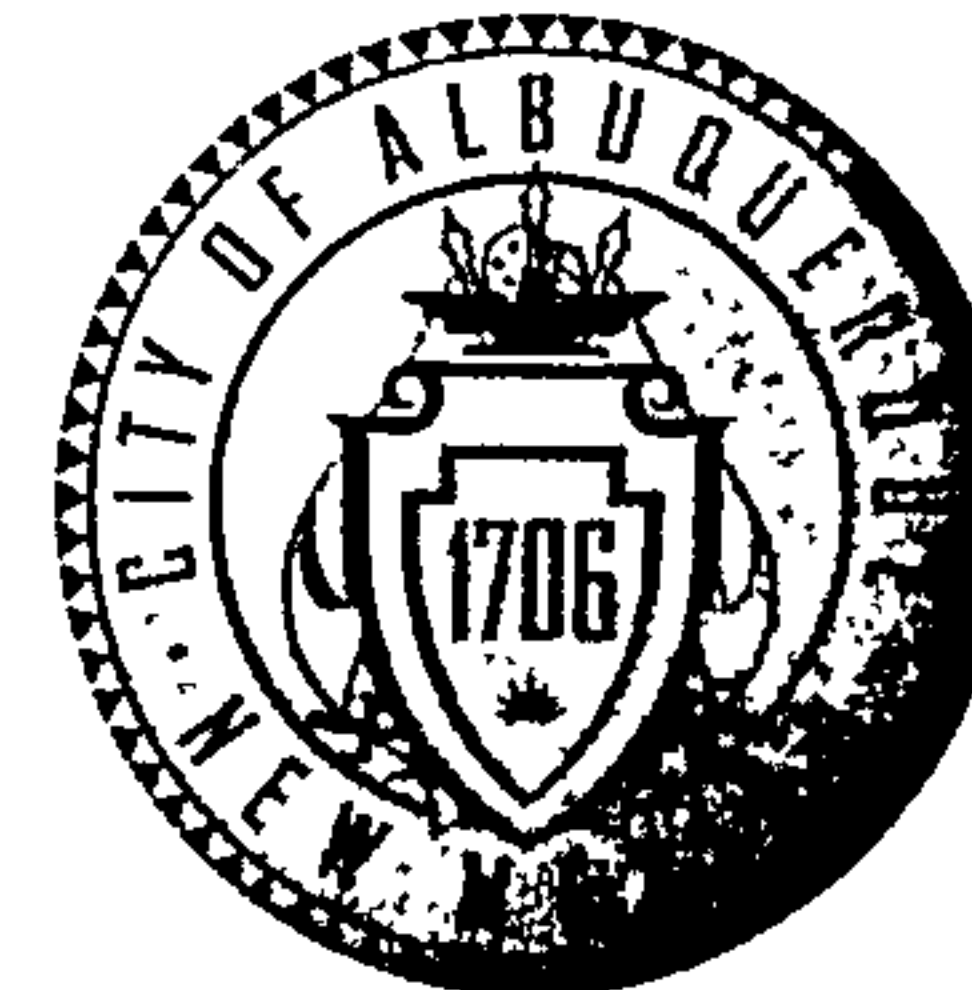


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

May 18, 2010

Stephen A. Dunbar, Registered Architect.  
Modulus Architects  
2325 San Pedro NE, Ste. 2b  
Albuquerque, NM 87110

Re: Certification Submittal for a Permanent Building Certificate of Occupancy  
(C.O.) for Height Village, [F-22 / D013]  
11201 Montgomery NE  
Architect's Stamp Dated 05/17/10

Dear Mr. Dunbar:

Based upon the information provided in your submittal received 05-17-10,  
Transportation Development has approved your request for a Permanent Certificate of  
Occupancy.

This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Sunflower Farmers Market. ZONE MAP: F-22/D013  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT B - THE NEW Holiday PARK  
 CITY ADDRESS: 11201 Montgomery

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: Modulus Architects CONTACT: Stephen  
 ADDRESS: 2325 SAN PEDRO N.E. #2B PHONE: \_\_\_\_\_  
 CITY, STATE: Albany NM ZIP CODE: 87110

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

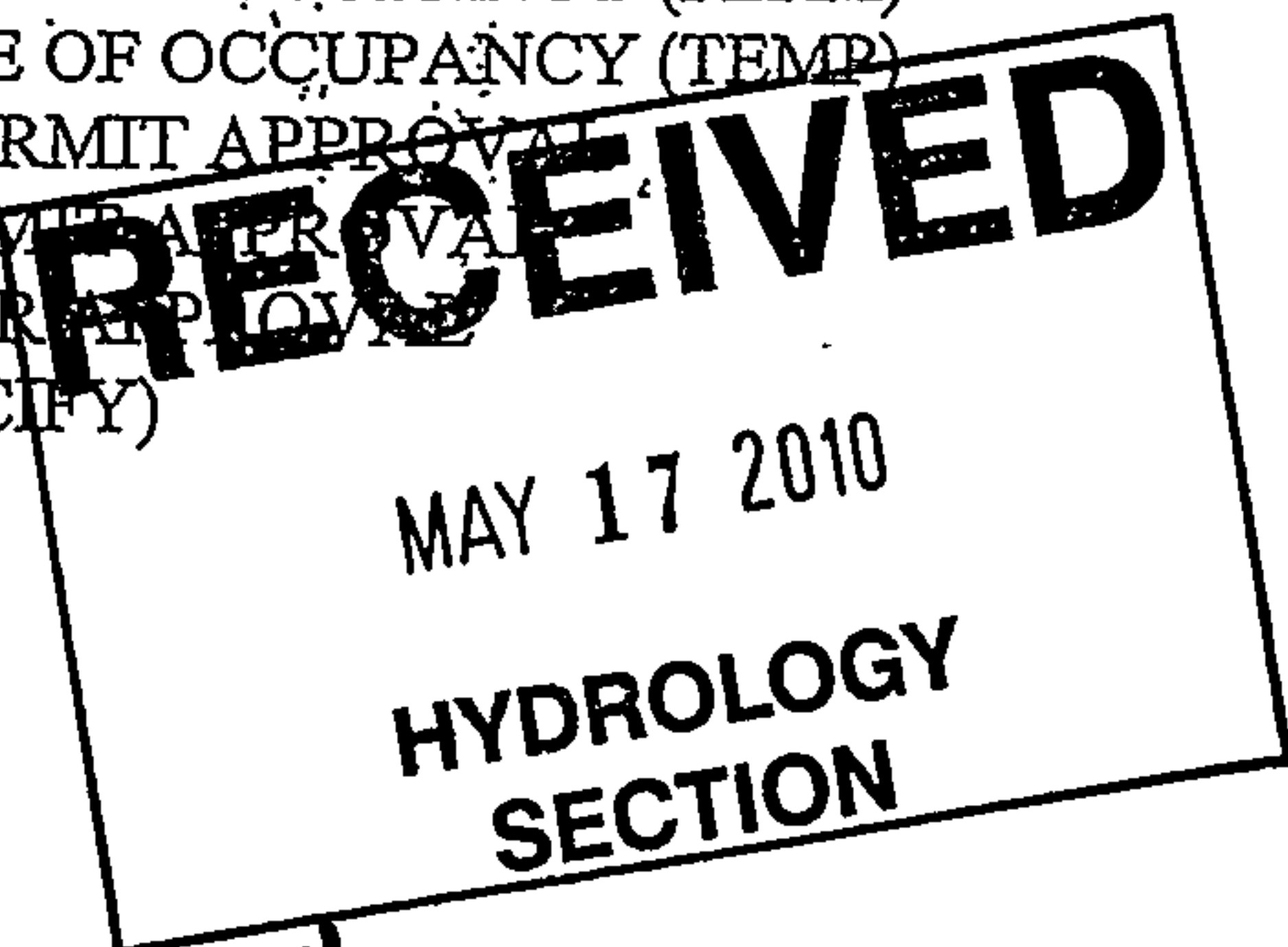
- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 6/17/10 BY: Stephen A. Doherty

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Fritz



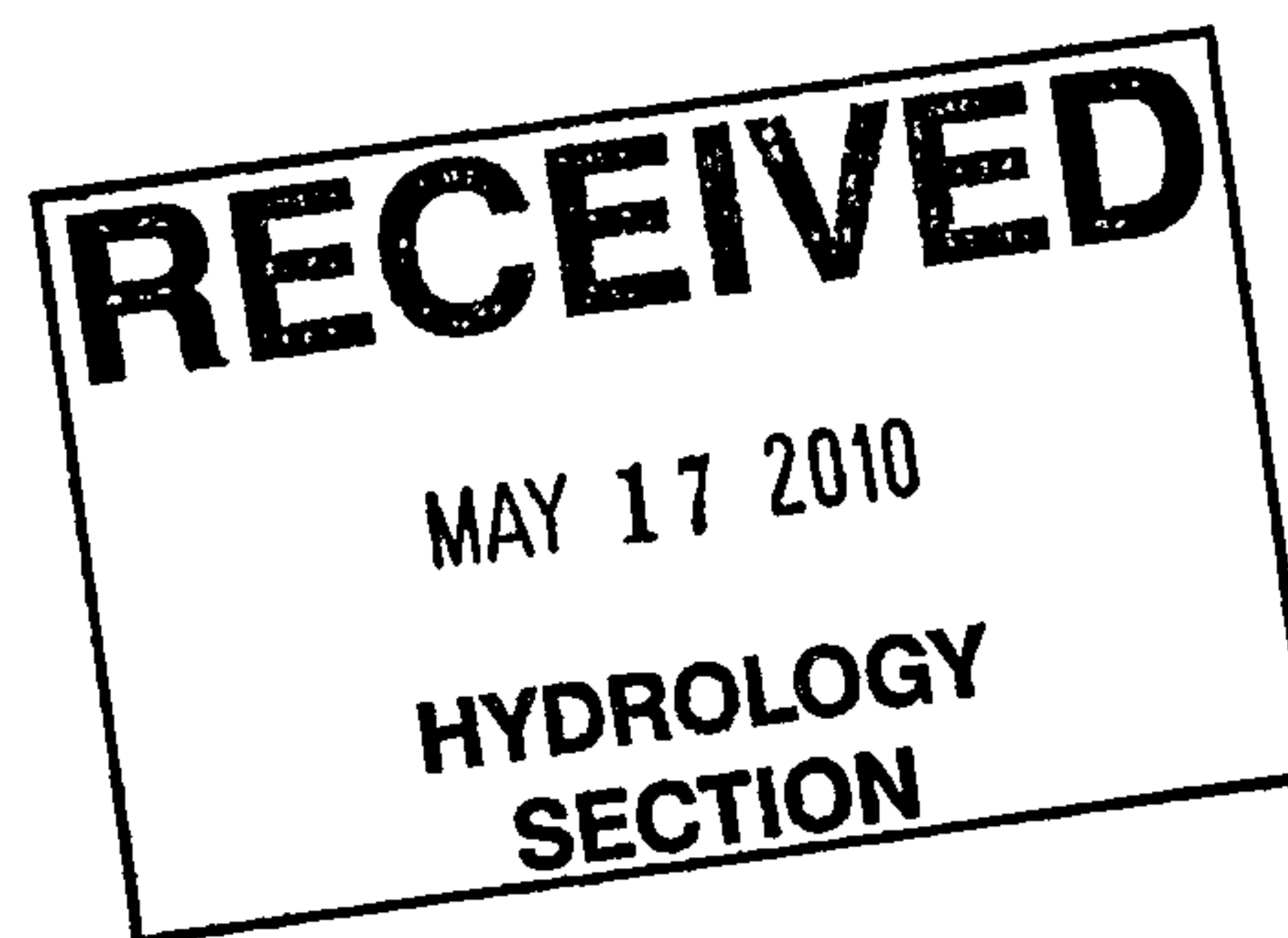
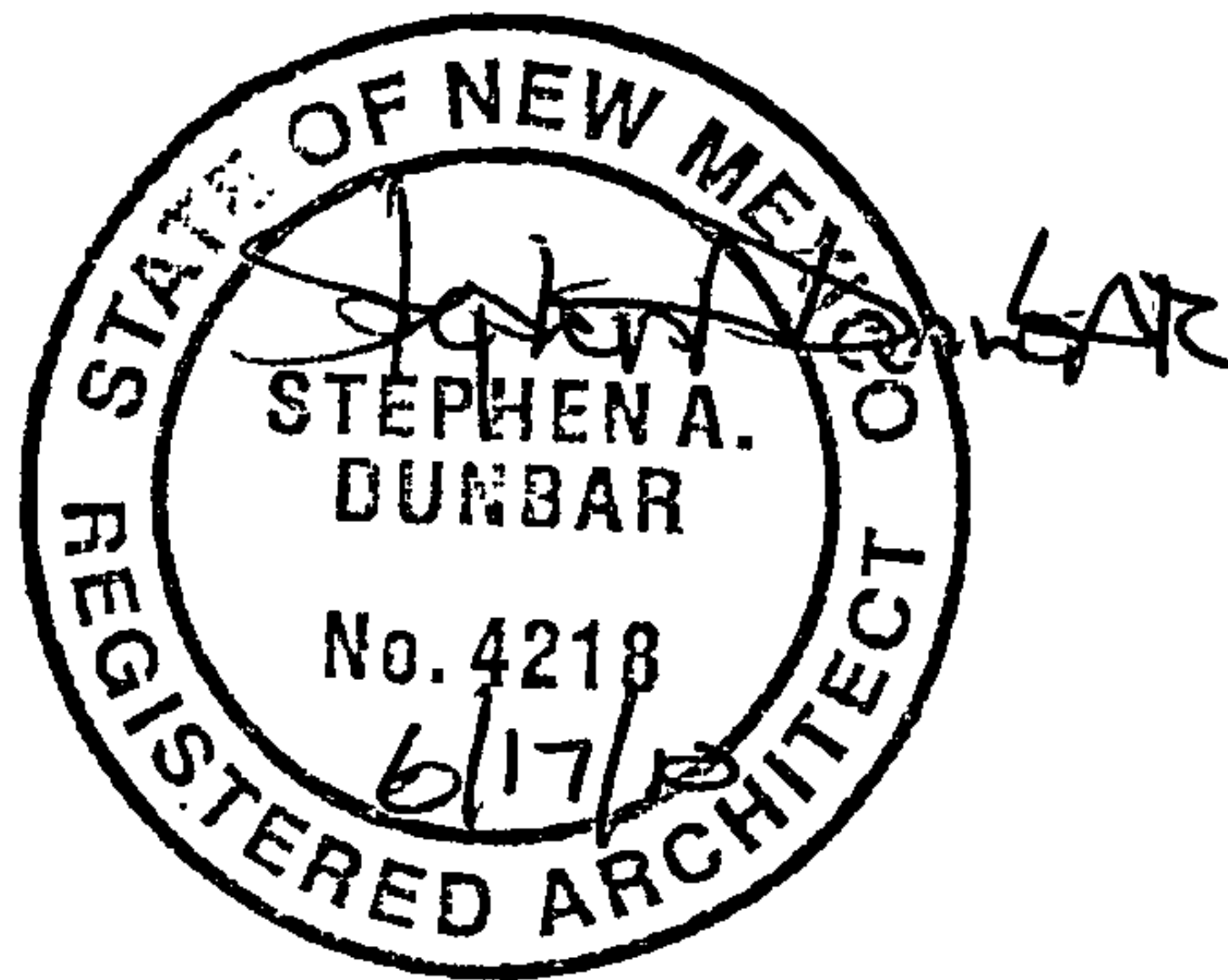
## TRAFFIC CERTIFICATION

I, Stephen A. Dunbar, NMRA -004218, of the firm Modulus Architects Inc. Hereby Certify that this project is in substantial design compliance with and in accordance with the design intent of the approved plan stamp dated 3/17/10. The record information edited onto the original design document has been obtained by Stephen A. Dunbar of the firm Modulus Architects Inc. I further certify that I have personally visited the project site on 6/17/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Stephen A. Dunbar ARCHITECT'S STAMP  
Signature of Engineer or Architect

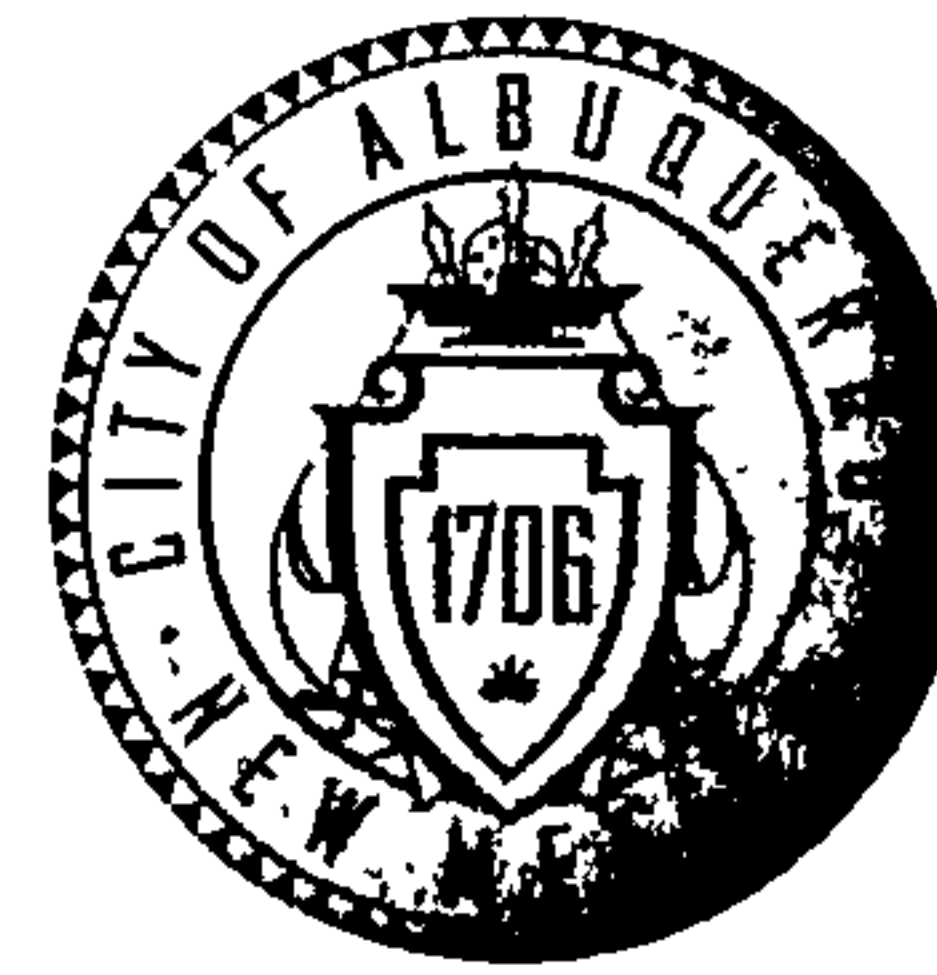
6/17/10  
Date



2325 San Pedro NE, Suite 2b  
Albuquerque, New Mexico 87110  
p 505.338.1499 f 505.338.1498  
toll free: 1-866-224-2161



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

April 29, 2010

Stephen A. Dunbar, Registered Architect.  
Modulus Architects  
2325 San Pedro NE, Ste. 2b  
Albuquerque, NM 87110

Re: Certification Submittal for a Temporary Building Certificate of Occupancy  
(C.O.) for Height Village, [F-22 / D013]  
11201 Montgomery NE  
Architect's Stamp Dated 04/26/10

Dear Mr. Dunbar:

Based upon the information provided in your submittal received 04-27-10, Transportation Development has approved your request for a 120-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 120-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

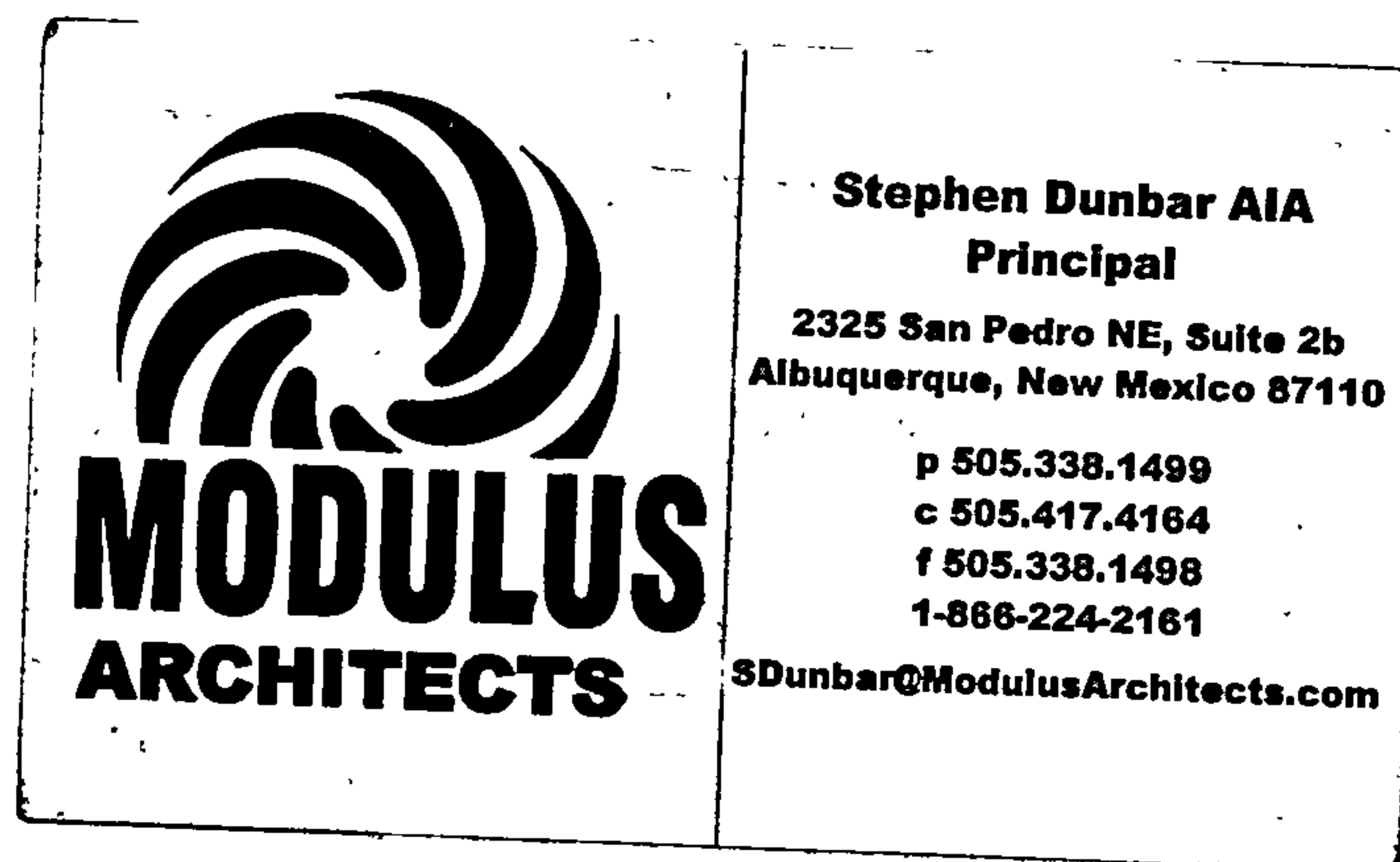
The following items will need to be addressed prior to issuance of a Permanent Certificate of Occupancy: sidewalk fronting Juan Tabo adjacent to water meter will need to be replaced (3stones); pavement next Bank will need to be re-tapered; railing will need to be install on step adjacent to Montgomery frontage; ADA pathway from Montgomery shows a tree on it (please redline on Site Plan). Once these issues have been addressed you'll need to re-submit the total package for Permanent C.O.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

F-22/DO13  
F-22-Z

PROJECT TITLE: HEIGHTS VILLAGE ZONE MAP: F-22-Z  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT B-THE NEW HOLINAY PARK  
CITY ADDRESS: 11201 MONTGOMERY N.E

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: MODULUS ARCHITECTS CONTACT: Stephen D  
ADDRESS: 2525 SAN PEDRO N.W STE 2B PHONE: 358-1477x 146  
CITY, STATE: Albany ZIP CODE: 87110

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☒ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

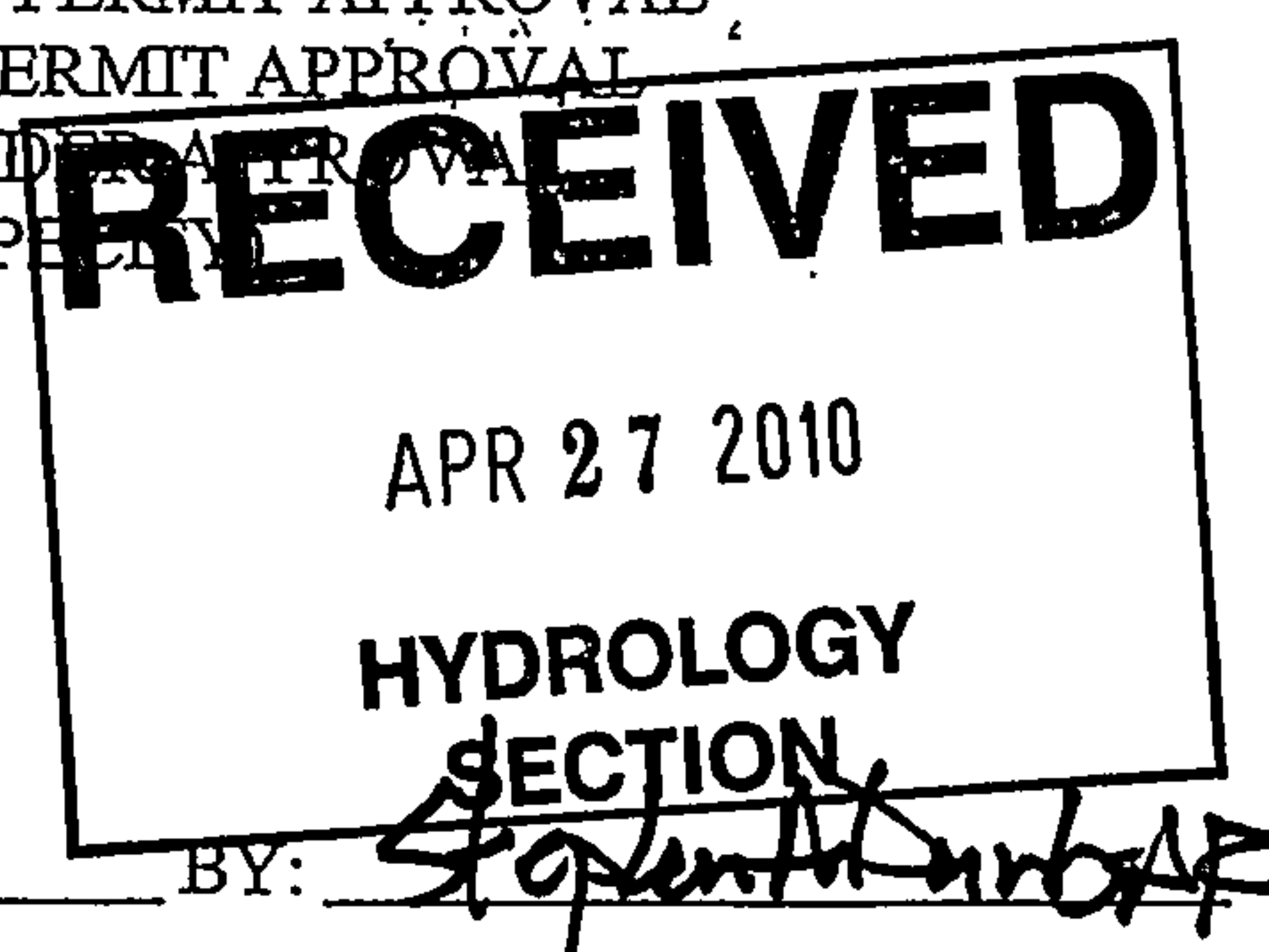
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/26/10 BY: Stephen D



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

## TRAFFIC CERTIFICATION

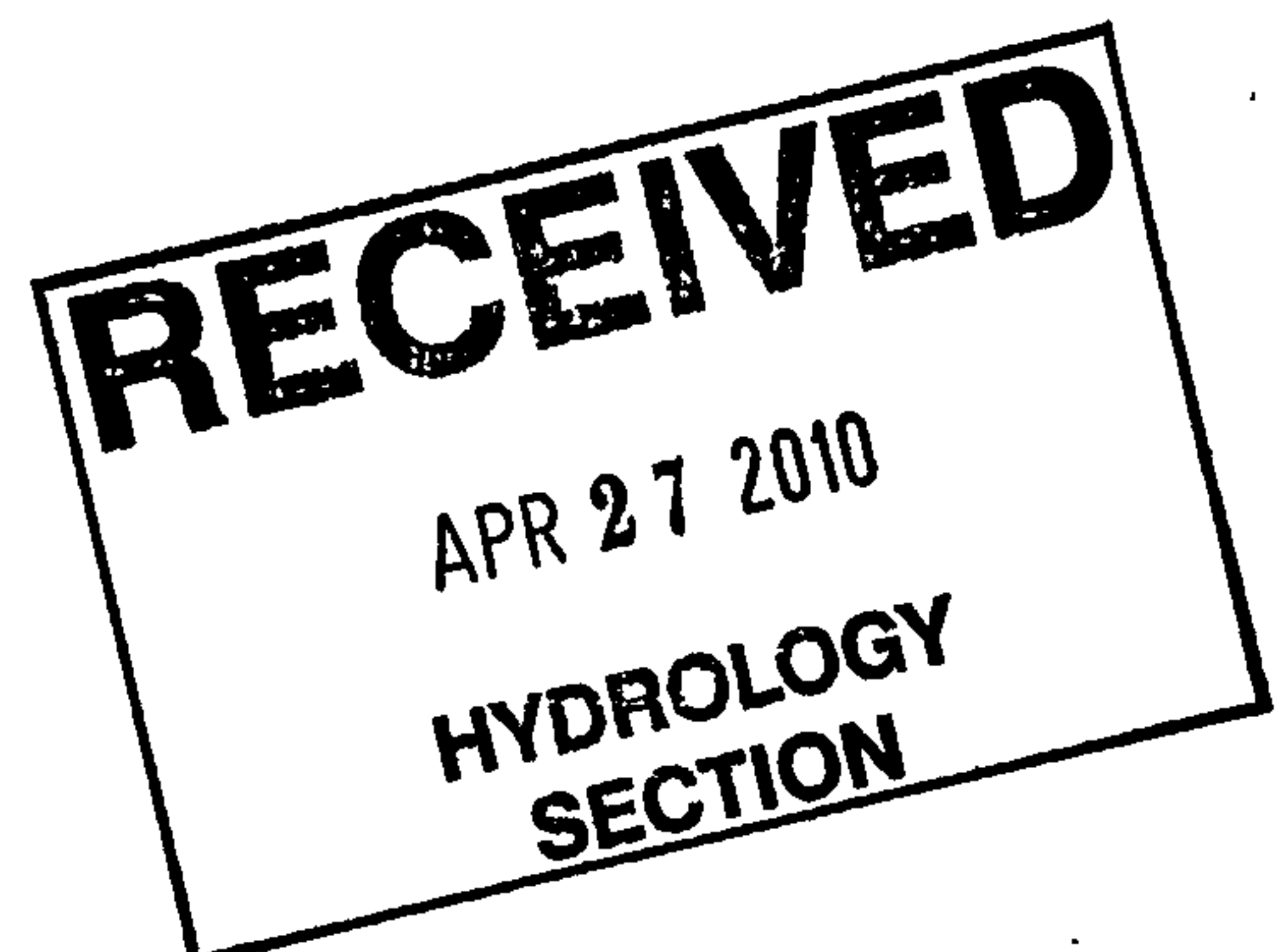
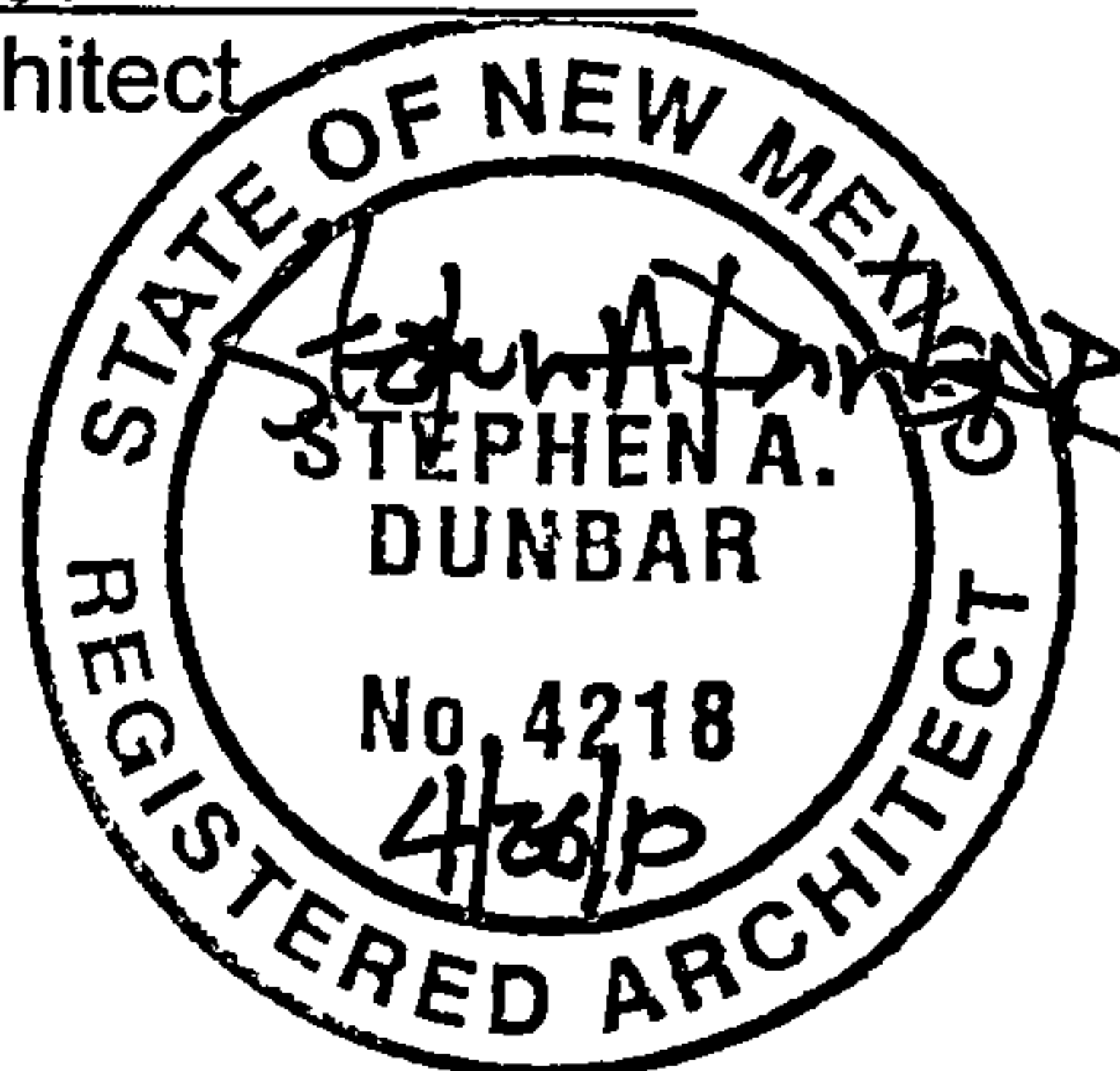
I, Stephen A. Dunbar, NMRA -004218, of the firm Modulus Architects Inc. Hereby Certify that this project is in substantial design compliance with and in accordance with the design intent of the approved plan stamp dated 3/17/10. The record information edited onto the original design document has been obtained by Stephen A. Dunbar of the firm Modulus Architects Inc. I further certify that I have personally visited the project site on 4/26/10 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Stephen A. Dunbar  
Signature of Engineer or Architect

ARCHITECT'S STAMP

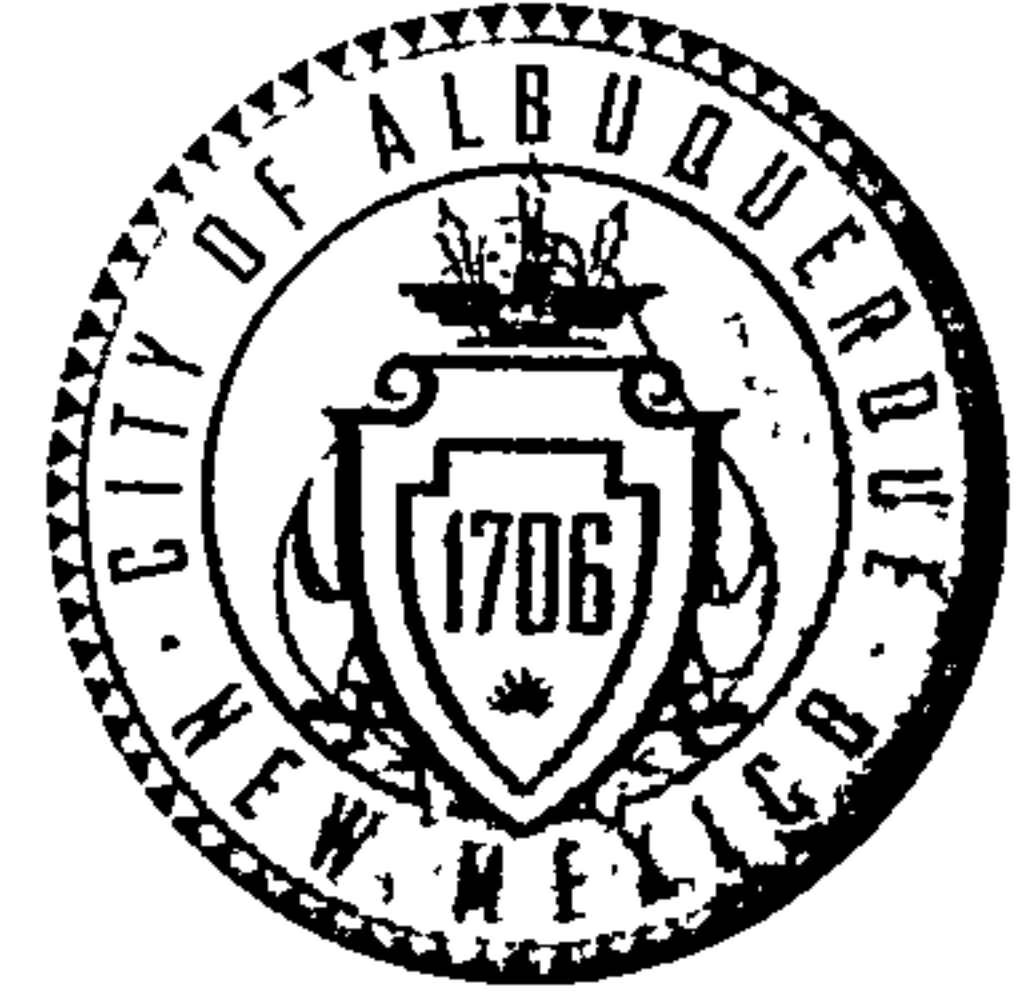
4/26/10  
Date



2325 San Pedro NE, Suite 2b  
Albuquerque, New Mexico 87110  
p 505.338.1499 f 505.338.1498  
toll free: 1-866-224-2161



# CITY OF ALBUQUERQUE



July 10, 2009

Stephen Dunbar, R.A.  
Modulus Architects  
2325 San Pedro NE, Suite 2B  
Albuquerque, NM 87110

Re: Heights Village, 11201 Montgomery Blvd NE, Traffic Circulation Layout  
Architect's Stamp dated 07-10-09 (F22-D013)

Dear Mr. Dunbar,

The TCL submittal received 07-10-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

NM 87103

www.cabq.gov

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

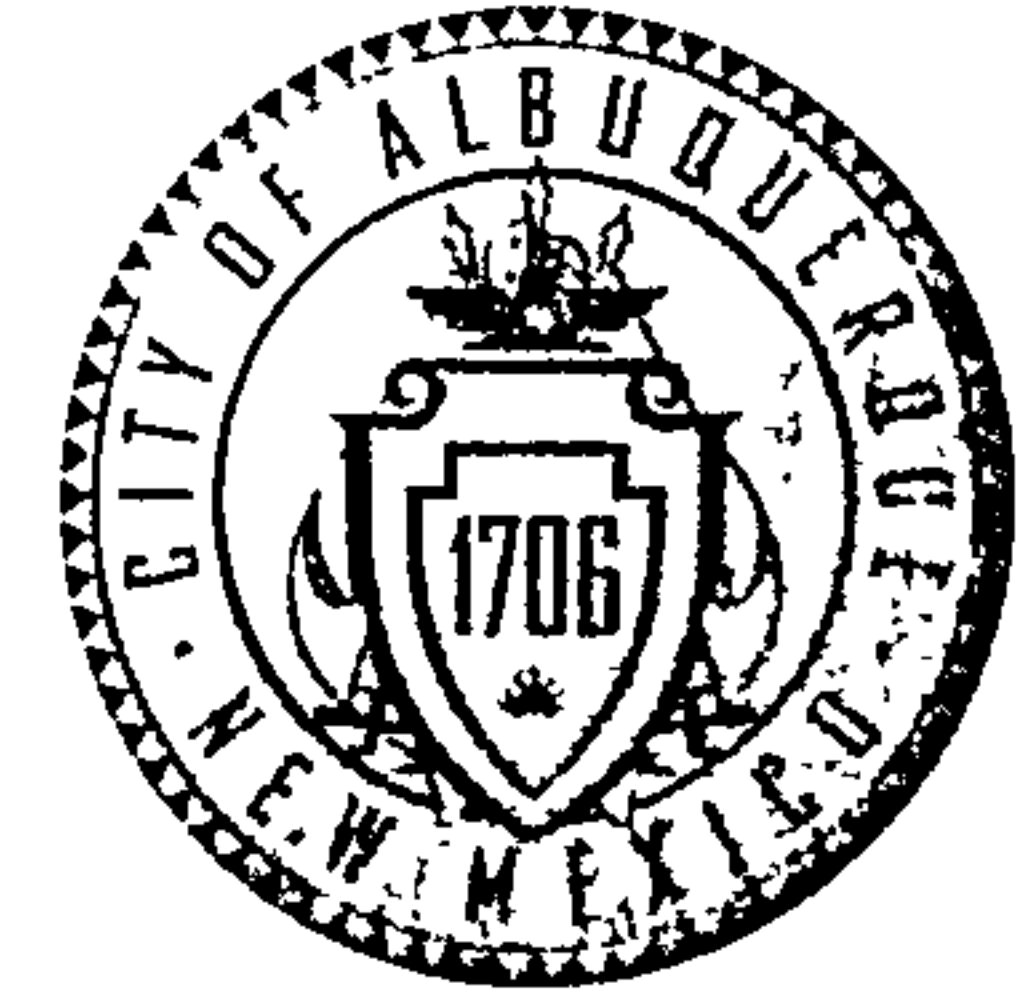
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

# CITY OF ALBUQUERQUE



July 1, 2009

Stephen Dunbar, R.A.  
Modulus Architects  
2325 San Pedro NE, Suite 2B  
Albuquerque, NM 87110

**Re: Heights Village, 11201 Montgomery Blvd NE, Traffic Circulation Layout  
No Architect's Stamp (F22-D013)**

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 06-29-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. List radii for all curves shown.
- ✓ 2. Call out the width of the handicapped spaces and access aisles.
3. Please include two copies of the traffic circulation layout at the next submittal.
4. Define width of all sidewalk, existing and proposed.
5. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
6. Include a copy of the shared access agreement with the adjacent property owner.
7. Provide a detail for the modified ramps notated in keyed note 30.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 12/2005)

PROJECT TITLE: HEIGHTS VILLAGE ZONE MAP: E-22 / 1013  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: TRACT B NEW HOLIDAY PARK  
 CITY ADDRESS: 11201 MONTGOMERY

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: MODULUS ARCHITECTS CONTACT: STEPHEN  
 ADDRESS: 2325 SAN PEDRO N.E. Ste 2B PHONE: 333-1499 x 106  
 CITY, STATE: Wash ZIP CODE: 97110

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

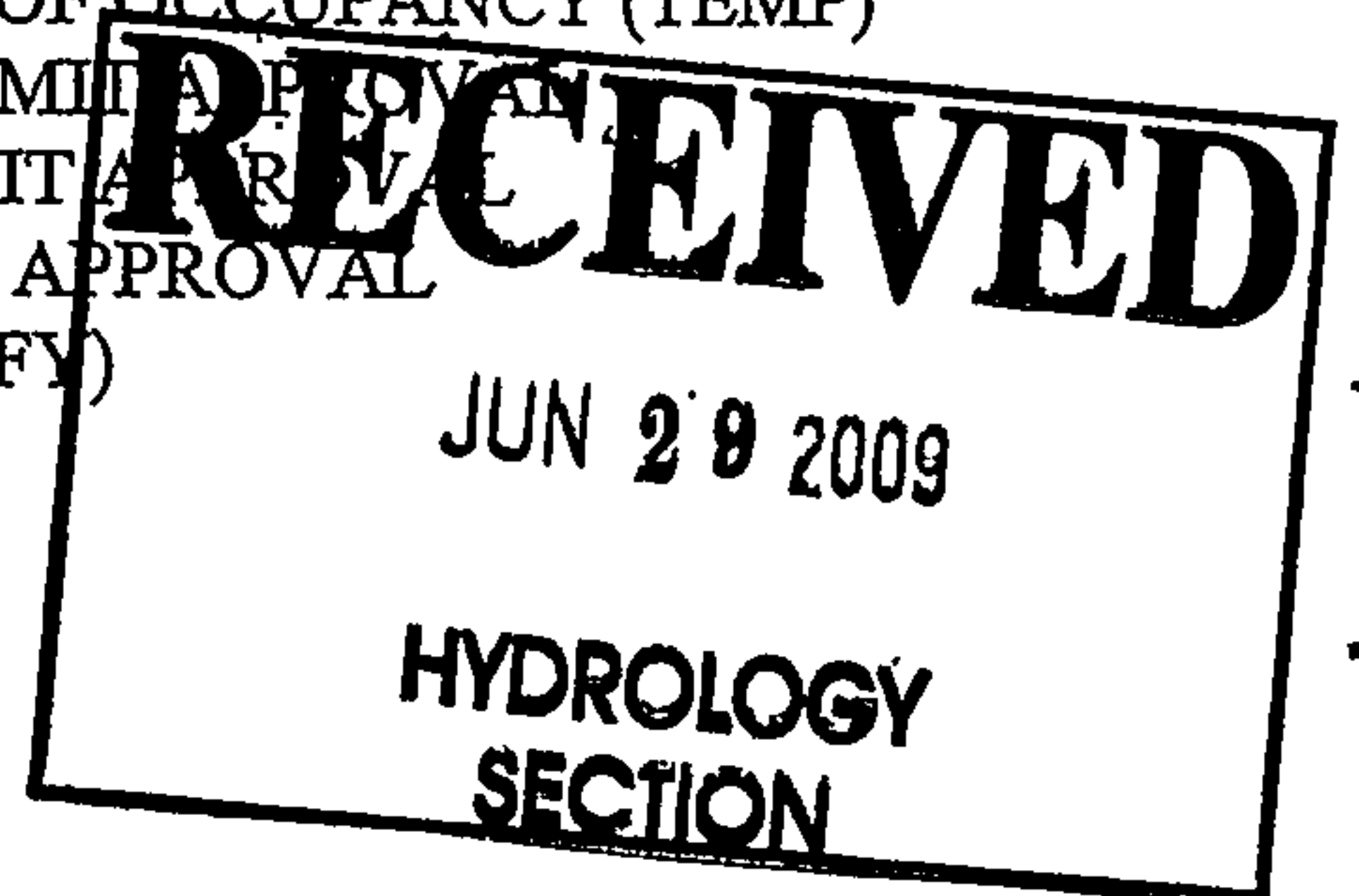
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 6/30/09 BY: Stephen A. Durbin

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Details for ranges in boxed note 30

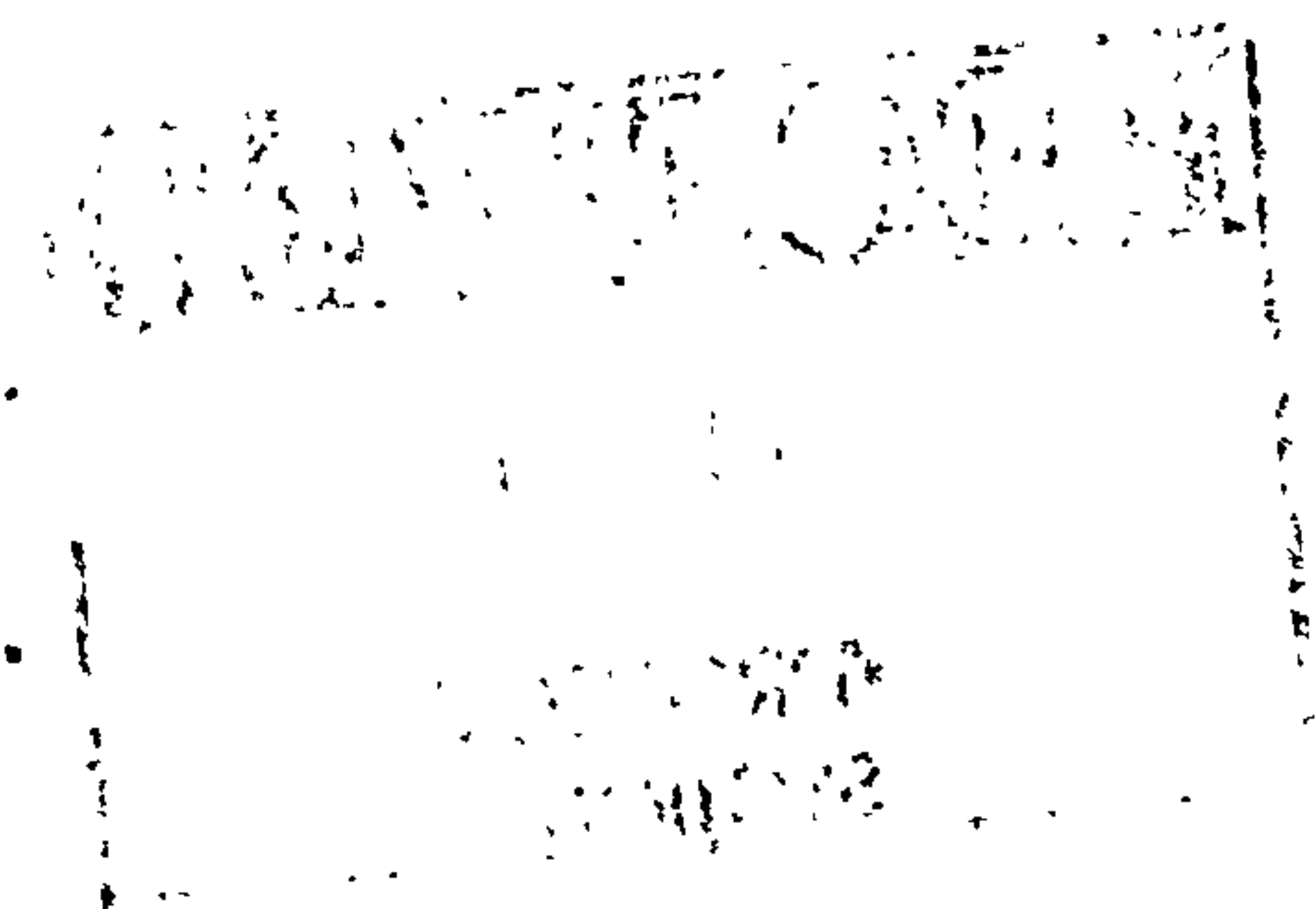
Call out radii @ entrance

Stamp, sign, date

Call out SW width

Cross access esmt between

Tract C and B



Smith's Food Store #439

PROJECT TITLE: Remodel/Addition

ZONE ATLAS/DRNG. FILE #: F22/013

DRB #: \_\_\_\_\_

EPC #: \_\_\_\_\_

WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_

CITY ADDRESS: 4700 Tramway Blvd. N.E., Albuquerque, N.M.

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

OWNER: Smith's Food & Drug, Inc. CONTACT: Fred Urbanek/Jon Reimann

ADDRESS: 1550 So. Redwood Road PHONE: (801) 974-1653  
SLC, UT 84104

ARCHITECT: Prescott Muir Architects CONTACT: Paula Carl

ADDRESS: 159 W. Pierpont Ave. PHONE: (801) 521-9111  
SLC, UT 84101

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

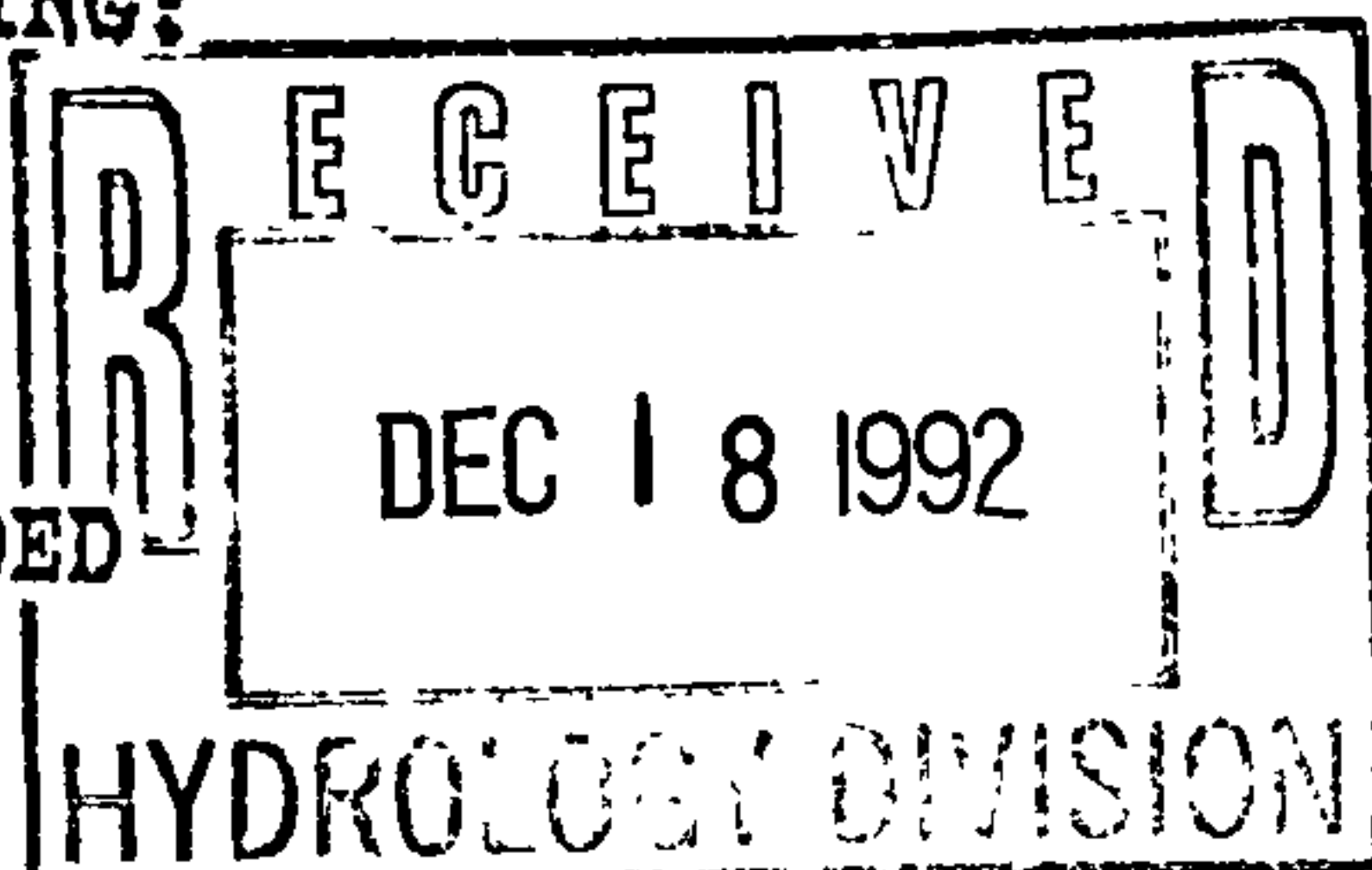
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN /Site Plan
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☒ DRAINAGE REQUIREMENTS
- ☐ OTHER \_\_\_\_\_ (SPECIFY)

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: December 17, 1992

BY: Paula Carl





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 7, 1993

Paula Carl  
Prescott Muir Architects  
159 W. Pierpoint Ave.  
Salt Lake City, Utah 84101

RE: ADDITION TO SMITH'S STORE #439 @ 4700 TRAMWAY BLVD. NE (F22-D13)  
ARCHITECT'S STAMP DATED 12/31/92.

Dear Ms. Carl:

Based on the information provided on your December 18, 1992 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Assistant

BJM/d1/WPHYD/7430

xc: Alan Martinez

File

PUBLIC WORKS DEPARTMENT