

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 15, 2024

Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM 87108

**RE: Villa Loma Estates Phase 5
Grading & Drainage Plan
Engineer's Stamp Date: 04/05/24
Hydrology File: F22D025**

Dear Ms. Donart:

Based upon the information provided in your submittal received 04/05/2024, the Grading & Drainage Plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

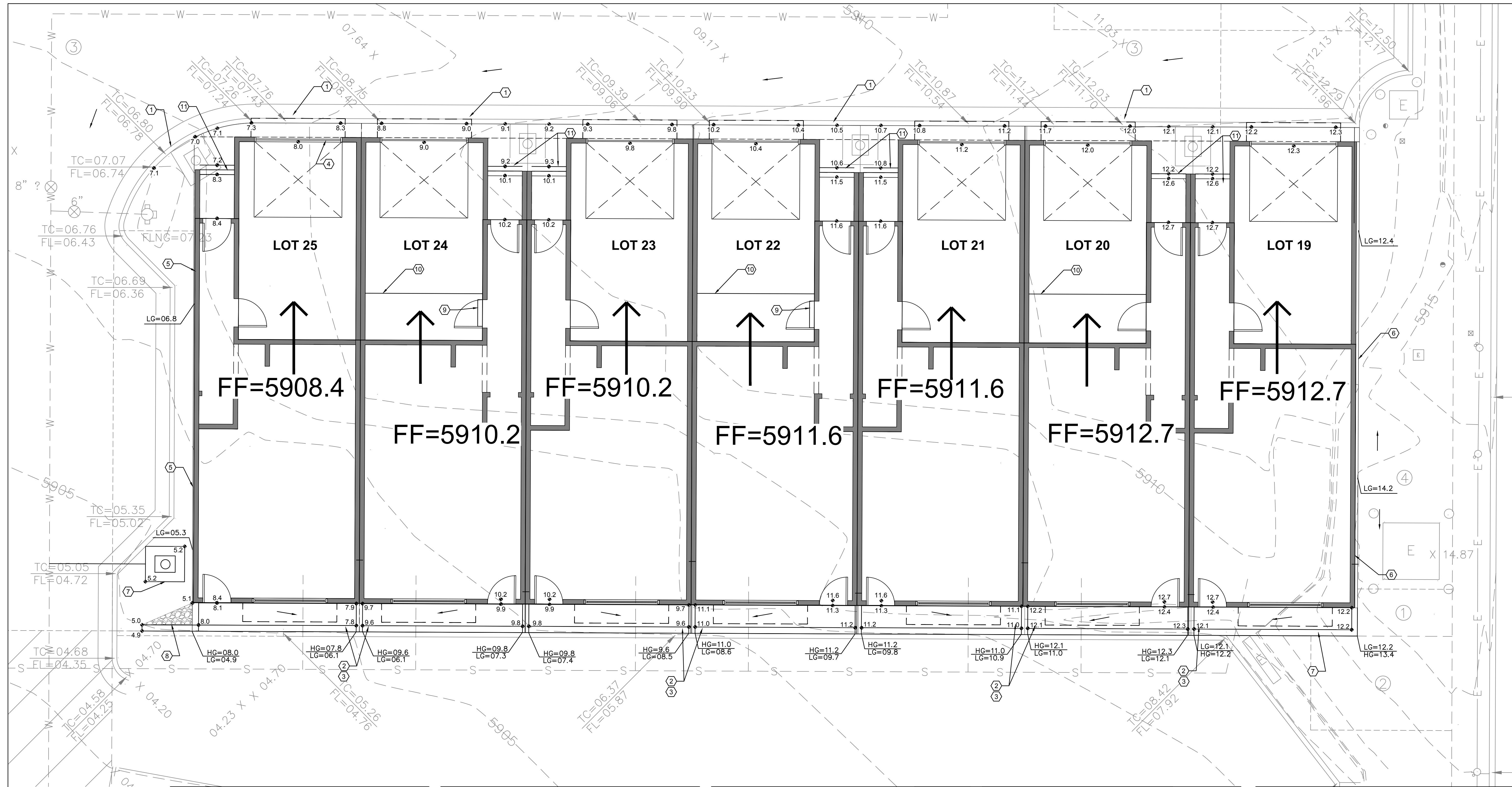
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



GENERAL NOTES

- ALL OF THE GARAGES FOR LOTS 24, 22, 20 WILL ALL INCLUDE A 3/4" LIP, 4" CURB STOP, AND 2% SLOPE IN ORDER FOR ANY WATER TO DRAIN TOWARDS VILLA LOMA LN.
- THE GARAGE FOR LOTS 25, 23, 21, 19 WILL ONLY INCLUDE 3/4" LIP AND 2% SLOPE
- REFERENCE THE ORIGINAL APPROVED VILLA LOMA ESTATES GRADING PLAN FOR THE HYDROLOGY CALCULATIONS. HYDROLOGY #F22D025 DATED 9-18-07

PROJECT INFORMATION

PROPERTY: THE SITE IS UNDEVELOPED WITHIN C.O.A VICINITY MAP F-22. THE SITE IS BOUNDED TO THE NORTH BY VILLA LOMA LN, TO THE EAST BY A DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE WEST BY VILLA LOMA LN.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE 7 RESIDENTIAL LOTS THAT WERE PREVIOUSLY DESIGNED BY THE VILLA LOMA ESTATES GRADING & DRAINAGE PLAN DATED 9/18/2007

LEGAL: LT 19-25, VILA LOMA ESTATES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY.

BENCHMARK: ELEVATIONS ARE BASED ON AGRS STATION NO. "17-G22" HAVING AN ELEVATION OF 5917.74, NAVD 1988

FLOOD HAZARD: PER F.E.M.A FLOOD MAP #35001C0163H EFF. 8/15/2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: ALL ROOF DRAINS MUST DISCHARGE TO THE INTERIOR STREET, THE LAND TREATMENTS AND THEREFORE THE DEVELOPED FLOW ARE UNCHANGED FROM THE ORIGINAL CONCEPT.

KEYED NOTES

- EXISTING 4" MOUNTABLE ROLL CURB.
- TURN ONE CMU BLOCK (OR PROVIDE TWO 6" DIA. OPENINGS).
- CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE SHOWN. FINISH GRADE ELEVATIONS ON BOTH SIDES OF THE WALL. STRUCTURAL DETAILS BY OTHERS.
- DUE TO PART OF THE DRIVE DRAINING TOWARDS GARAGE ENSURE THERE IS 0.75" LIP AT THE ENTRANCE TO GARAGE IN ORDER FOR FLOW TO BE DIRECTED AWAY FROM GARAGE.
- BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE THE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- BUILDING RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
- RELOCATE EXISTING WATER METER CAN.
- EXTEND WALL TO LIMITS SHOWN. 2:1 SLOPE TO MATCH EXISTING. ARMOR SLOPE WITH 4" MEAN DIA. FRACTURED FACE ROCK.
- 1"-6" STEP BETWEEN GARAGE AND HOUSE.
- 4" HIGH CURB STOP.
- STEPS AS NECESSARY TO ACHIEVE ELEVATION CHANGE.

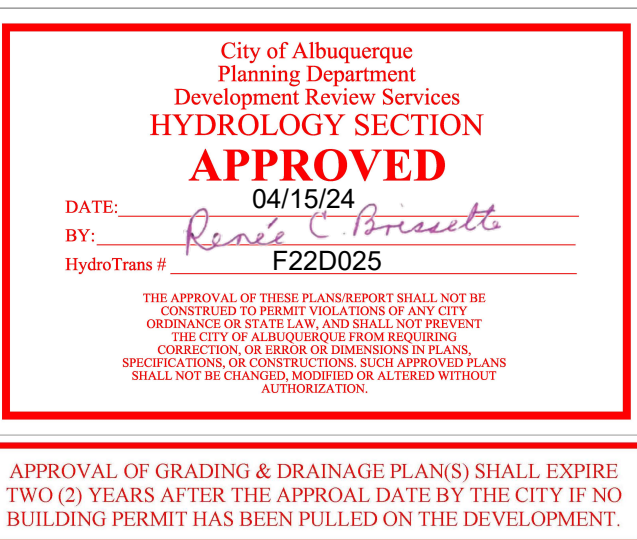
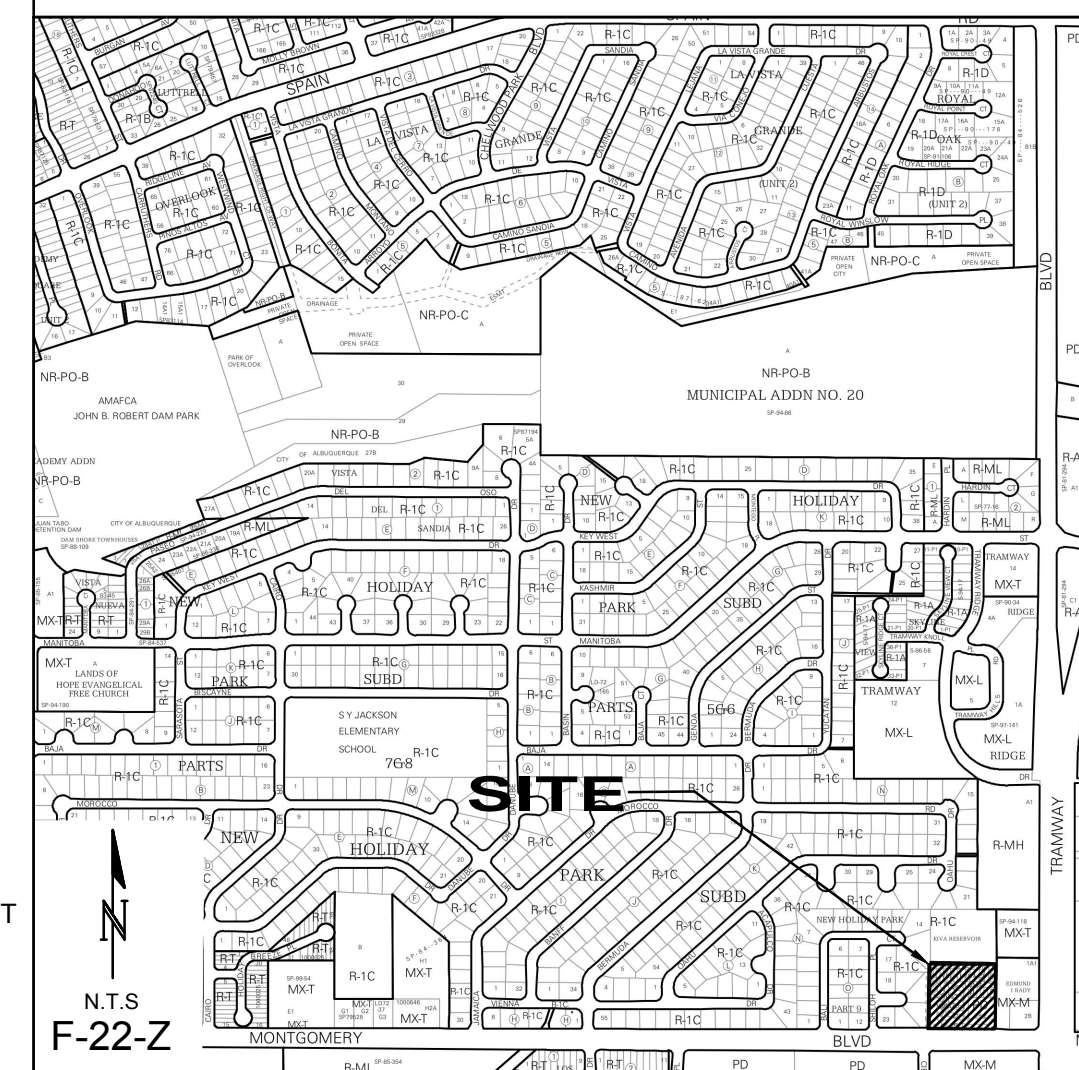
LEGEND

- 80 — PROPOSED 5.0' CONTOUR
- 81.5 — PROPOSED 1.0' CONTOUR
- 82.56 — PROPOSED SPOT ELEVATION
- > SURFACE FLOW DIRECTION
- FF = 5912.9 FINISHED FLOOR ELEVATION
- HG = 5912.9 GRADE ON HIGH SIDE OF RETAINING WALL
- LG = 5912.9 GRADE ON LOW SIDE OF RETAINING WALL
- > DIRECTION OF ROOF FLOW
- ANGULAR ROCK EROSION PROTECTION

EASEMENT LEGEND

- 1 5' X 10' PUBLIC UTILITY EASEMENT
- 2 10' X 15' TRANSFORMER EASEMENT
- 3 20' ABCWUA PUBLIC WATERLINE EASEMENT
- 4 10' UNDERGROUND PUBLIC UTILITY EASEMENT

C.O.A. VICINITY MAP



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Civil Engineering Consultants

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GENEVIÈVE L. DOMPT
NEW MEXICO
15088
PROFESSIONAL ENGINEER
DRAFT

Engineer 04/05/2024

VILLA LOMA ESTATES
PHASE 5

VILLA LOMA ESTATES, NM

DESIGN	ISSUE: DEVELOPMENT
PROJECT	NUMBER: IA 2660
FILE:	2660 CG-101.dwg
DRAWN BY:	BCK
CHECKED BY:	BJB/GLD
DATE:	4/5/2024

SHEET TITLE

GRADING & DRAINAGE PLAN

SHEET NUMBER

CG-101