

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

December 11, 2025

Genevieve Donart, P.E.  
Isaacson & Arfman, Inc.  
128 Monroe St. NE  
Albuquerque, NM 87108

**RE: Villa Loma Estates Phase 5 – Lots 19-25  
Request for Pad Certification – Accepted  
Engineer's Certification Date: 11/07/2025  
Engineer's Stamp Date: 04/05/2024  
Hydrology File: F22D025  
Case # HYDR-2025-00423**

Dear Ms. Donart:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based upon the information provided in your Certification received 11/24/2025 and site visit on 12/11/2025, the above referenced Certification is acceptable for Building Pad Certification for the Villa Loma Estates Phase 5 – **Lots 19-25**. Please attach a copy of this approval letter and approved Grading & Drainage Plan with each lot's Building Permit submittal.

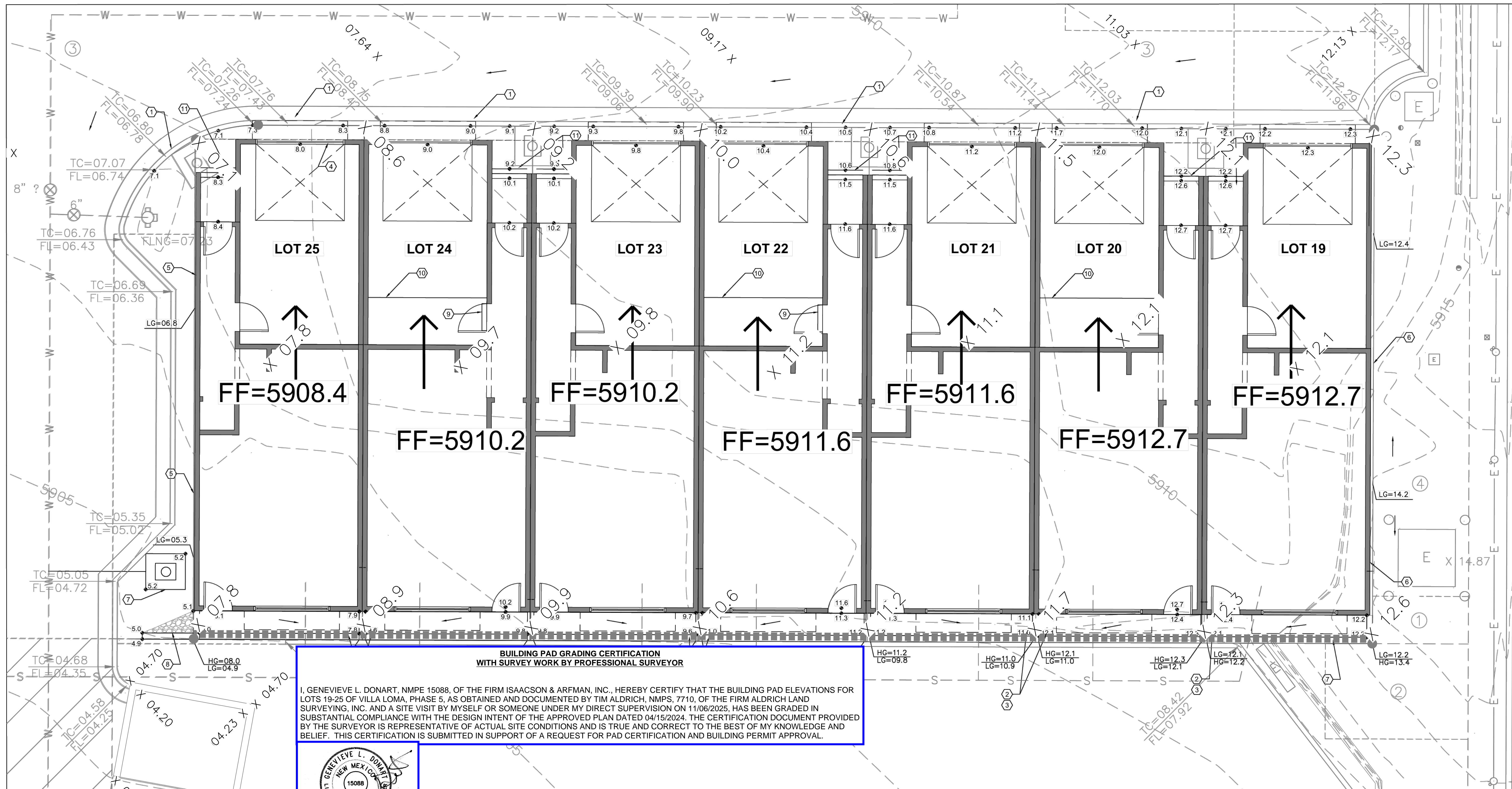
**PRIOR TO CERTIFICATE OF OCCUPANCY:**

1. Engineer's Certification, per the DPM Part 6-14 (F) : *Engineer's Certification Checklist For Non-Subdivision* is required.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

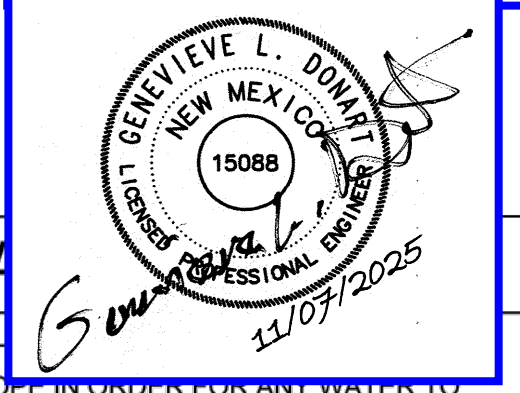
Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



**BUILDING PAD GRADING CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR**

I, GENEVIEVE L. DONART, NMPE 15088, OF THE FIRM ISAACSON & ARFMAN, INC., HEREBY CERTIFY THAT THE BUILDING PAD ELEVATIONS FOR LOTS 19-25 OF VILLA LOMA, PHASE 5, AS OBTAINED AND DOCUMENTED BY TIM ALDRICH, NMPS, 7710, OF THE FIRM ALDRICH LAND SURVEYING, INC. AND A SITE VISIT BY MYSELF OR SOMEONE UNDER MY DIRECT SUPERVISION ON 11/06/2025, HAS BEEN GRADED IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/15/2024. THE CERTIFICATION DOCUMENT PROVIDED BY THE SURVEYOR IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PAD CERTIFICATION AND BUILDING PERMIT APPROVAL.



- GENERAL NOTES**
- ALL OF THE GARAGES FOR LOT 19, 25, 23, 21, 19 WILL ONLY INCLUDE 3/4" LIP, 4" CURB STOP, AND 2% SLOPE IN ORDER FOR ANY WATER TO DRAIN TOWARDS VILLA LOMA LN.
  - THE GARAGE FOR LOTS 25, 23, 21, 19 WILL ONLY INCLUDE 3/4" LIP AND 2% SLOPE
  - REFERENCE THE ORIGINAL APPROVED VILLA LOMA ESTATES GRADING PLAN FOR THE HYDROLOGY CALCULATIONS, HYDROLOGY #F22D025 DATED 9-18-07

**PROJECT INFORMATION**

PROPERTY: THE SITE IS UNDEVELOPED WITHIN C.O.A VICINITY MAP F-22. THE SITE IS BOUNDED TO THE NORTH BY VILLA LOMA LN, TO THE EAST BY A DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH BY DEVELOPED COMMERCIAL PROPERTY, AND TO THE WEST BY VILLA LOMA LN.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE 7 RESIDENTIAL LOTS THAT WERE PREVIOUSLY DESIGNED BY THE VILLA LOMA ESTATES GRADING & DRAINAGE PLAN DATED 9/18/2007

LEGAL: LT 19-25, VILA LOMA ESTATES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY.

BENCHMARK: ELEVATIONS ARE BASED ON AGRS STATION NO. "17-G22" HAVING AN ELEVATION OF 5917.74, NAVD 1988

FLOOD HAZARD: PER F.E.M.A FLOOD MAP #35001C0163H EFF: 8/15/2012, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: ALL ROOF DRAINS MUST DISCHARGE TO THE INTERIOR STREET. THE LAND TREATMENTS AND THEREFORE THE DEVELOPED FLOW ARE UNCHANGED FROM THE ORIGINAL CONCEPT.

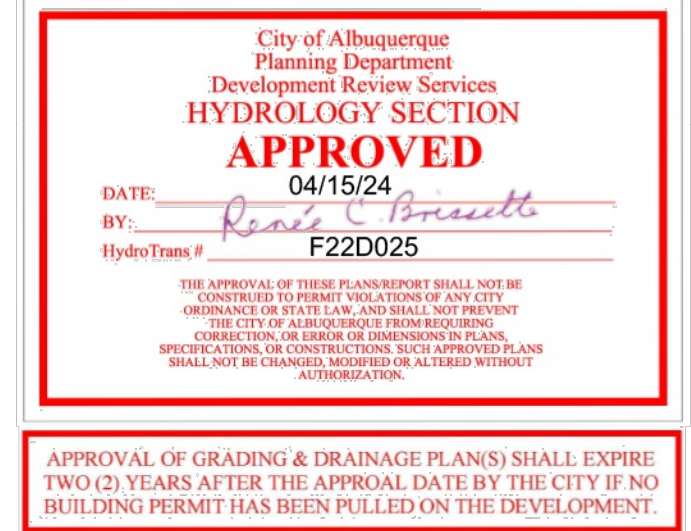
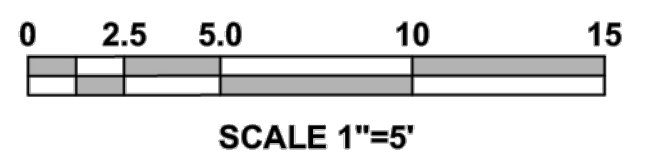
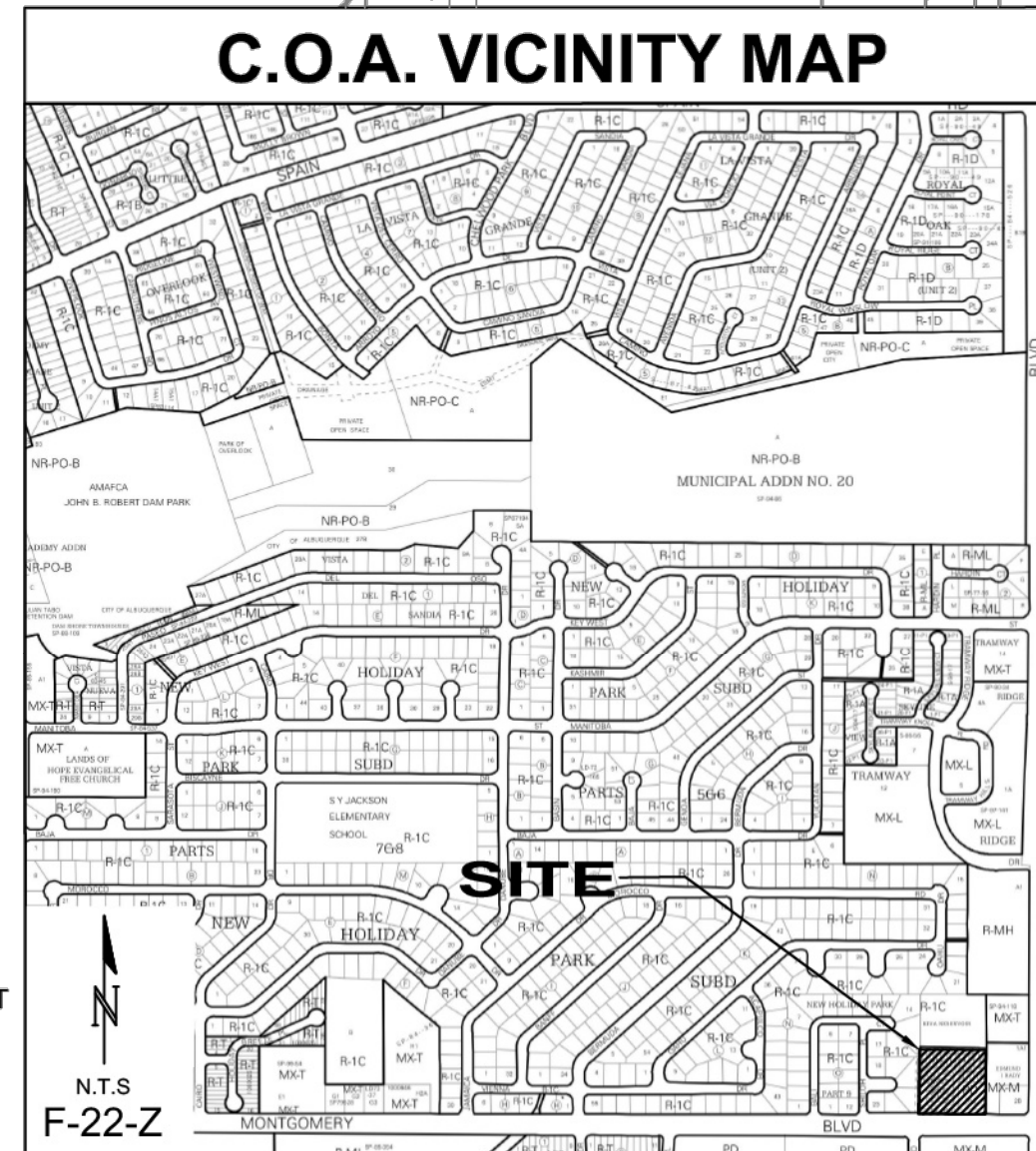
- KEYED NOTES**
- EXISTING 4" MOUNTABLE ROLL CURB.
  - TURN ONE CMU BLOCK (OR PROVIDE TWO 6" DIA. OPENINGS).
  - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE SHOWN. FINISH GRADE ELEVATIONS ON BOTH SIDES OF THE WALL. STRUCTURAL DETAILS BY OTHERS.
  - DUE TO PART OF THE DRIVE DRAINING TOWARDS GARAGE ENSURE THERE IS 0.75" LIP AT THE ENTRANCE TO GARAGE IN ORDER FOR FLOW TO BE DIRECTED AWAY FROM GARAGE.
  - BUILDING EXTENDED STEMWALL REQUIRED TO ACHIEVE THE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
  - BUILDING RETAINING STEMWALL REQUIRED TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL / STRUCTURAL PLANS.
  - RELOCATE EXISTING WATER METER CAN.
  - EXTEND WALL TO LIMITS SHOWN. 2:1 SLOPE TO MATCH EXISTING. ARMOR SLOPE WITH 4" MEAN DIA. FRACTURED FACE ROCK.
  - 1"-6" STEP BETWEEN GARAGE AND HOUSE.
  - 4" HIGH CURB STOP.
  - STEPS AS NECESSARY TO ACHIEVE ELEVATION CHANGE.

**LEGEND**

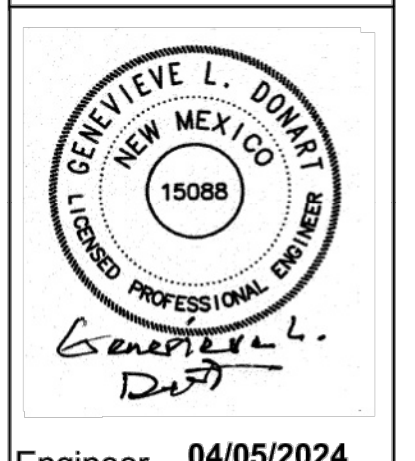
— 80 —	PROPOSED 5.0' CONTOUR
— 81.5 —	PROPOSED 5.0' CONTOUR
◆ 82.56	PROPOSED SPOT ELEVATION
→	SURFACE FLOW DIRECTION
FF = 5912.9	FINISHED FLOOR ELEVATION
HG = 5912.9	GRADE ON HIGH SIDE OF RETAINING WALL
LG = 5912.9	GRADE ON LOW SIDE OF RETAINING WALL
→	DIRECTION OF ROOF FLOW
⊗	ANGULAR ROCK EROSION PROTECTION

**EASEMENT LEGEND**

①	5' X 10' PUBLIC UTILITY EASEMENT
②	10' X 15' TRANSFORMER EASEMENT
③	20' ABCWUA PUBLIC WATERLINE EASEMENT
④	10' UNDERGROUND PUBLIC UTILITY EASEMENT



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Engineer 04/05/2024

**VILLA LOMA ESTATES PHASE 5**  
**VILLA LOMA ESTATES, NM**

DESIGN	DEVELOPMENT
ISSUE NUMBER:	IA 2660
PROJECT NUMBER:	2660 CG-101.dwg
FILE:	BGK
DRAWN BY:	BGK
CHECKED BY:	BGK
DATE:	4/5/2024

No	Date	Description
<b>SHEET TITLE</b>		
<b>GRADING &amp; DRAINAGE PLAN</b>		
<b>SHEET NUMBER</b>		
<b>CG-101</b>		