

CITY OF ALBUQUERQUE



June 23, 2009

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

RE: Villa Loma Estates, (F-22/D025)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 09/18/2007
Engineers Certification dated 06/17/2009 & 6-23-09

Dear Mr. McGee,

Based upon your Engineer's Certification submitted on 6/23/2009, the above referenced plan is adequate and satisfies the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Marilyn Maldonado, COA# 746882
File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Villa Loma Estates

ZONE MAP / DRG. FILE #: F-22/D25

DRB #: 1005185

EPC #: 06 EPC - 01435

WORK ORDER #: 746882

LEGAL DESCRIPTION: Parcel 2-A-1 Land of Edmund I. Rady

CITY ADDRESS: 12401 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Scott McGee, PE

PHONE: 268-8828

ZIP CODE: 87108

OWNER: W Investments LLC

ADDRESS: 11101 Anaheim NE

CITY, STATE: Alb, NM

CONTACT: Jim Wible

PHONE: _____

ZIP CODE: 87122

ARCHITECT: DPS

ADDRESS: 7601 Jefferson NE, Suite 100

CITY, STATE: Albuquerque, New Mexico

CONTACT: Dan Monk

PHONE: 761-9700

ZIP CODE: 87109

SURVEYOR: Tony Harris # 11463

ADDRESS: _____

CITY, STATE: Albuquerque, New Mexico

CONTACT: Tony Harris

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)

☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☒ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY (PERM)

☐ CERTIFICATE OF OCCUPANCY (TEMP)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☒ PAD GRADING CERTIFICATION

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED

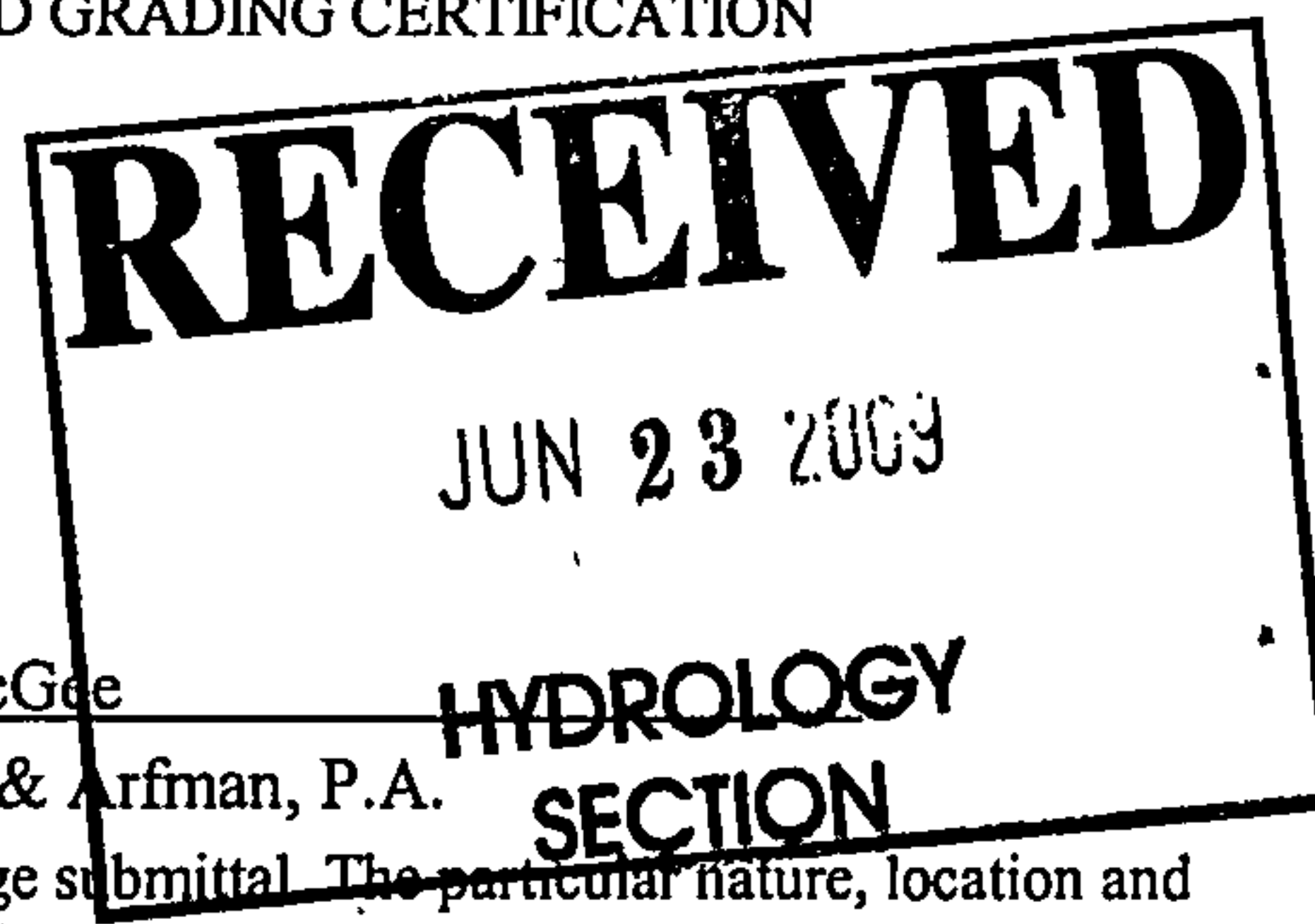
DATE SUBMITTED: Tuesday, June 23, 2009

BY: Scott McGee

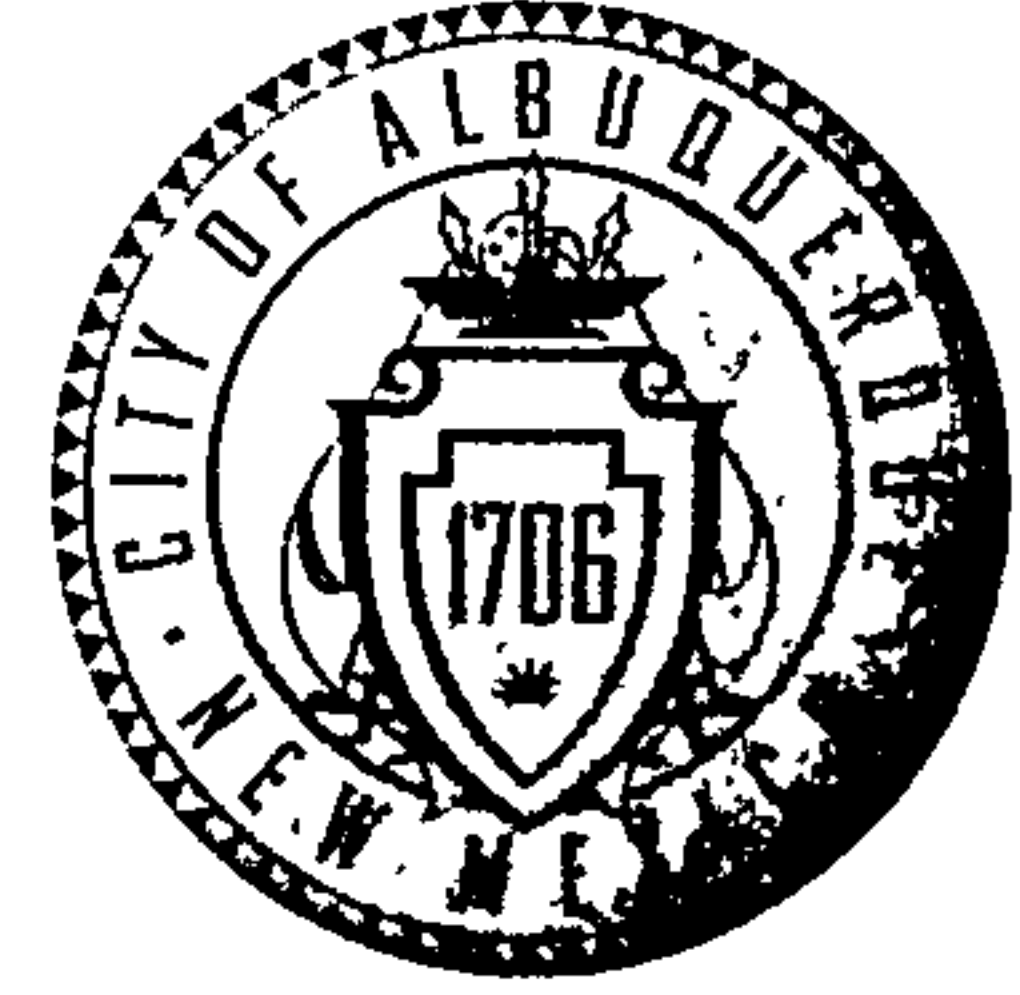
Isaacson & Arfman, P.A.

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CITY OF ALBUQUERQUE



June 23, 2009

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

RE: Villa Loma Estates, (F-22/D025)
Pad Certification-Not Approved
Engineers Stamp dated 9/18/2007
Engineers Certification dated 06/17/2009
City Project #: 746882

Dear Mr. McGee:

PO Box 1293

Based upon the information provided in your Engineer's Pad-Certification dated 06/17/2009, the above referenced plan cannot be approved for Pad Certification until the following comments are addressed:

Albuquerque

1. Provide additional spot elevation for the north/south swale between the buildings.
2. All retaining walls will need to be completed on the east side of the site.

NM 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Timothy E. Sims
Plan Checker, Planning Dept.—Hydrology
Development and Building Services

C: Bradley L. Bingham
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Villa Loma Estates ZONE MAP / DRG. FILE #: F-22/D25
DRB #: 1005185 EPC #: 06 EPC - 01435 WORK ORDER #: 746882

LEGAL DESCRIPTION: Parcel 2-A-1 Land of Edmund I. Rady
CITY ADDRESS: 12401 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee, PE
ADDRESS: 128 Monroe St. NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: W Investments LLC CONTACT: Jim Wible
ADDRESS: 11101 Anaheim NE PHONE: _____
CITY, STATE: Alb, NM ZIP CODE: 87122

ARCHITECT: DPS CONTACT: Dan Monk
ADDRESS: 7601 Jefferson NE, Suite 100 PHONE: 761-9700
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

SURVEYOR: Tony Harris # 11463 CONTACT: Tony Harris
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
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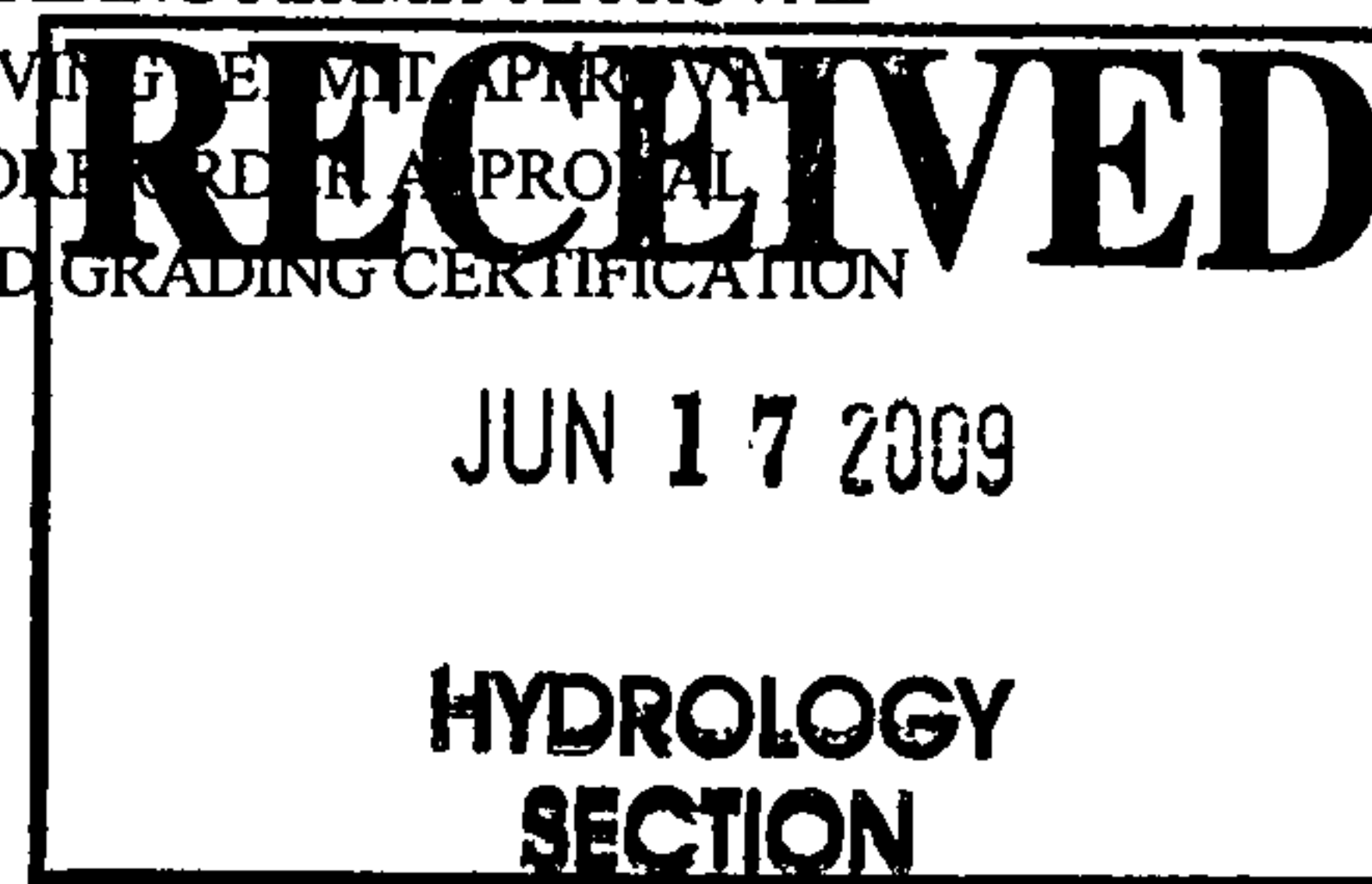
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
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☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

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☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
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☐ WORK ORDER APPROVAL
☒ PAD GRADING CERTIFICATION

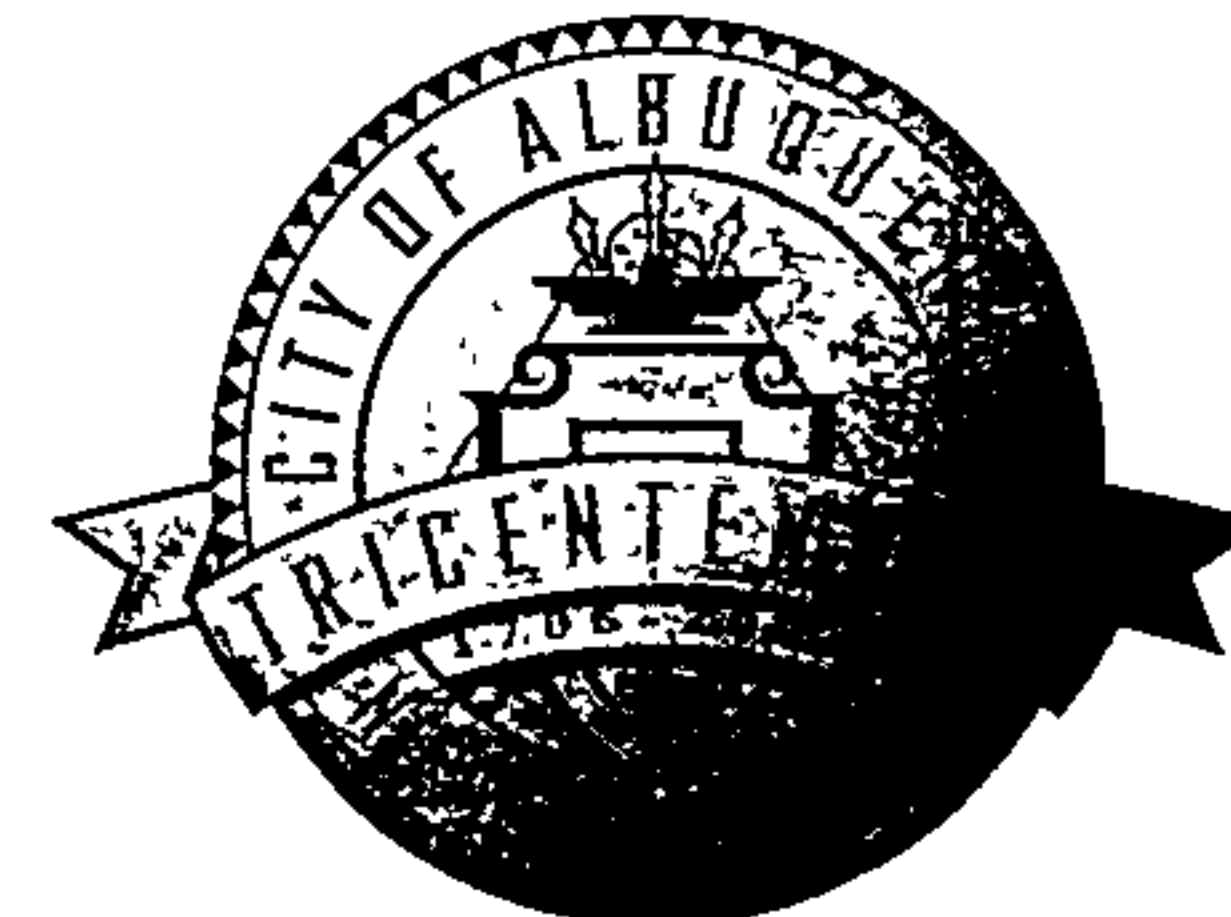


DATE SUBMITTED: Monday, June 17, 2009 BY: Scott McGee
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



September 21, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Villa Loma Estates, Engineer's Stamp dated 9-18-07 (F22/D25)

Dear Mr. McGee,

Based on the information contained in your submittal received on September 18, 2007, the above referenced plan is approved for Building Permit as well as DRC work order review. Please attach a copy of this letter and the approved plan to the construction sets to obtain sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project will also require a National Pollutant Discharge Elimination System (NPDES) permit. Inquiries regarding this permit should be directed to Sertil Kandar at 768-3645. In addition to submitting an NOI to the EPA and preparing a SWPPP, please send a copy of the SWPPP on a CD in .pdf format to Kathy Verhage with the Department of Municipal Development Storm Drainage Division at the following address.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Department of Municipal Development
Storm Drainage Division
P.O. Box 1293, One Civic Plaza, Rm. 301
Attn: Kathy Verhage
Albuquerque, NM 87103

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E., C.F.M.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (F22/D25)
Kathy Verhage, DMD

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

#4028

PAID RECEIPT

APPLICANT NAME

R W. Investments LLC

AGENT

FRED ARFMAN / ISAAC SWARFMAN

ADDRESS

128 Monroe

PROJECT & APP #

PROJECT NAME

12401 Mont Cromery Town Homes

\$ 441032/3424000 Conflict Management Fee

\$ 441006/4983000 DRB Actions

\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 441018/4971000 Public Notification

\$ 100.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 100.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

CHARGE

10/4/2006 3:30PM

RECEIPT# 00045396 WSH 008 TRANSH 0036

Account 441006 Fund 0010

Activity 4983000

Trans Amt \$50.00

J24 Misc \$50.00

CHANGE \$0.00

Thank You

ISAAC SON AND ARFMAN P A
128 MONROE ST NE
ALBUQUERQUE, NM 87108-1247
268-8828

City of Albuquerque
Treasury Division

DATE 10/4/06

17319
95-219/1070 176
1350743997

DUPLICATE
City Of Albuquerque
Treasury Division

10/4/2006 3:28PM LOC: ANNX

RECEIPT# 00045396 WSH 008 TRANSH 0036

Account 441006 Fund 0010

Activity 4983000

Trans Amt \$50.00

J24 Misc \$50.00

CHANGE \$0.00

Thank You

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

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DRB #: 1005185 EPC #: 06 EPC - 01435 WORK ORDER #: 746882

LEGAL DESCRIPTION: Parcel 2-A-1 Land of Edmund I. Rady
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ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee, PE
ADDRESS: 128 Monroe St. NE PHONE: 268-8828
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: W Investments LLC CONTACT: Jim Wible
ADDRESS: 11101 Anaheim NE PHONE: _____
CITY, STATE: Alb, NM ZIP CODE: 87122

ARCHITECT: DPS CONTACT: Dan Monk
ADDRESS: 7601 Jefferson NE, Suite 100 PHONE: 761-9700
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

SURVEYOR: Tony Harris # 11463 CONTACT: Tony Harris
ADDRESS: _____ PHONE: _____
CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
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☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: Thursday, September 06, 2007 BY: Scott McGee

Isaacson & Arfman, P.A.

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Villa Loma Estates ZONE MAP / DRG. FILE #: F-22/D25
 DRB #: _____ EPC #: 06 EPC - 01435 WORK ORDER #: _____

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 ADDRESS: 128 Monroe St. NE PHONE: 268-8828
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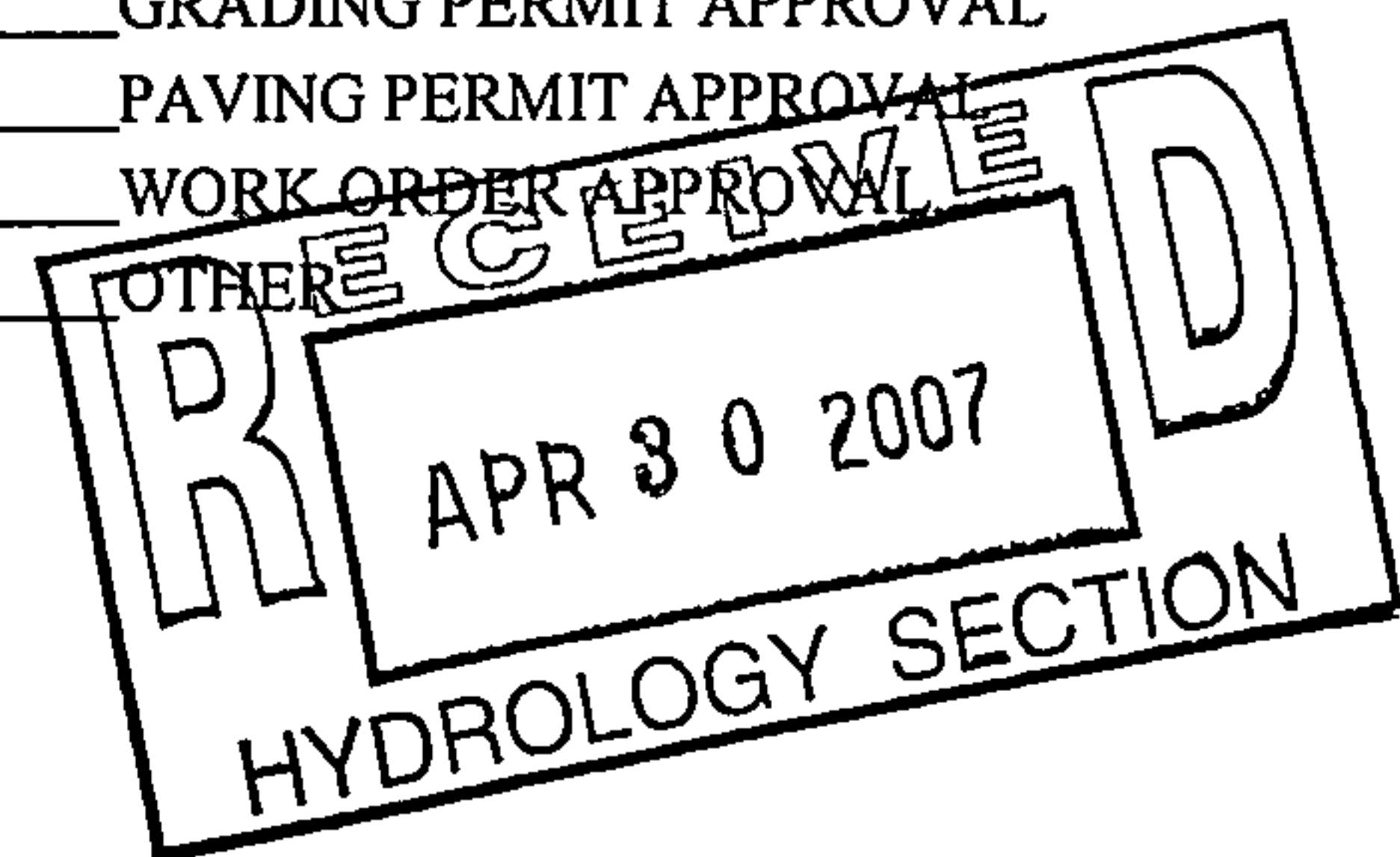
SURVEYOR: Tony Harris # 11463 CONTACT: Tony Harris
 ADDRESS: _____ PHONE: _____
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
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 _____ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
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 _____ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:
 _____ YES
☒ NO
 _____ COPY PROVIDED

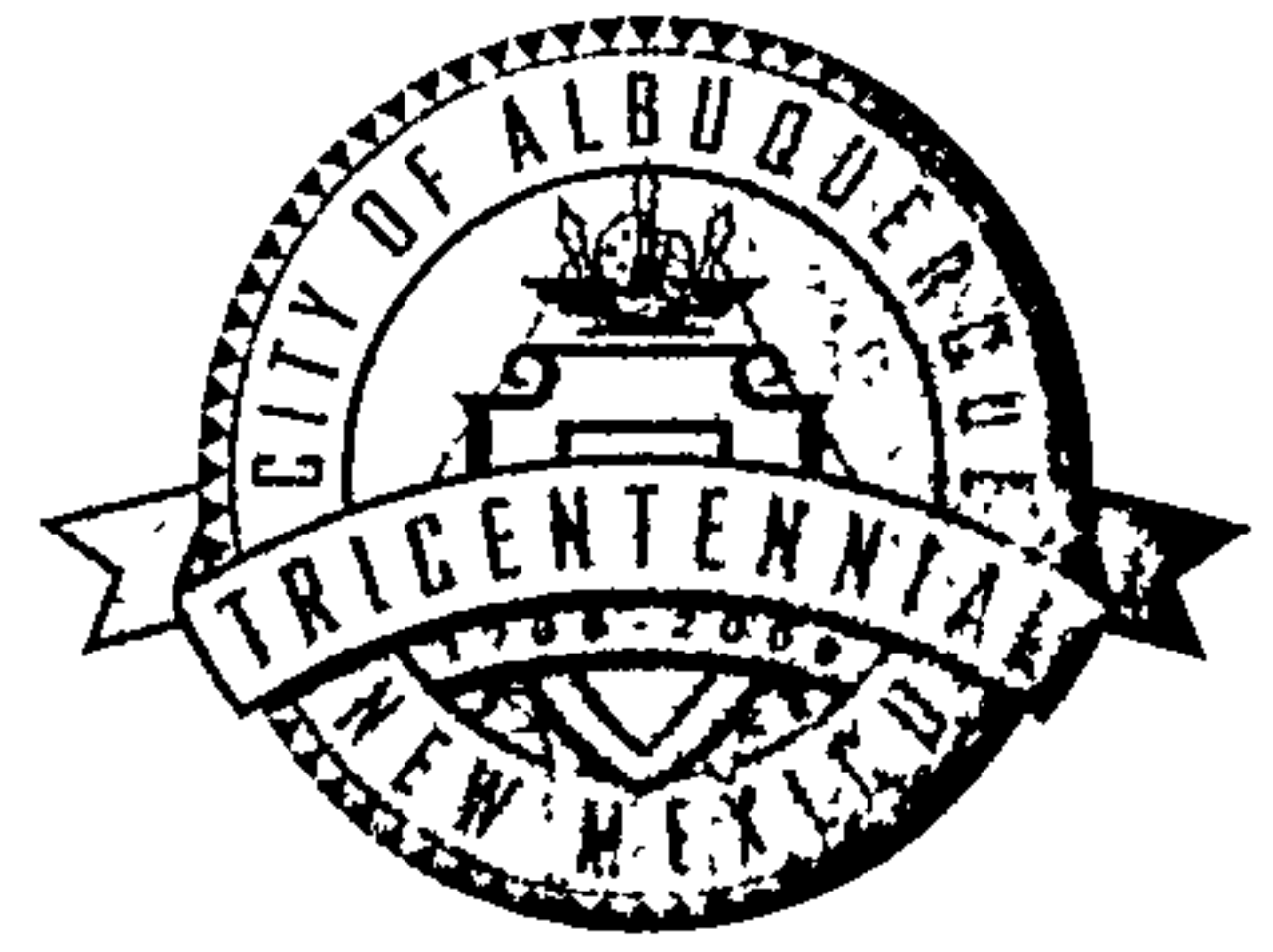


DATE SUBMITTED: Monday, April 30, 2007 BY: Scott McGee
 Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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CITY OF ALBUQUERQUE



April 30, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Rowland Site Townhomes, Engineer's Stamp dated 4-30-07 (F22/D25)
Lot 2A1 of the Lands of Edmund I. Rady

Dear Mr. McGee,

Based on the information contained in your submittal received on April 30, 2007, the above referenced plan is approved for Preliminary Platting Action by the DRB.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

P.O. Box 1293

Albuquerque

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

cc: file (F22/D25)

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



March 19, 2007

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Rowland Site Townhomes, Engineer's Stamp dated 3-1-07 (F22/D25)
Lot 2A1 of the Lands of Edmund I. Rady

Dear Mr. McGee,

Based on the information contained in your submittal received on March 2, 2007, the above referenced plan is approved for Preliminary Platting Action by the DRB.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



October 25, 2006

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Rowland Site Townhomes, Engineer's Stamp dated 10-17-06 (F22/D25)
Lot 2A1 of the Lands of Edmund I. Rady

Dear Mr. McGee,

Based on the information contained in your Conceptual Grading and Drainage Plan received on October 17, 2006, the above referenced plan is approved for DRB action on the Site Development Plan for Subdivision and Site Development Plan for Building Permit. However, please be advised that a more detailed, constructible, and certifiable plan will be necessary for a concurrent platting action.

If you have any questions or need additional information, feel free to contact me at 924-3990.

P.O. Box 1293

Sincerely,

Albuquerque

Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

New Mexico 87103

cc: file (F22/D25)

www.cabq.gov



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

*Thomas O. Isaacson, PE & LS • Fred C. Arfman, PE
Scott M. McGee, PE*

October 17, 2006

Mr. Jeremy Hoover
Hydrology Development Section
Development & Building Services Division
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Rowland Site Townhomes (F22/D25)

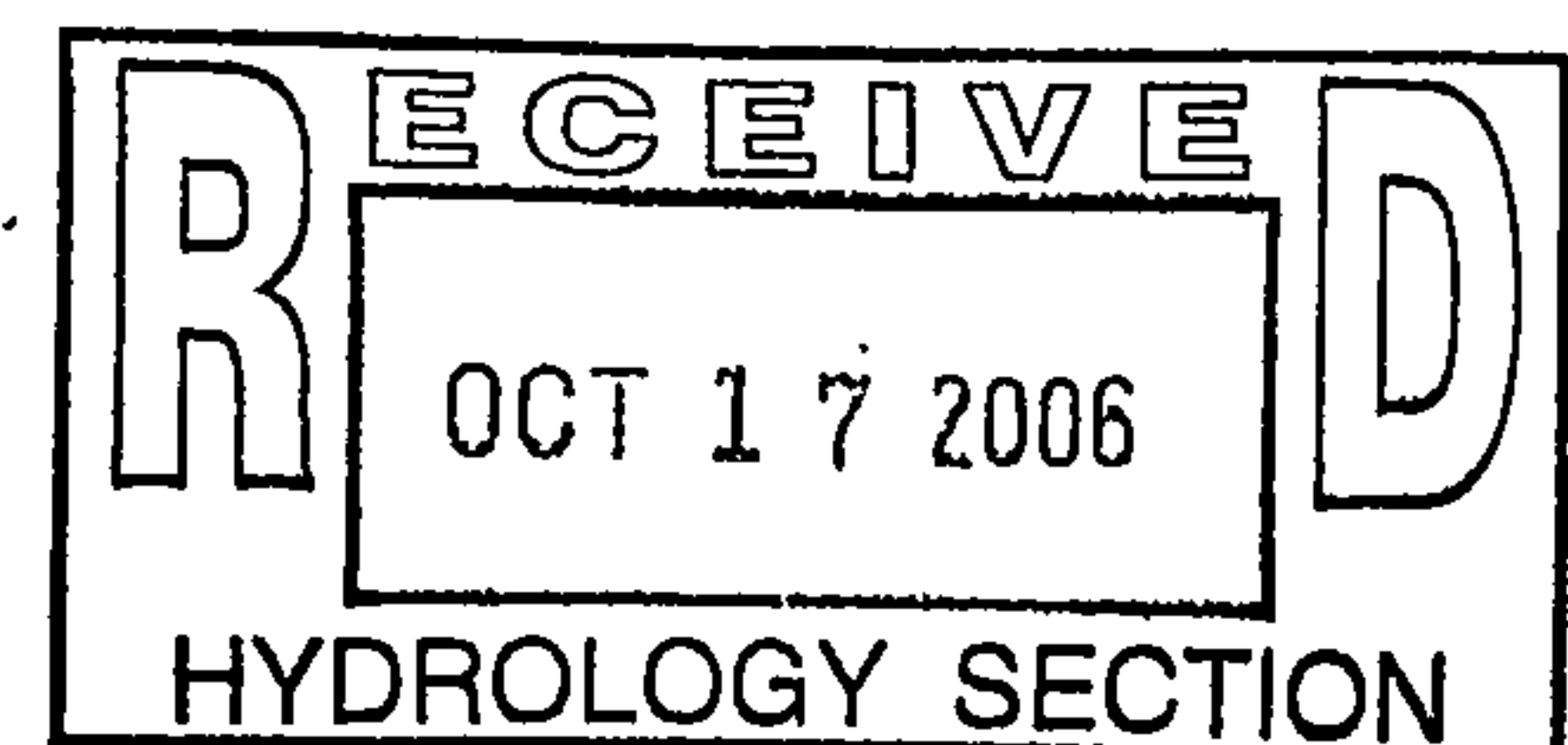
Dear Mr. Hoover:

Thank you for your review comments of October 11. I remind you that this submittal is a Conceptual Grading & Drainage Plan and is NOT intended for construction. The revised plan submitted herewith addresses your comments as follows:

- Proposed interior driveway grades have been revised.
- Keyed Note 5 has been revised as a retaining wall with corresponding line type added to the legend.
- Spot elevations have been revised.
- Keyed Note 7 has been added to require SAS drain at refuse enclosures with spot elevations added to plan.
- The "squiggle" has been identified in the legend as a bicycle rack.
- Proposed elevations have been extended through east drive aisle.
- Backyards will drain as shown by flow arrows and proposed contours. Individual lots are defined by individual building footprints with the open space tract covered by a blanket private drainage easement granted by plat.
- The survey benchmark has been referenced.
- The Montgomery Blvd. access drives are existing and will be modified. Construction-level drawings will either be reviewed with future Building Permit or DRC drawings.
- The pedestrian trail is proposed to be compacted crusher fines -- elevations have been added.

Sincerely,
ISAACSON & ARFMAN, P.A.

Scott M. McGee, PE
SMM/rtl



128 Monroe St. NE • Albuquerque, NM 87108 • (505) 268-8828 • FAX (505) 268-2632

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rowland Site Townhomes
PROJECT TITLE: 12401 Montgomery Townhomes
DRB #: _____ EPC #: _____ ZONE MAP / DRG. FILE #: F-22/D25
WORK ORDER #: _____

LEGAL DESCRIPTION: Parcel 2-A-1 Land of Edmund I. Rady
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SURVEYOR: Tony Harris # 11463 CONTACT: Tony Harris
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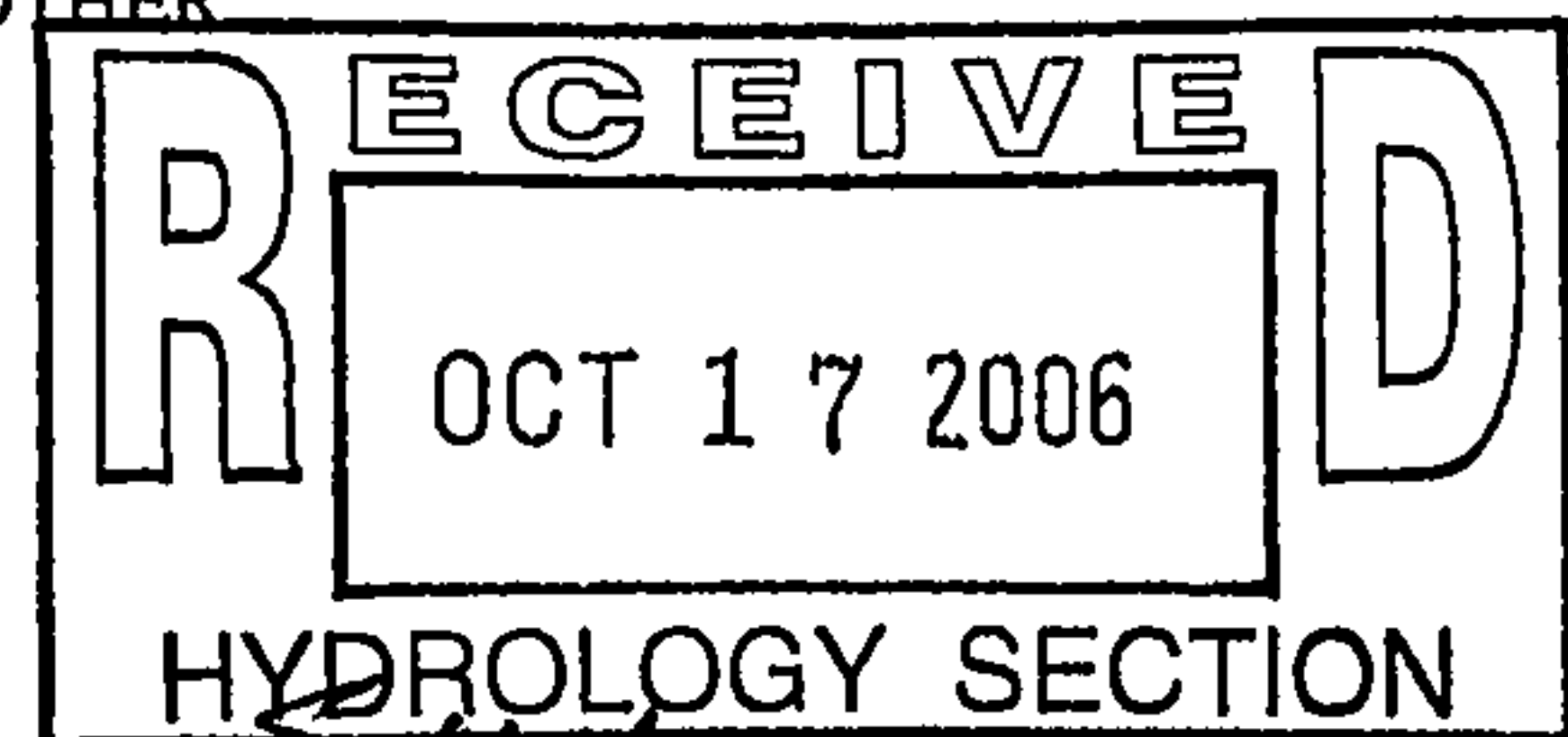
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☒ NO
☐ COPY PROVIDED

RESUBMITTAL



DATE SUBMITTED: Tuesday, October 17, 2006 BY: Scott McGee
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME R W Investments LLC
AGENT FRED ARFMAN / ISAACSON ARFMAN
ADDRESS 128 MONROE
PROJECT & APP # 12401 Montgomery Bld NE
PROJECT NAME Rowland Site Townhomes
12401 MONTGOMERY TOWNHOMES

\$ 441032/3424000 Conflict Management Fee
\$ 441006/4983000 DRB Actions
\$ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ 441018/4971000 Public Notification
\$ 100.00 50.00 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 100.00 50.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

ISAACSON AND ARFMAN P A 128 MONROE ST NE ALBUQUERQUE, NM 87108-1247 268-8828		17319 95-219/1070 176 1350743997
DATE <u>10/4/06</u>		
PAY TO THE ORDER OF <u>City of Albuquerque</u>		\$ <u>100.00</u>
<u>One Hundred + 00/100</u>		***DUPLICATE*** City of Albuquerque Treasury Division
WELLS FARGO Wells Fargo Bank, N.A. New Mexico wellsfargo.com		10/4/2006 3:30PM LOC: ANNX RECEIPT# 00065798 WSH 008 TRANS# 0038 Account 441006 Fund 1111 Amount 4983000
FOR #1562		100.00 124 Misc 100.00 CK 100.00 CHANGE 0.00
00017319 107002192 135074399		Thank You

CITY OF ALBUQUERQUE



October 11, 2006

Scott M. McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe NE
Albuquerque, NM 87108

Re: Rowland Site Townhomes, Engineer's Stamp dated 10-4-06 (F22/D25)
Lot 2A1 of the Lands of Edmund I. Rady

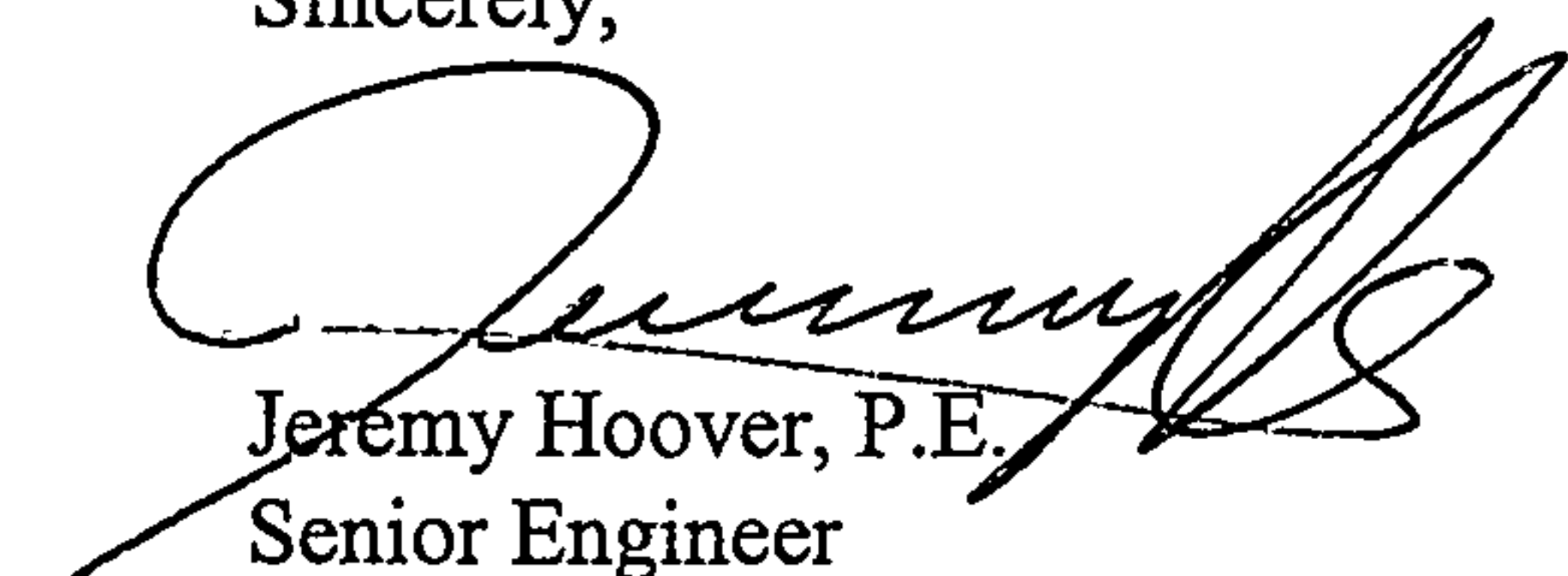
Dear Mr. McGee,

Based on the information contained in your Conceptual Grading and Drainage Plan received on October 4, 2006, there are some additional items that must be addressed prior to approval for DRB action. Those items are detailed below.

- I am concerned about the finished floor elevations shown for the east side of the site. You show a FF elevation of 10.5 between the 11 and 12 contours as well as a FF of 12 between the 12 and 13 contours.
- Your keyed note 5 refers to a garden wall but points to what, by line type, appears to be curb and gutter at the east side of the site. Please clarify this with additional entries in the legend.
- There are spot elevation symbols shown without labels. As part of the revision, please standardize the icon sizes and utilization to match the legend and symbolically differentiate between concrete (dumpster pads etc.) and asphalt paving.
- Runoff from dumpster enclosures may not be transported off-site via surface flow. As such, drains to the sanitary sewer with spot elevations must be included with the site work. This will be a prerequisite to work order approval.
- What does the squiggle at the southern parking area represent?
- Please continue the new elevation contours down the central drive access.
- How will the backyards drain? Are cross-lot swales and associated private drainage easements necessary?
- On what benchmark are the bearings and elevations based?
- Are the access drives existing or will they be modified / installed as part of the site redevelopment? Please provide quarter-point spot elevations if reconstruction / new construction is required.
- How, and of what material is the proposed pedestrian walkway / trail to be constructed? Please provide spot elevations along its alignment.

If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,


Jeremy Hoover, P.E.
Senior Engineer
Hydrology Section
Development and Building Services

Albuquerque - Making History 1706-2006
cc: file (F22/D25)

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Rowland Site Townhomes
~~12401 Montgomery Townhomes~~
 DRB #: _____ EPC #: _____ ZONE MAP / DRG. FILE #: F-22 / D25
 WORK ORDER #: _____

LEGAL DESCRIPTION: Parcel 2-A-1 Land of Edmund I. Rady
 CITY ADDRESS: 12401 Montgomery NE

ENGINEERING FIRM: Isaacson & Arfman, P.A. CONTACT: Scott McGee, PE
 ADDRESS: 128 Monroe St. NE PHONE: 268-8828
 CITY, STATE: Albuquerque, NM ZIP CODE: 87108

OWNER: W Investments LLC CONTACT: Jim Wible
 ADDRESS: 11101 Anaheim NE PHONE: _____
 CITY, STATE: Alb, NM ZIP CODE: 87122

ARCHITECT: DPS CONTACT: Dan Monk
 ADDRESS: 7601 Jefferson NE, Suite 100 PHONE: 761-9700
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87109

SURVEYOR: Tony Harris # 11463 CONTACT: Tony Harris
 ADDRESS: _____ PHONE: _____
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR / LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
- ☐ OTHER

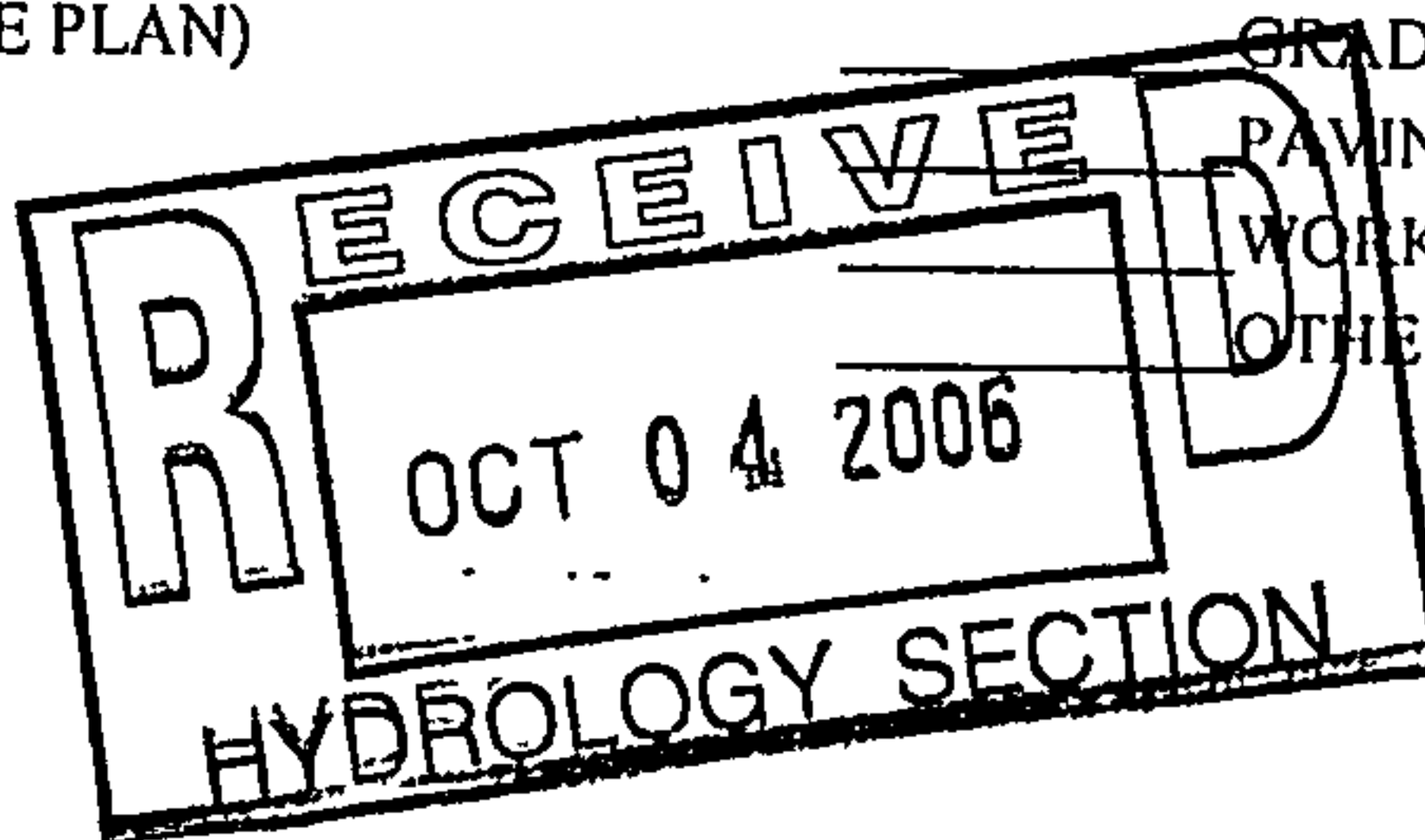
See paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPR.
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER



DATE SUBMITTED: Wednesday, October 04, 2006 BY: Scott McGee

Isaacson & Arfman, P.A.

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