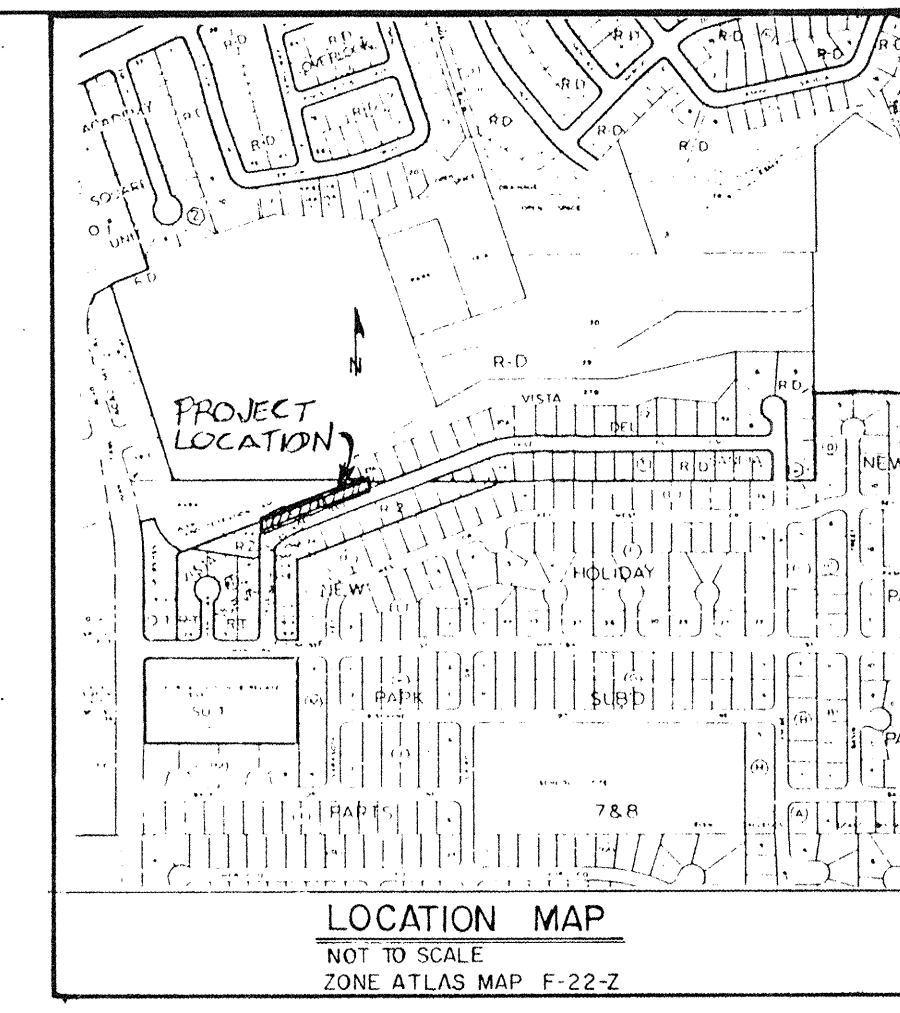
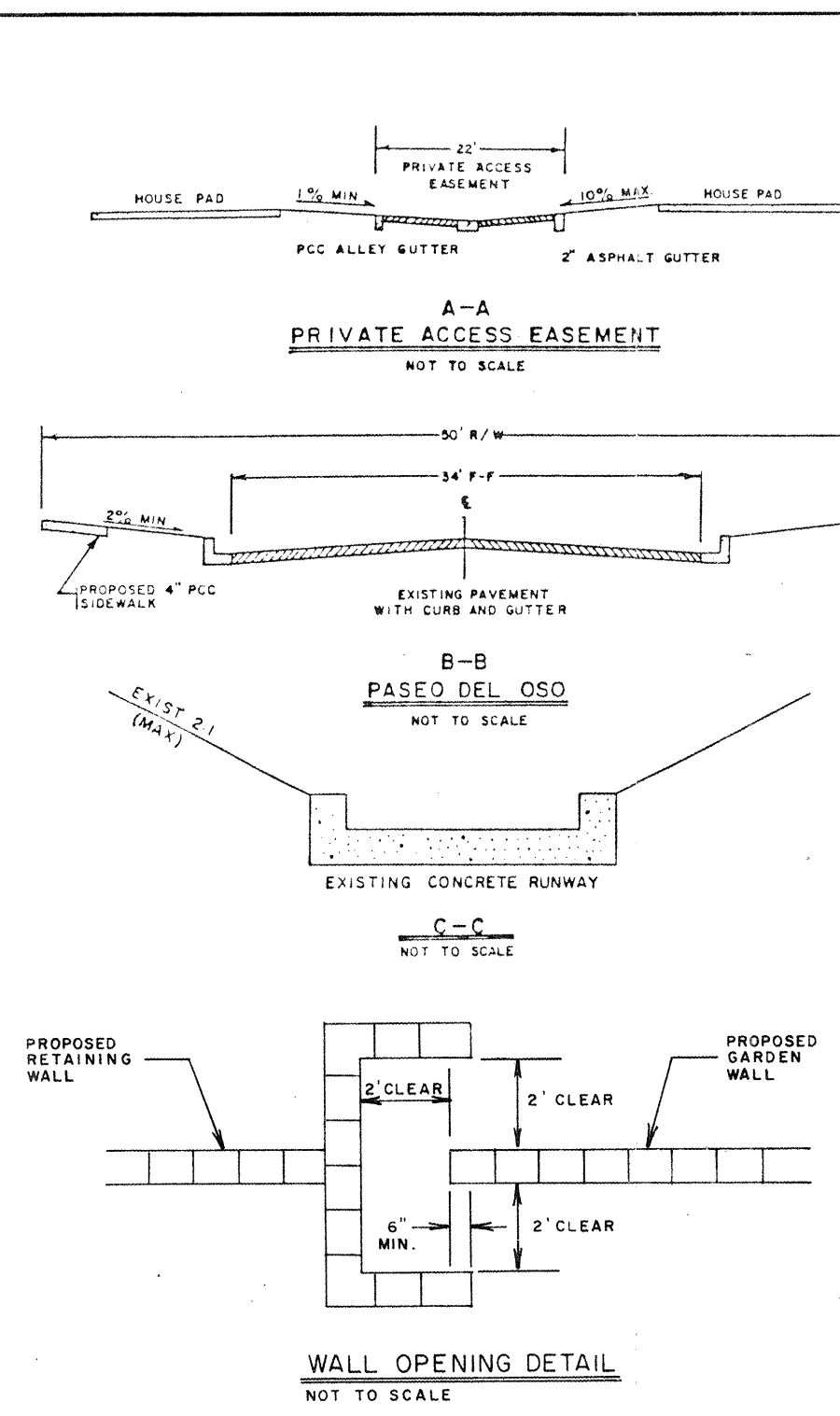
The project has been designed to discharge all developed runoff to the south toward Paseo del Oso, where this runoff will be conveyed west to the existing rundown and north into the reservoir. Retaining walls will be provided as identified on this plan to allow grading to the elevations specified and to produce the drainage patterns identified. Prior to rough grading, the borrow site within the basin shall be thoroughly coordinated with AMAPCA and the City of Albuquerque for approval.

Borrow material required to fill the lots up to the design grade and complete the slope north of the lots must be obtained from within the reservoir in order to maintain the current volume of detention capacity. Slopes north of the proposed lots will not exceed 2:1, which is a currently utilized maximum slope within the basin. All lots have been designed with a finished floor elevation above 5771, which is the maximum possible water surface elevation within the basin.

Erosion Protection

All slopes within the basin shall be reseeded after construction as specified below in the paragraph entitled "Seeding", and treated with gravel mulch as specified. Temporary erosion protection during construction shall consist of the following measures:

- Water for dust abatement shall be available at the site 24 hours per day, seven days per week to be applied as needed.
- A temporary erosion control berm as identified in the section provided shall be placed at the downstream edge of the area to be disturbed during earthmoving operations. This berm may be obliterated upon completion of the earthwork immediately prior to placement of the gravel mulch and seeding.



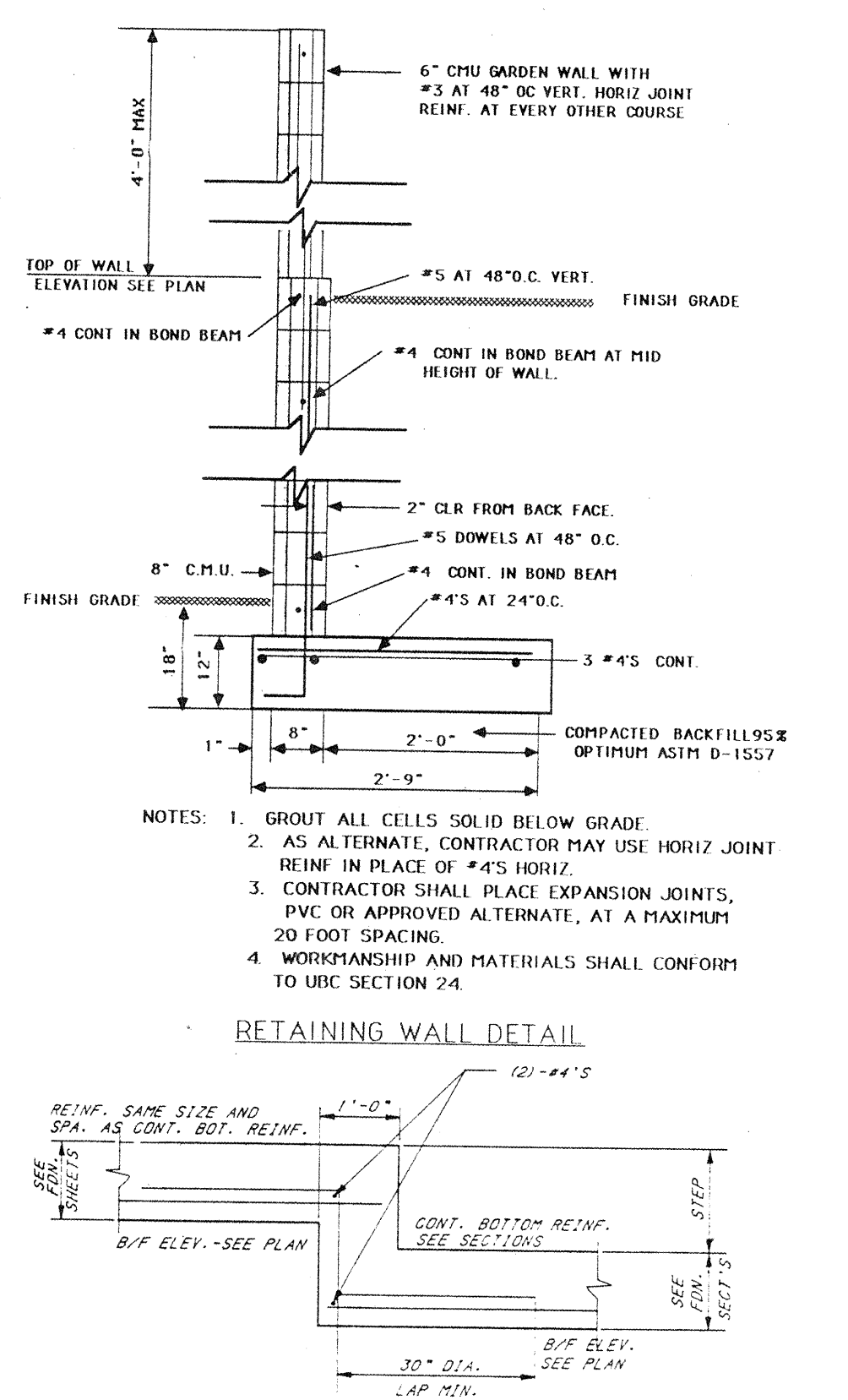
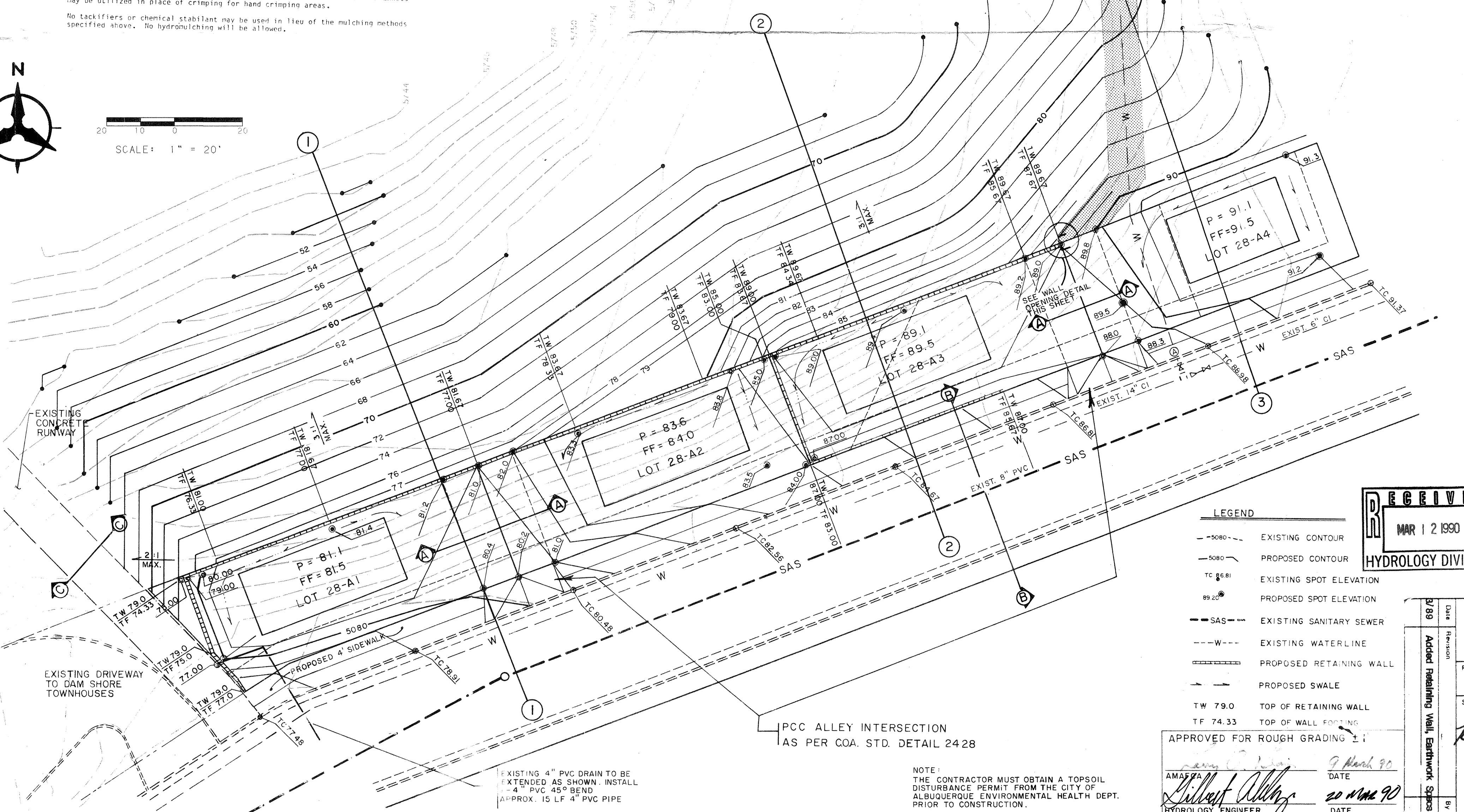
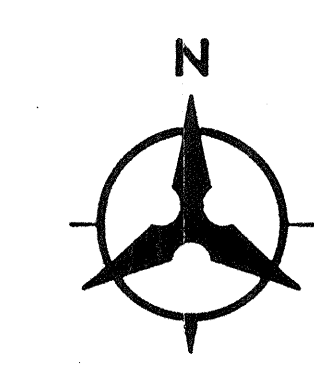
BENCHMARKS

"JT 1A" ACS BRASS TABLE LOCATED AT JUAN TABO BLVD AND MONTGOMERY BLVD. ELEV.=5721.248

TBM "MARY" ACS BRASS TABLE LOCATED APPROXIMATELY 430' NW OF THE ANGLE POINT OF PASEO DEL OSO DRIVE (NO PUBLISHED ELEV.) ELEV.=5778.76

LEGAL DESCRIPTION

LOT 28-A, BLOCK 2 (NOW COMPRISING LOTS 28-A1 THRU 28-A4, BLOCK 2) VISTA DEL SANDIA, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.



RECEIVED
MAR 12 1990
HYDROLOGY DIVISION

LEGEND

- 5080- EXISTING CONTOUR
- 5080- PROPOSED CONTOUR
- TC (6.8) EXISTING SPOT ELEVATION
- 89.20 PROPOSED SPOT ELEVATION
- SAS- EXISTING SANITARY SEWER
- W- EXISTING WATERLINE
- - - - PROPOSED RETAINING WALL
- - - - PROPOSED SWALE
- TW 79.0 TOP OF RETAINING WALL
- TF 74.33 TOP OF WALL FINISH

APPROVED FOR ROUGH GRADING 1

AMAPCA
Hydrology Engineer

DATE: 20 MAR 90

VISTA DEL SANDIA

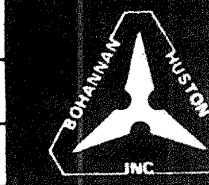
Project No: 883050
Job No: 883050
Drawn By: G.C.
Checked By: K.D.

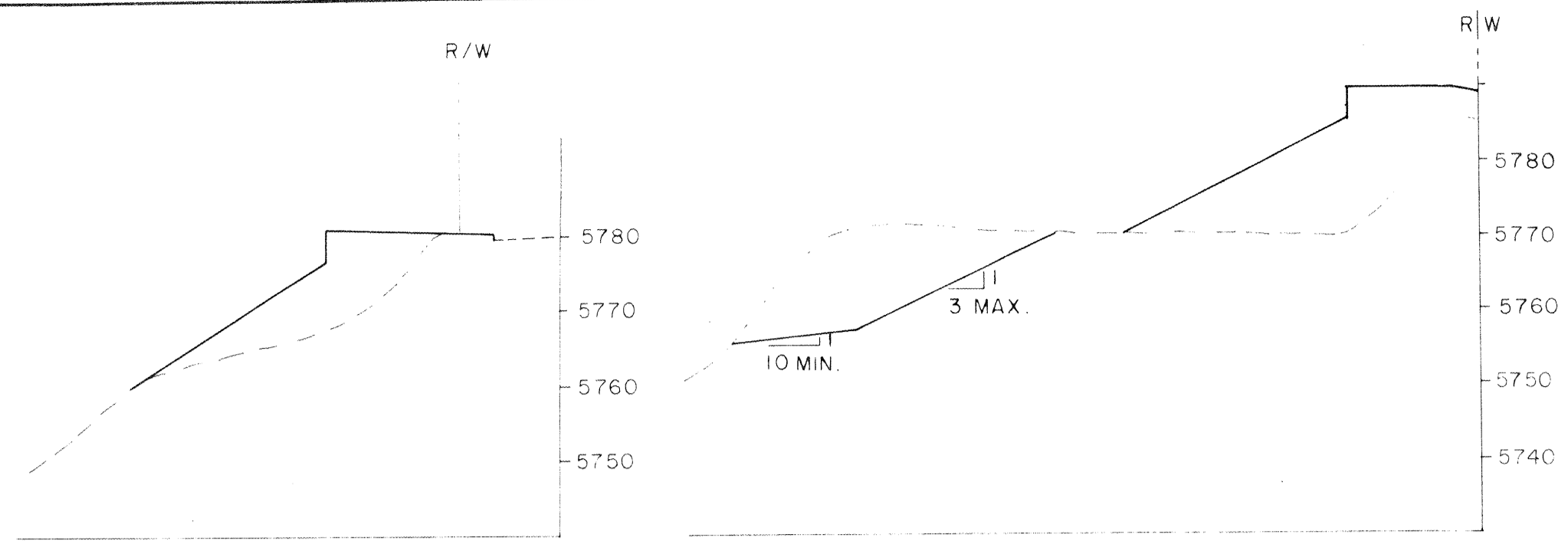
Sheet: 1 of 1
Date: 11-22-88
3-23-89
1-15-90

Scale: 1" = 20'

CONCEPTUAL GRADING AND DRAINAGE PLAN

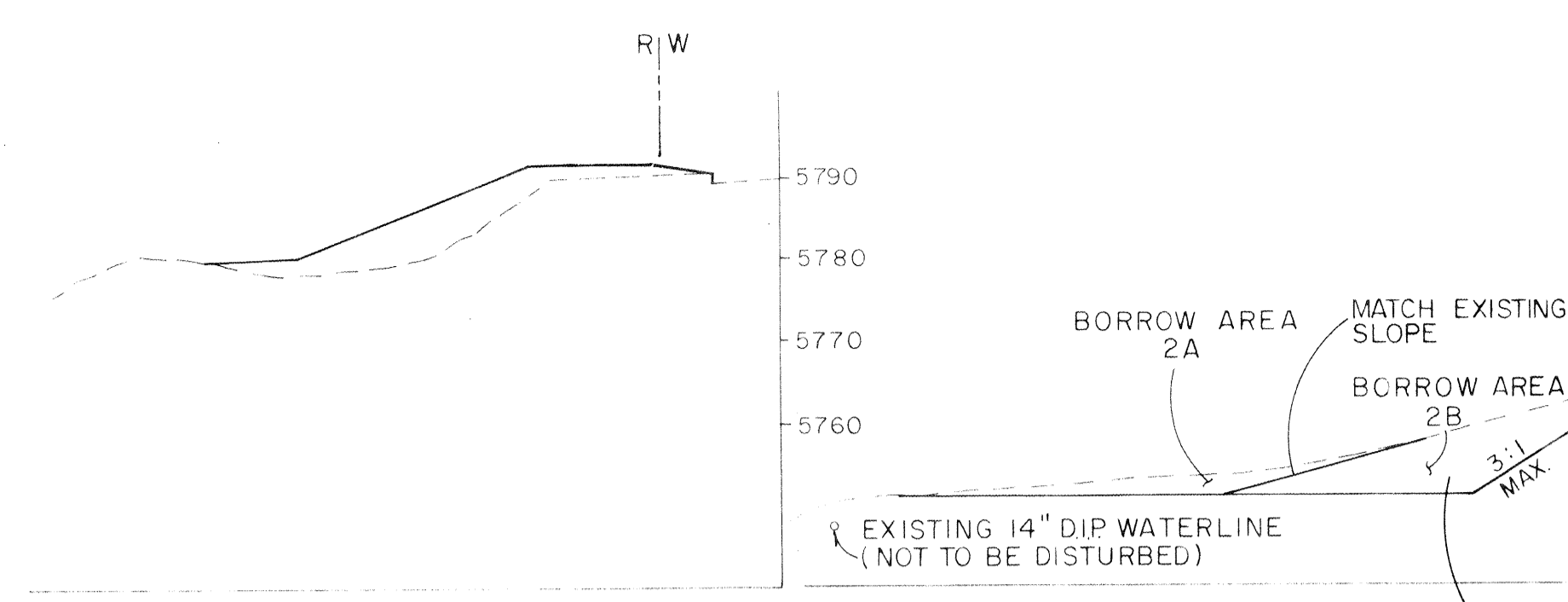
NOTE: THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPT. PRIOR TO CONSTRUCTION.





TYPICAL SECTION 1
(NO BORROW)

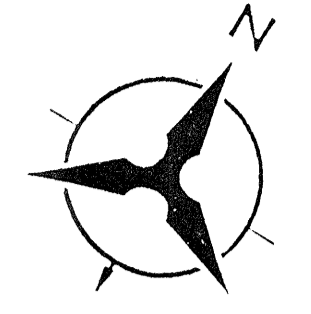
TYPICAL SECTION 2
(PRIMARY BORROW AREA)



TYPICAL SECTION 3
(NO BORROW)

TYPICAL SECTION 4
(SECONDARY BORROW AREA)

TO BE UTILIZED ONLY IF BORROW AREA 2A FAILS TO YIELD ADEQUATE MATERIAL TO COMPLETE REQUIRED FILLS



SCALE: 1" = 100'

GENERAL NOTES

1. THE CONTRACTOR IS TO FIELD LOCATE THE EXISTING WATERLINE PRIOR TO CONSTRUCTION, AND IS TO TAKE ADDED PRECAUTION WHEN OPERATING MACHINERY IN THIS AREA TO INSURE THAT THE OPERATION OF THE WATERLINE IS NOT DISRUPTED. IN ADDITION, THE EXISTING RECORD OVER THE EXISTING WATERLINE IS TO BE FIELD VERIFIED AS SPECIFICALLY APPROVED BY THE CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT, UTILITY OPERATIONS DIVISION.

2. THE CONTRACTOR IS TO CONDUCT GRADING OF AREAS ADJACENT TO EXISTING STORM SEWER COLLECT AND AREAS AS A RESULT OF BORROW OFF APPROVAL IF REQUIRED UNDER THE DIRECTION OF THE ENGINEER.

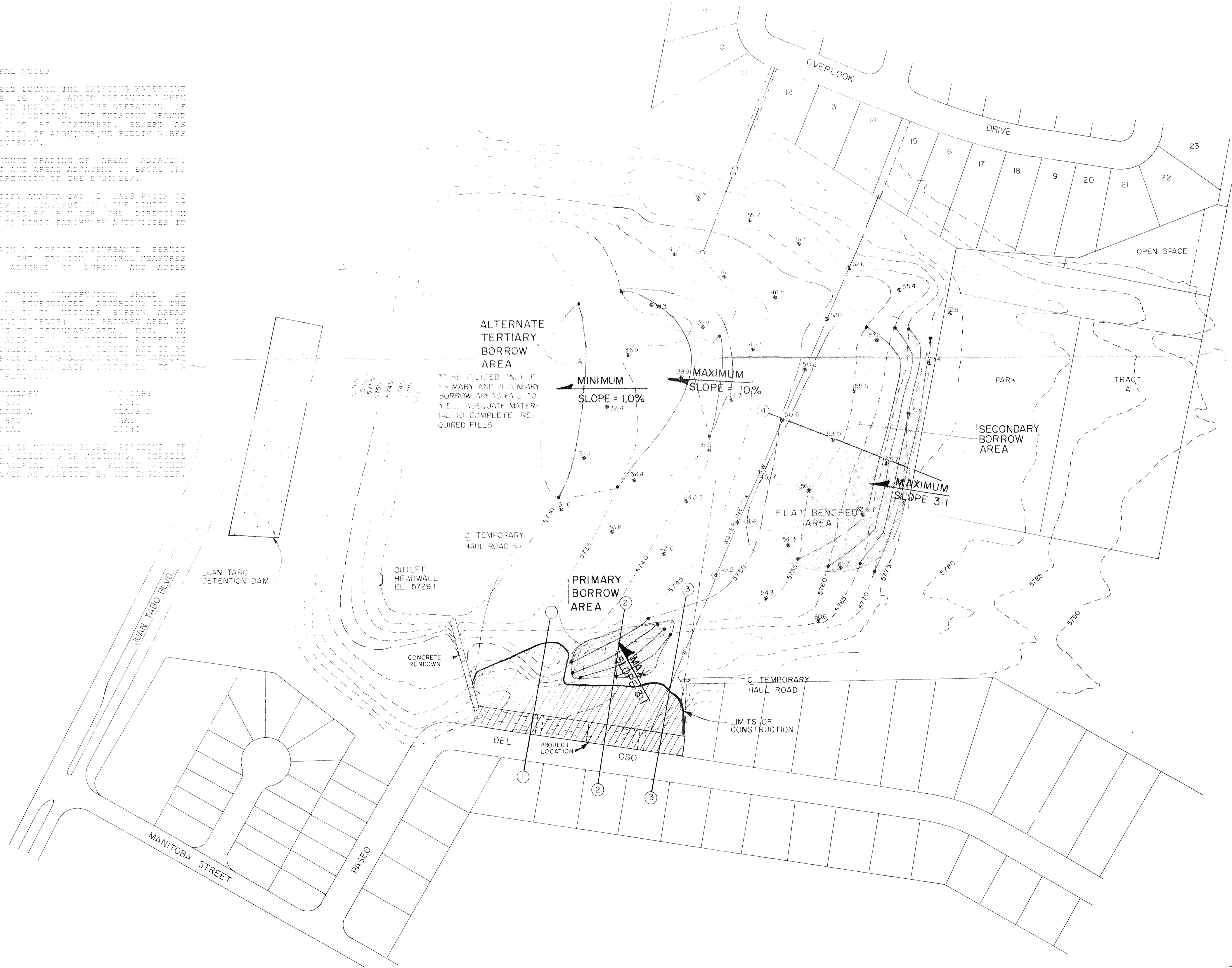
3. THE CONTRACTOR IS TO NOTIFY AGENCIES TWO (2) DAYS PRIOR TO THE START OF CONSTRUCTION. PRIOR TO CONSTRUCTION, THE LIMITS OF THE BORROW AREAS SHALL BE ESTABLISHED BY FIELD VERIFICATION OF ADEQUATE MATERIAL TO COMPLETE RE-REQUIRED FILLS. THE CONTRACTOR SHALL LIMIT EARLY WORK ACTIVITIES TO DEFINED AREAS.

4. THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING EARTHWORK. THE DESIGN CONTROL MEASURES CONTAINED BY THAT PERMIT MUST BE ADHERED TO DURING AND AFTER EARTHWORK.

5. ALL LOCAL DISTURBANCE DURING CONSTRUCTION SHALL BE LIMITED TO THE PERMITTED AREAS AND SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT AREAS AT ALL TIMES.

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AS-BUILT INFORMATION	
CONTRACTOR	
DATE	
INSPECTOR'S SIGNATURE	
DATE	
INSPECTOR'S SIGNATURE	
DATE	
INSPECTOR'S SIGNATURE	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
DATE	

BENCH MARKS	
NO.	
DATE	

SURVEY INFORMATION	
FIELD NOTES	
BY	
DATE	

ENGINEER'S SEAL
[Signature]
7-11-89
1-18-90
27-90

REVISIONS	
NO.	
DATE	
BY	
REMARKS	

APPROVED FOR ROUGH GRADING ± 1'

AMAFCA DATE
[Signature] 20 March 90
HYDROLOGY ENGINEER DATE

CITY OF ALBUQUERQUE
MAR 12 1990

TITLE: VISTA DEL SANDIA
JOHN B. ROBERTS DAM BORROW AREA GRADING PLAN

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer			Liquid Waste		
A.C.E. - Design			Traffic		
A.C.E. - Hydrology			Water		

DRAWING NO. MAP NO. SHEET OF

EARTHWORK SPECIFICATIONS

Clearing and Grubbing

Prior to placing structural fill all borrow areas and areas to receive structural fill shall be stripped of vegetation and deleterious materials. Strips shall be hauled offsite or stockpiled for subsequent use in landscaped areas or non structural fill areas as designated by the Owner or his representative and approved by the Geotechnical Engineer.

Site Preparation - Fill Areas

Prior to placing structural fill the areas to be filled shall be subjected to a depth of eight inches and moisture conditioned as described below. The area to be filled shall then be compacted to a minimum of 95 percent of maximum density as determined by ASTM D-1557. If vibratory compaction techniques pose a threat to the structural integrity of near by facilities a static compactor shall be used. Any soft or "spongy" areas shall be removed as directed by the Geotechnical Engineer and replaced with structural fill as described herein.

Site Preparation - Out areas

Following construction to rough grade all building and pavement areas shall be subjected to a depth of eight inches and moisture conditioned as described below. All building and paved areas shall be compacted to a minimum of 95 percent of maximum density as determined by ASTM D-1557. If vibratory compaction techniques pose a threat to the structural integrity of near by facilities a static compactor shall be used. Any soft or "spongy" areas shall be removed as directed by the Geotechnical Engineer and replaced with structural fill as described herein.

Fill Material

Fill material shall be non expansive soil which may be gravel, sand, silt or clay or a combination thereof. Fill material shall exhibit a plasticity index of twenty or less. No organic or decomposable material shall be utilized. Recycled larger than six inches shall not be placed in the fill without prior approval of the Owner or his representative and the Geotechnical Engineer. All fill material shall be approved by the Geotechnical Engineer.

Fill Placement

Fill material shall be blended as necessary to produce a homogeneous material. Fill material shall be spread in horizontal lifts no greater than eight inches in unconsolidated thickness but in no case thicker than can be properly compacted with the equipment to be utilized. Fill to be placed on a slope steeper than 3:1 (horizontal:vertical) the natural ground shall be banded with minimum three foot wide bands at maximum two foot vertical intervals.

Moisture Conditioning

Fill material shall be dried or moistened as necessary, prior to compacting, to within three percent of optimum moisture content as determined by ASTM D-1557. Moisture shall be distributed uniformly throughout each lift.

Compaction

Structural fill shall be mechanically compacted to a minimum of 95% of maximum density as determined by ASTM D-1557.

Compaction by flooding and jetting is specifically prohibited unless authorized in advance by the Owner or his representative and the Geotechnical Engineer.

Clearcut and Testing

The Geotechnical Engineer or his representative shall perform field density tests with a frequency and at the locations he feels appropriate. The Geotechnical Engineer or his representative will perform tests on representative samples of all fill material. To minimize delays the Earthwork Contractor is encouraged to submit soil samples prior to use for proctor testing.

Seeding (MUSTO Specification 212 as Modified)
The seed mix and rates of seeding shall be as follows:

Species	Origin	Lbs Pure Live Seed per Acre
Annual Ryegrass	Any	2
Blue Grama	Nachita or Lovington	1
Indian Ricegrass	Paloma	4
Alkali Sacaton	New Mexico Region	0.5
Sideoats Grama	Yaughn or Niner	1
Sand Dropped	New Mexico Region	1
Total		12.5

- Notes:
1. Six of the seed mix for use in gravel mulch areas shall contain in addition to the above, 1 lb. per acre four-ribbed salt-tolerant, New Mexico Region, with seeding location to be selected by the governing Authority in the field.
 2. Fertilizer is not required.
 3. Seeding shall be performed between the dates of May 1 through June 15, or as otherwise authorized by the Governing Authority. Seeding shall not be performed during periods of inclement weather caused by rain, wind velocities of 15 mph or higher, or sub-freezing temperatures.

Gravel Mulch Gradation

Screen	% Passing	100
1 1/2"	0-30	
No. 4	0-10	

- Notes:
1. Stone shall be sound and durable and of such characteristics that it will not disintegrate when subjected to the action of water. Loss by abrasion shall not exceed 5%.
 2. Stone shall be of shapes which will form a stable protection layer over the surface of the embankment. Stones and gravel smaller than 1" in every dimension may be of any shape, rounded cobble and boulders larger than 1" may be used if approved by the Governing Authority.
 3. Alternate gradation or material may be used with permission of the Governing Authority.
 4. Contractor may reuse gravel mulch and vegetation mixture scraped from the site prior to fill operation. Supplemental gravel mulch shall be added as required.
 5. The bed for the mulch shall be shaped and trimmed to provide an even surface. The embankment shall be constructed to the lines and grades shown on the plans prior to placement of the stone or gravel.
 6. The contractor may use any approved means of placing the gravel or rock in order to obtain 100% ground cover over the entire embankment. The earth embankment shall be completely covered by a layer of gravel or stone (to a minimum thickness of 3/8") to obtain 100% ground cover.
 7. Compaction of the stone or gravel mulch will not be required.

Mulch

- Notes:
1. All seeded areas shall be mulched. Mulch type and quantity shall be one of the following:
 - a. Small grain straw (Rye, barley, wheat, or oats) 2-1/2 tons/acre
 - b. Grass hay (irrigated) 2 tons/acre
 - c. Native grass Hay/prairie hay 2 tons/acre

Mulch material shall consist of stems and leaves which are predominantly 8" or more in length. Mulch quantity and quality must be verified by the owner's inspector prior to application.

2. The mulch shall be spread uniformly over the area either by hand or with a mechanical mulch spreader. When spread by hand, the piles of mulch shall be wind apart and fluffed before spreading. Mulching will not be permitted when wind velocity exceeds 15 miles per hour.
3. Mulch shall be crimped or anchored by means of a crimping disk or "coupler type" sufficient diameter to prevent the frame of the equipment from dragging the mulch. Mulch anchoring shall be to a minimum depth of 2 inches and shall not be covered with excessive amounts of soil. Anchoring operations shall be across the slope where practical with no more than two passes of the anchoring equipment. Crimp alignment shall be generally in a N-S direction or 90° to the direction of prevailing winds. If shape, contour, or other physical limitation prevents use of the crimp alignment specified above, crimping shall be either cross-matched or done in interlocking serpentine or "S" curves to that crimping machines, hand crimping shall be employed. Soil retention blankets may be utilized in place of crimping for hand crimping areas.

No tackifiers or chemical stabilant may be used in lieu of the mulching methods specified above. No hydromulching will be allowed.

DRAINAGE MANAGEMENT PLAN

Project Location and Description

The site is located east of Juan Tabo Boulevard approximately two blocks north of Manitoba Street, adjacent to the flood control reservoir created by the John B. Robert Dam. The site consists of approximately 0.29 acres total, which is to be divided into four lots of approximately 0.07 acres each. The current zoning is R-2, but the site will be developed for single family detached homes.

Existing soils on the site are classified as those within the Embudo Tijeras Complex by the SCS' Soil Survey of Bernalillo County, which are suitable for community development, with medium runoff and moderate erosion potential. The soils are hydrologically classified as type B soils. The sparse vegetation on the site consists primarily of native grasses.

The northerly boundary of the site falls steeply away into the reservoir at slopes varying from approximately 10:1 to almost 2:1. The southerly boundary of the site is formed by Paseo del Oso Drive, which slopes from east to west at approximately 4%. An existing concrete runoff conveyer collected runoff from Paseo del Oso to the reservoir along the westerly boundary of the site. The slope to the existing runoff is approximately 2:1.

Storm Drainage Management

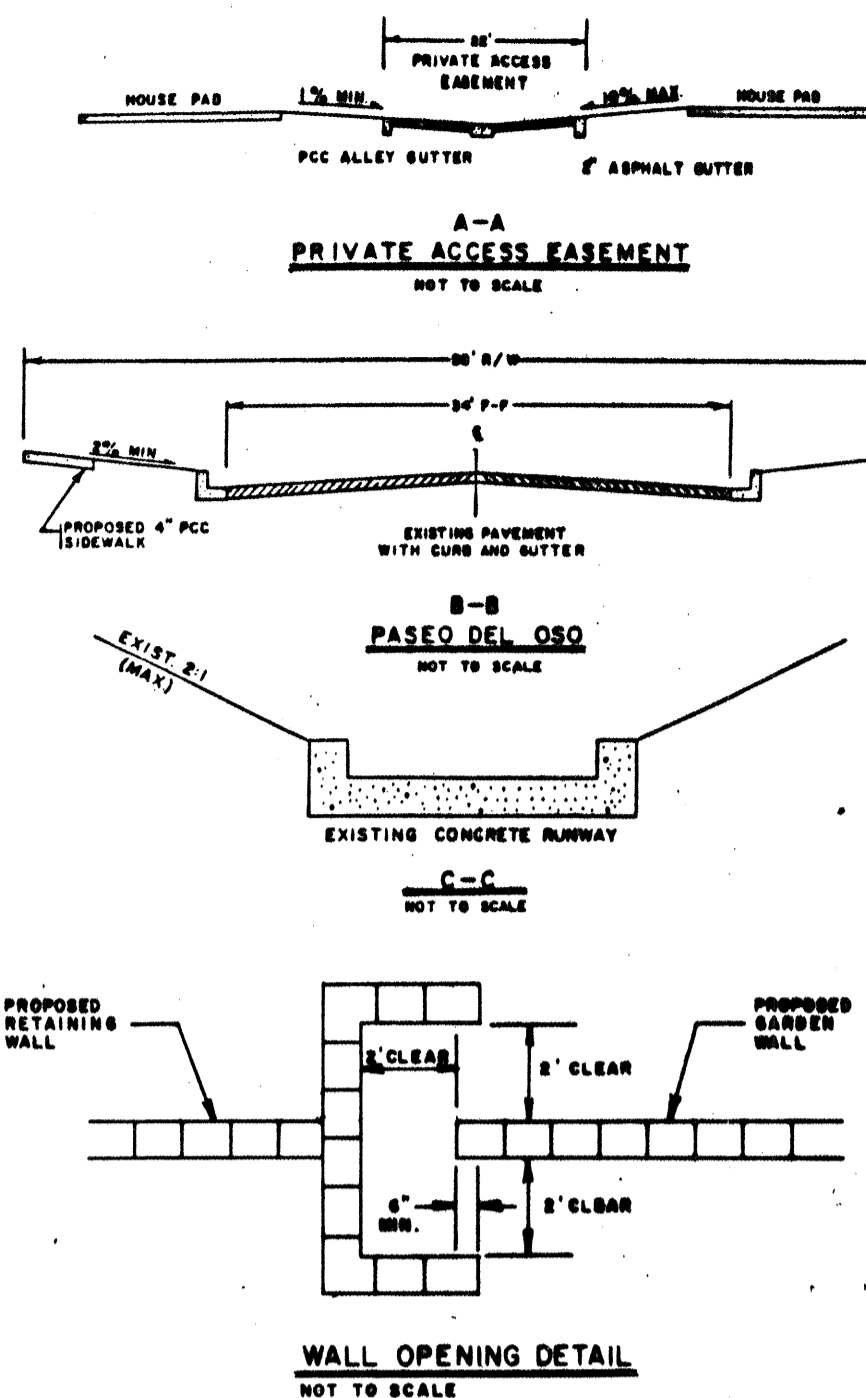
The project has been designed to discharge all developed runoff to the south toward Paseo del Oso, where this runoff will be conveyed west to the existing runoff and north into the reservoir. Retaining walls will be provided as identified on this plan to allow grading to the elevations specified and to produce the drainage patterns identified. Prior to rough grading, the borrow site within the basin shall be thoroughly coordinated with ANAFCA and the City of Albuquerque for approval.

Borrow material required to fill the lots up to the design grade and complete the slope north of the lots must be obtained from within the reservoir in order to maintain the current volume of detention capacity. Slopes north of the proposed lots will not exceed 2:1, which is a currently utilized maximum slope within the basin. All lots have been designed with a finished floor elevation above 5771, which is the maximum possible water surface elevation within the basin.

Erosion Protection

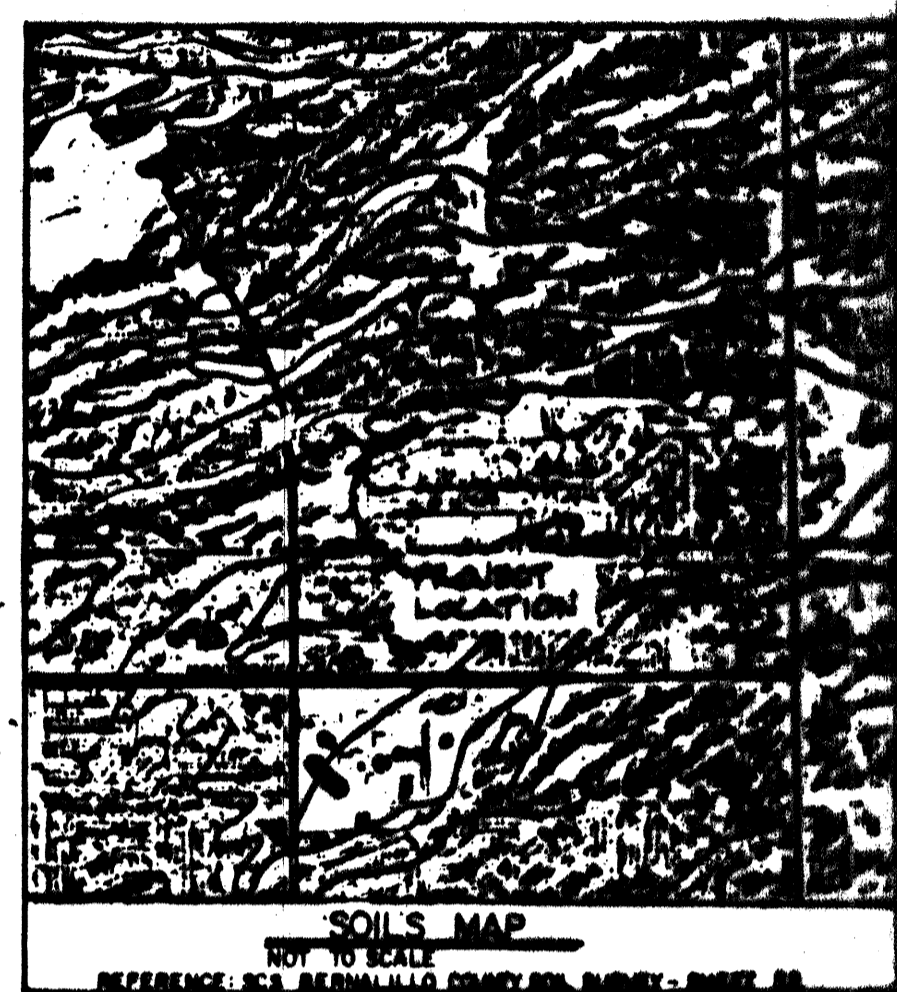
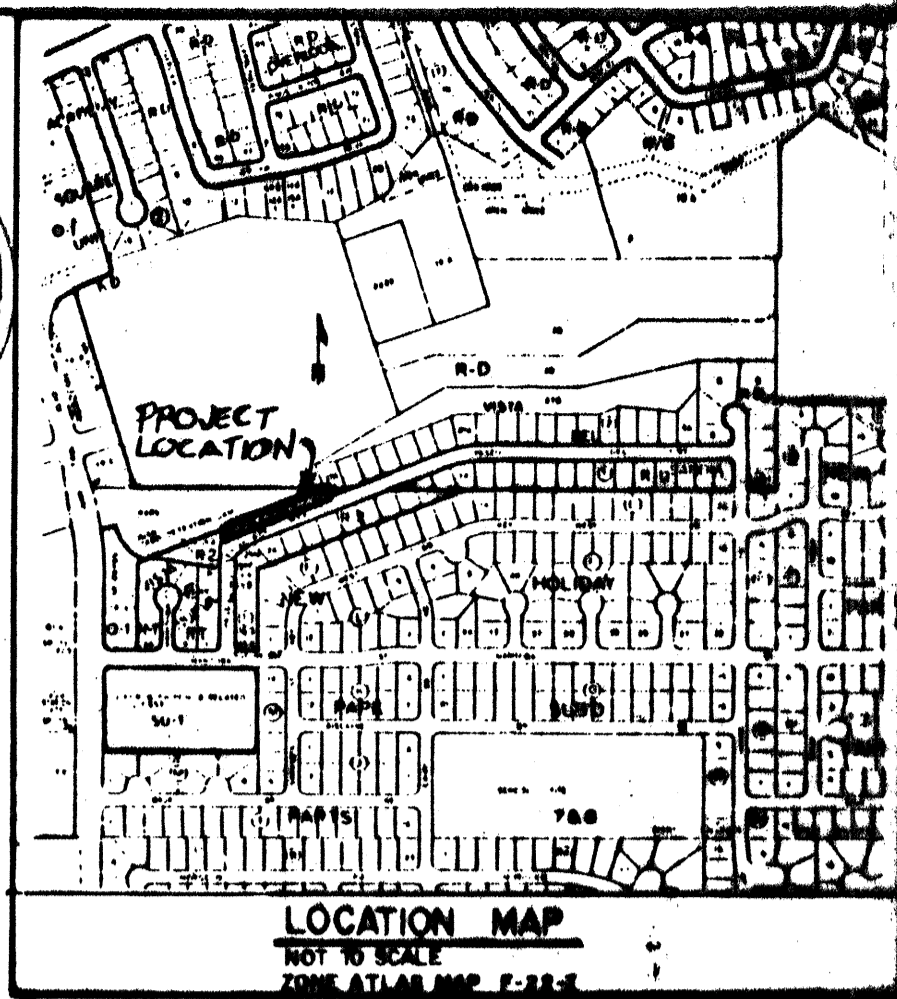
All slopes within the basin shall be reseeded after construction as specified below in the paragraph entitled "Seeding" and treated with gravel mulch as specified. Temporary erosion protection during construction shall consist of the following measures:

1. Water for dust abatement shall be available at the site 24 hours per day, seven days per week to be applied as needed.
2. A temporary erosion control berm as identified in the section provided shall be placed at the downstream edge of the area to be disturbed during earthmoving operations. This berm may be obliterated upon completion of the earthwork immediately prior to placement of the gravel mulch and seeding.



GRADING AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE ELEVATIONS SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY PERFORMED BY ME ON OCTOBER 26, 1994, AND THAT THE SAME ARE TRUE AND CORRECT.

David C. Clausen
DAVID C. CLAUSEN
REGISTERED PROFESSIONAL SURVEYOR
STATE OF NEW MEXICO
NO. 6347



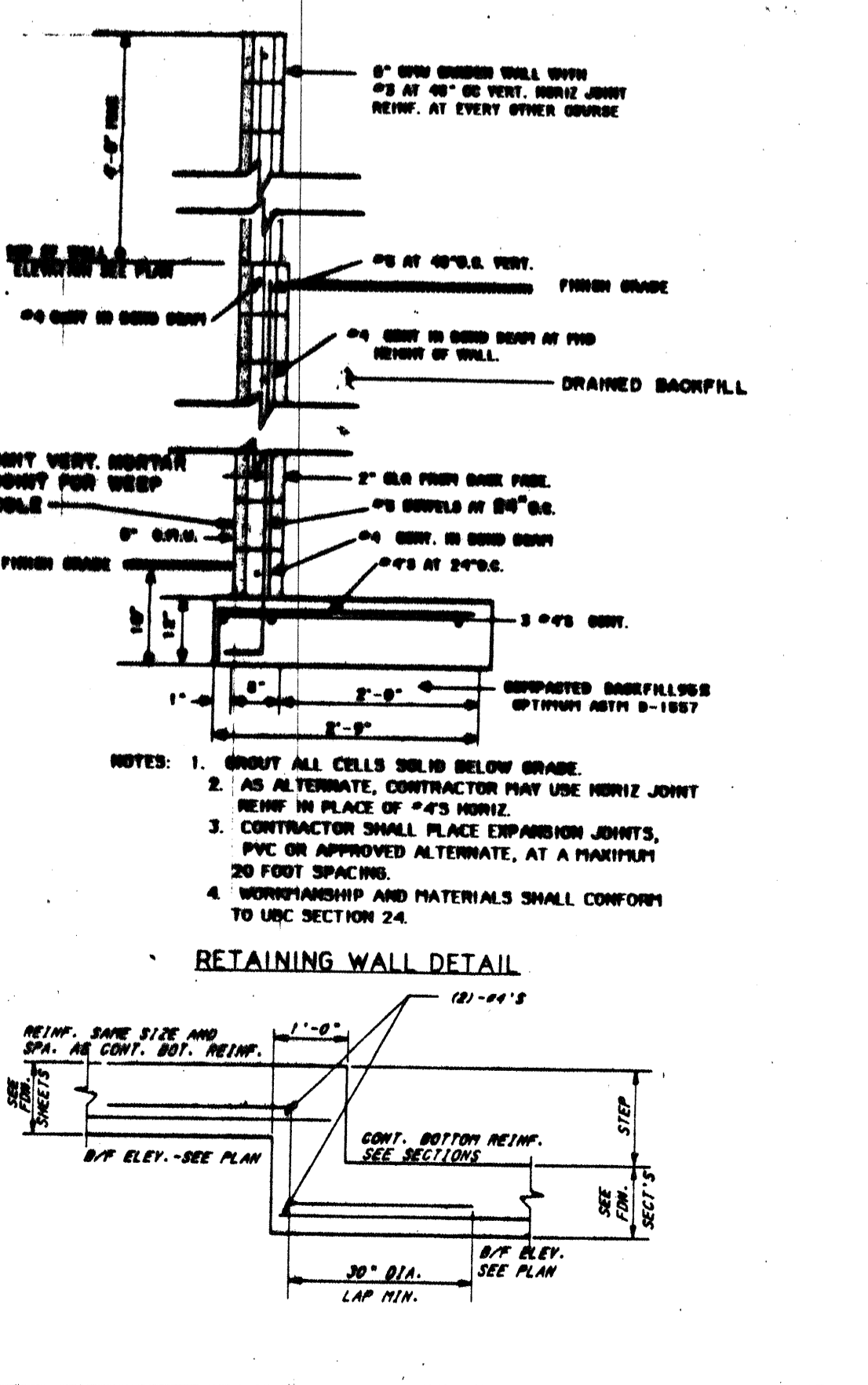
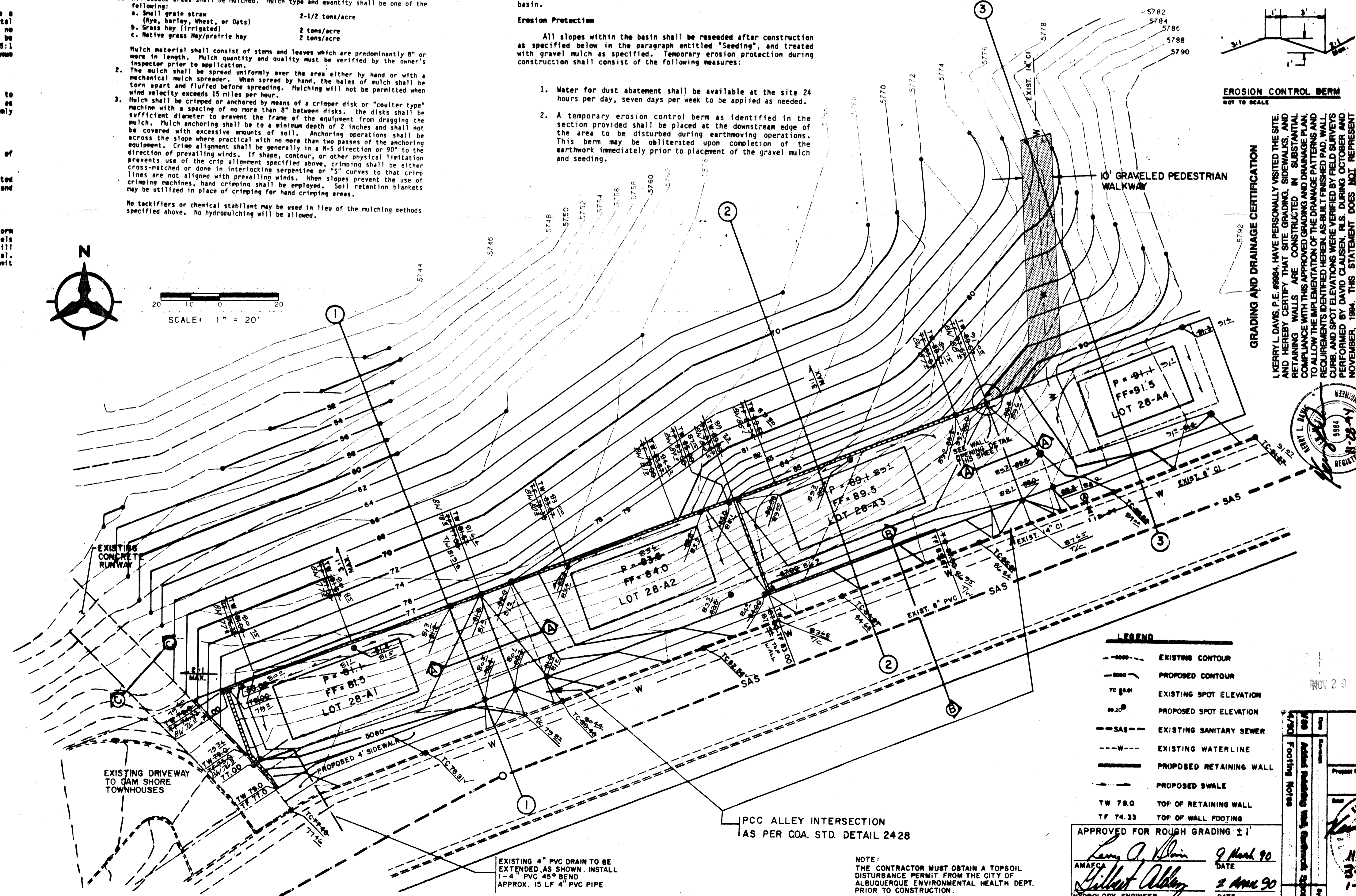
BENCHMARKS

"T 11" ACS BRASS TABLET LOCATED AT JUAN TABO BLVD AND MONTGOMERY BLVD. ELEV = 9781.90

TWO "M" ACS BRASS TABLET LOCATED APPROXIMATELY 450' NW OF THE ANGLE POINT OF PASEO DEL OSO DRIVE (NO PUBLISHED ELEV.) ELEV = 9778.70

LEGAL DESCRIPTION

LOT 28-A, BLOCK 2 (NOW COMPRISING LOTS 28-A1 THRU 28-A4, BLOCK 2) VISTA DEL SANDIA, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO.



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SAS --- EXISTING SANITARY SEWER
- W --- EXISTING WATERLINE
- PROPOSED RETAINING WALL
- PROPOSED SWALE
- TW 7.0 TOP OF RETAINING WALL
- TF 74.33 TOP OF WALL FOOTING

APPROVED FOR ROUGH GRADING ± 1'

Henry A. Olson 9 March 90
ANAFCA DATE
William A. Olson 5 April 90
HYDROLOGY ENGINEER DATE

NOV 29 1994

11-22-94
3-23-97
1-15-90

Project No. 98300 01
Drawn By: G.C.
Checked By: K.D.

Scale: 1" = 20'

NOTE: THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPT. PRIOR TO CONSTRUCTION.

EXISTING 4" PVC DRAIN TO BE EXTENDED AS SHOWN. INSTALL - 4" PVC 45° BEND APPROX. 15 LF 4" PVC PIPE