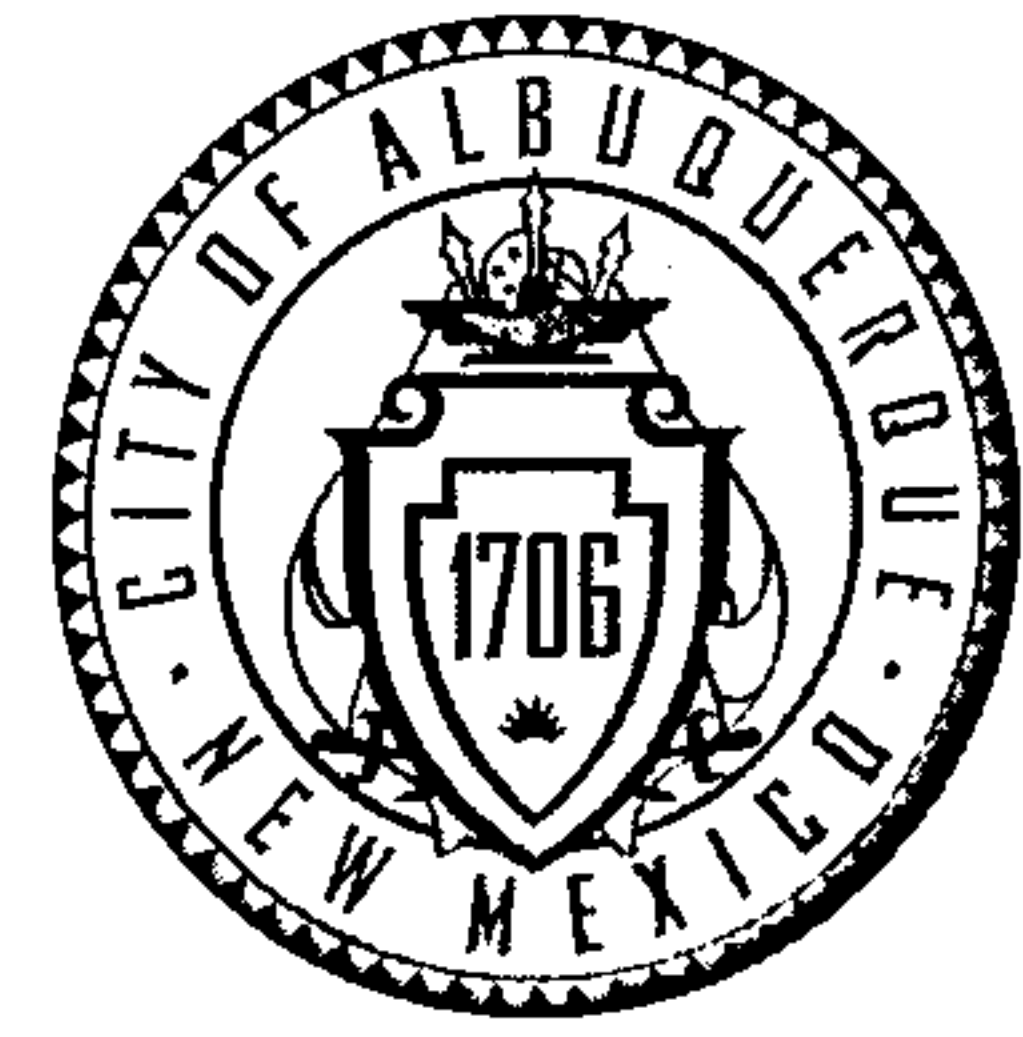


CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services

October 23, 2014

Steve Hamm, Chairman
High Desert Residential Owners Association (HDROA)
New Construction Committee (NCC)
PO Box 67590
Albuquerque, NM 87193-7590



Richard J. Berry, Mayor

RE: NCC's Review of Grading and Drainage Plans (F23D010)

Dear Mr. Hamm:

I recently sent a letter to Mr. Russ Welsch concerning the review and approval of Grading and Drainage plans. It is my understanding that Mr. Welsch has resigned, and so I am sending a new letter to the new chairman and any new board members to ensure that the NCC Board is aware of the City's position. The contents of the previous letter to Mr. Welsch are restated below, with the underlined and italicized section being added:

It has come to the City's attention that the agreement between HDROA and the City needs to be restated. The Drainage Report for Tract 13 at High Desert (October, 2002 by Bohannon Houston) states that the Grading and Drainage Plans (G&D Plans) on the estate lots were to be submitted to and approved by the HDROA NCC. Conversations with both Kym Dicome (Developer at the time) and Kevin Patton (Engineer) indicate that HDROA NCC agreed to contract a qualified engineer to review all G&D plans. It was with this understanding that the City agreed to sign off on building permits without going through the hydrology section for a review. To honor the agreement, we would like to be sure that this practice is currently in place. *To ensure this practice is in place, an approval letter from a qualified engineer (with the Engineer's stamp on the letter) will be required for all new construction. The letter should be attached to the Grading and Drainage plan when submitted for Building Permit.*

The qualified engineer who reviews the G&D plans must ensure the Plan meets the City's Drainage Ordinance. Information on significant ordinance changes is attached. Primarily, stormwater control measures shall be designed to manage the "first flush" and control runoff generated by contributing impervious surfaces.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file; c.pdf: via Email: Recipient

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Drainage Report for Tract 13 @ High Desert

Oct 25, 2002 by BHI.

The site, Tract 13 Unit 1, contains 27 lots on approximately 38.02 acres. Each lot contains a maximum building envelope of 12,000 square feet. As with past "Estate Type" Subdivisions, the site will be encompassed by a private cross-lot drainage easements located outside of the building envelopes, public roadways and the existing AMAFCA easements. This private cross-lot easement allows storm water to generally take its natural course across the existing topography. Each lot owner is required to provide a separate, individual grading and drainage plan, stamped and certified by a New Mexico Professional Engineer requiring each lot to safely manage upland storm water flows. The individual lot grading and drainage plan is submitted to and approved by the High Desert Residential Owners Association New Construction Committee (HDROA NCC). Building or non-native landscaping will not be permitted outside building envelopes. Before the HDROA NCC accepts each home, the lot owner is required to submit a copy of the approved grading and drainage plan certified by their engineer. This certified plan is reviewed by NCC for compliance with the Design Guidelines and approved drainage report for the site-specific subdivision.

The above referenced report (HDDMMP) has projected storm water runoff values for fully developed conditions within the High Desert Development in order to properly size downstream storm drainage structures. This report compares the projected land treatment percentages assumed in the above report with a more accurate estimate from our enclosed preliminary plat layout. The following results indicate approximately the same values with only negligible differences:

	Land Treatment Types (%)				Peak Discharge
	A	B	C	D	(cfs/acre)
HDDMMP 1993	74.56	0.00	8.28	17.15	2.64
Tract 13 (Unit 1) *	76.90	4.63	0.00	18.47	2.80

In determining the land treatment percentages shown above, HDDMMP assumed 1 du/acre (Tract 13 has 0.71 du/acre) while this report calculated an

FILE: F23D10

Bohannon & Huston

From SHT 1 of 5
Plat of Lots 1-A THRU 27-A Wilderness Estates @
High Desert July, 2003.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum and also being the same as Bearings shown on the PLAT OF HIGH DESERT, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on November 23, 1993 in Volume 93C, Folio 325 as Document No. 93133004.
2. Distances are ground distances.
3. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped, "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS#6544".
4. Building shall conform to the conditions & restrictions described in the Declaration of Covenants for High Desert Residential Properties, recorded December 22, 1993 & High Desert Guidelines for Sustainability Estate.
5. A 20 foot strip(s) of property on each Lot adjacent to public right-of-way (as shown on this plat) in WILDERNESS ESTATES AT HIGH DESERT (shore) subject to the Private Landscaping Easement in favor of the High Desert Residential Owners Association to be reserved by a separate document.
6. The following is applicable to Private Cross Lot Drainage Easements only as shown on the Plat Of Wilderness Estates at High Desert recorded in the office of the County Clerk of Bernalillo County, New Mexico on April 14, 2003 in Book 2003C, Pg. 101 as Document No. 2003060078. All lots are subject to cross-drainage easements over that portion of each lot outside the building envelope, and over that portion of the building lot of each lot upon which there are no improvements, for drainage of storm water runoff. No person shall alter the drainage on any lot so as to materially increase the drainage of storm water onto adjacent portions of any lots or alter the surface of the cross-drainage easement without the consent of the owner of the affected property and the High Desert Residential Owners Association, Inc. Such cross-drainage easements are in addition to those created and described in the Declaration of Covenants, Conditions, and Restrictions for High Desert Residential properties, recorded December 22, 1993 in Book 93-36, pages 1-87, records of Bernalillo County, New Mexico (the "Declaration"). The owner of each lot will maintain the cross-drainage easement. If the owner fails to maintain the cross-drainage easement, or alters the surface of the cross-drainage easement, High Desert Residential Owners Association, Inc. will have the right to perform such maintenance as set forth in the Declaration and will have the right to restore the surface of the cross-drainage easement. The cross-drainage easement over each lot will not restrict the right of the owner of the lot to construct reasonable driveways and walkways from the public street to the building envelope over the lot subject to the cross-drainage easement, as provided in the Declaration. Pursuant to the Declaration, the owner of each lot shall design improvements to the lot in conformance with the most recent High Desert Guidelines for Sustainability, and shall provide a certificate, as provided in the Guidelines for Sustainability, stamped by a registered New Mexico Professional Engineer, indicating the grading and drainage improvements are in substantial conformance with the plan approved by the High Desert new construction committee.
7. Those portions of each lot in WILDERNESS ESTATES AT HIGH DESERT which are i.) outside the building envelopes as indicated on Sheets 3 thru 5 and ii.) outside the easement in favor of AMAFCA and the High Desert Residential Owners Association are subject to an Easement Agreement in favor of the City of Albuquerque recorded by separate document.
8. Lots 8-A, 10-A, 11-A, 19-A and 20-A may require private sanitary sewer pumping facilities.
9. Drainage Easement granted to AMAFCA and High Desert Residential Owners Association with the filing of this Plat is subject to the existing easement agreement (Bear Arroyo) granted to AMAFCA and High Desert Residential Owners Association filed: November 12, 1993 (Bk. 93-32, Pgs. 3894-3918) as Document No. 93128205.
10. Thirty (30) foot easement across lot 9A shall include the right of the City to a permanent unobstructed vector truck access to SAS manhole #5. The maintenance of vector truck access within the SAS easement on lot 9A is the responsibility of the lot owner.

DRB # 100 2315

Harmon Rita T.

From: Dicome, Kym
Sent: Friday, September 12, 2014 4:28 PM
To: stephen.p.hamm@gmail.com
Cc: Harmon Rita T.
Subject: Estate G+D plans

Mr. Hamm;

There was an "agreement" that the City would NOT review the G+D plans because HDIC had an engineer on contract to review the plans from the builder's engineer. This created the required comfort level for both HDIC and the City. The unique drainage concepts for the estate (building envelope) lots are outlined in detail in the HD Guidelines, which are private, the City would not review them with this document. This situation arose when a g+d plan was submitted for building permit and the City gave comments based on our DPM, not the HD guidelines. The engineer, Jake Bordenave, told the engineer reviewing the plan that there was no reason for her to be reviewing it since it already had the NCC stamp. That is when I decided to email HDROA to find out what process was in place. I realize there are not many lots left but regardless, they should be designed and built in accordance with the guidelines. That can only be done if the HDROA has a way to have the g+d plans reviewed by an outside PE. It may be worth the extra money to have one "on call" who represent the interest of the HDROA and High Desert.

It is a beautiful place and the goal is to keep it that way.

Kym E. Dicome
Current Planning Manager
Urban Design and Development
Planning Department
City of Albuquerque
505-924-3814 direct

Kym E. Dicome
Current Planning Manager
Urban Design and Development
Planning Department
City of Albuquerque
505-924-3814 direct

Harmon Rita T.

From: Dicome, Kym
Sent: Friday, September 12, 2014 3:12 PM
To: Harmon Rita T.
Subject: FW: Drainage plans for the estate lots

This is not good. I don't think the City wants to take this on but....

Kym

From: Dicome, Kym
Sent: Friday, September 12, 2014 2:16 PM
To: Dicome, Kym
Subject: Fwd: Drainage plans for the estate lots

Sent from my iPhone

Begin forwarded message:

From: Stephen Hamm <stephen.p.hamm@gmail.com>
Date: September 12, 2014 at 2:07:17 PM MDT
To: <kdicome@cabq.gov>
Cc: Russ Welsch <hdroancc@gmail.com>, Sarah Hoey <Shoey@hoamco.com>
Subject: Re: Drainage plans for the estate lots

Hi Kym,

I am Steve Hamm, a member of the High Desert's NCC since the owners took control of the NCC back in February 2011. I've seen your name in so many files related to the work you did in the High Desert and I've often wished our all volunteer NCC could have someone like you on it. But our volume of work is so small compared to the years in which you kept things moving along. The NCC Chair is Russ Welsch and he is traveling this week, so I will respond.

Thank you for reaching out with this question as it is important to us and the City. The short answer is we do not have the expertise to review a G&D plan and we do not hire an engineer to review the G&D Plans submitted to the NCC.

We have members that are engineers in other areas and we do examine the G&D Plans for what seems reasonable to us. I would hazard a guess that we push back on a third or so of the plans that come to us because we see the slope of the land and wonder why the plan doesn't have a pond or another way to capture the running water. Most of the times we push back we get a revised plan that accounts for our concerns.

We only accept G&D Plans that show the licensed G&D Engineer stamp / signature and it is on that basis we "approve" the plan as an NCC. We rely on the certifying engineer's expertise and

we hope the engineer would not risk their license by certifying a G&D Plan that was deficient.

We do expect that the City's permitting department will review the G&D Plan as well. At least that is what the current members of the NCC believe happens after the builder brings our NCC Stamped Approved plans to the city's permitting department. Said differently, I for one hope the City does look critically at the G&D Plans because I worry that the certifying engineer working for the builder may not hold as high a standard as the City's permitting department, and two sets of trained eyes are better than one.

I hope this helps. Please feel free to reach out to me if there is follow up needed.

Steve Hamm – NCC member

From: Russ Welsch <hdroancc@gmail.com>
Date: Fri, 12 Sep 2014 13:25:03 -0600
To: Stephen Hamm <stephen.hamm@alumni.duke.edu>
Subject: Fwd: FW: Drainage plans for the estate lots

----- Forwarded message -----

From: High Desert Manager <highdesertmanager@hoamco.com>
Date: Fri, Sep 12, 2014 at 1:16 PM
Subject: FW: Drainage plans for the estate lots
To: Russ Welsch <hdroancc@gmail.com>

For your review please.

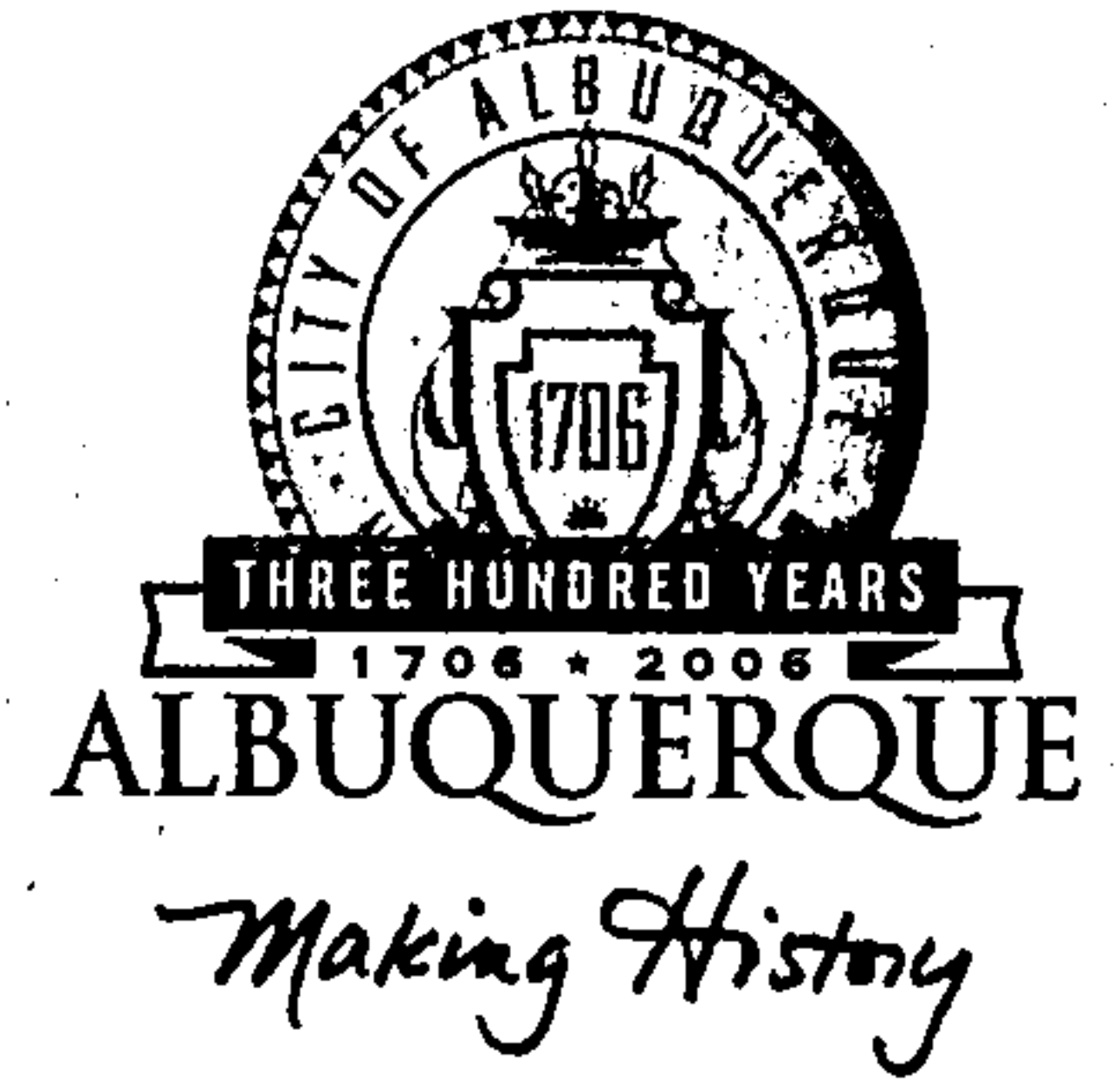
Sarah Hoey , CMCA, AMS | High Desert Residential Owners Association Manager
HOAMCO
Phone 505-314-5862 <<tel:505-314-5862>> | Fax 505-293-0217 <<tel:505-293-0217>>
East Side Main office: 505-224-2074 <<tel:505-224-2074>>
West Side Main Office: 505-888-4479 <<tel:505-888-4479>>
P.O. Box 67590 | Albuquerque, New Mexico 87193-7590
10555 Montgomery Boulevard N.E., Building One, Suite 100 | Albuquerque, New Mexico 87111
sarah@hoamco.com | HOAMCO.com
highdesertmanager@hoamco.com <<http://highdesertmanager@hoamco.com>>
High Desert website : www.highdesertliving.net <<http://www.highdesertliving.net>>

From: Dicome, Kym [<mailto:kdicome@cabq.gov>]
Sent: Friday, September 12, 2014 12:24 PM
To: High Desert Manager
Subject: Drainage plans for the estate lots
Importance: High

To whom it concerns;

The city hydrology received a copy of a drainage plan for a lot in the estate area. According to the plan engineer, Jake Bordenave, this plan does not have to go through the City's review/approval because it has been reviewed and approved the NCC. I know the process

CITY OF ALBUQUERQUE



July 19, 2005

Mr. Scott Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson St. NE
Albuquerque, NM 87109

**RE: THE WILDERNESS VILLAGE & COMPOUND SUBDIVISION(S)
(F-23/D10)
Engineers Certification for Release of Financial Guaranty
Approved Engineers Stamp dated 04/17/2003
Resubmitted/Certified Engineer Stamp dated 11/1/2004
Engineers Certification dated 07/18/2005**

Dear Scott:

P.O. Box 1293

Based upon the information provided in your Engineer's Certification Submittal dated 07/18/2004, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

Albuquerque

If you have any questions, you can contact me at 924-3982

New Mexico 87103

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

BLB

www.cabq.gov

C: Marilyn Maldonado, COA# 703781
File

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

PROJECT TITLE: Wilderness Village and Compound Subdivision ZONE MAP/DRG. FILE # F23/D10
DRB #: 1002315 EPC#: WORK ORDER#: 703781

LEGAL DESCRIPTION: High Desert Tract 13
CITY ADDRESS: South of the Intersection of Spain and High Desert Street

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Scott Steffen
ADDRESS: 7500 Jefferson NE - Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Mesa Verde Development CONTACT: John Clarke
ADDRESS: 8300 Carmel Ave NE, Ste 401 PHONE: 828-9900
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

SURVEYOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CONTRACTOR: CONTACT:
ADDRESS: PHONE:
CITY, STATE: ZIP CODE:

CHECK TYPE OF SUBMITTAL:

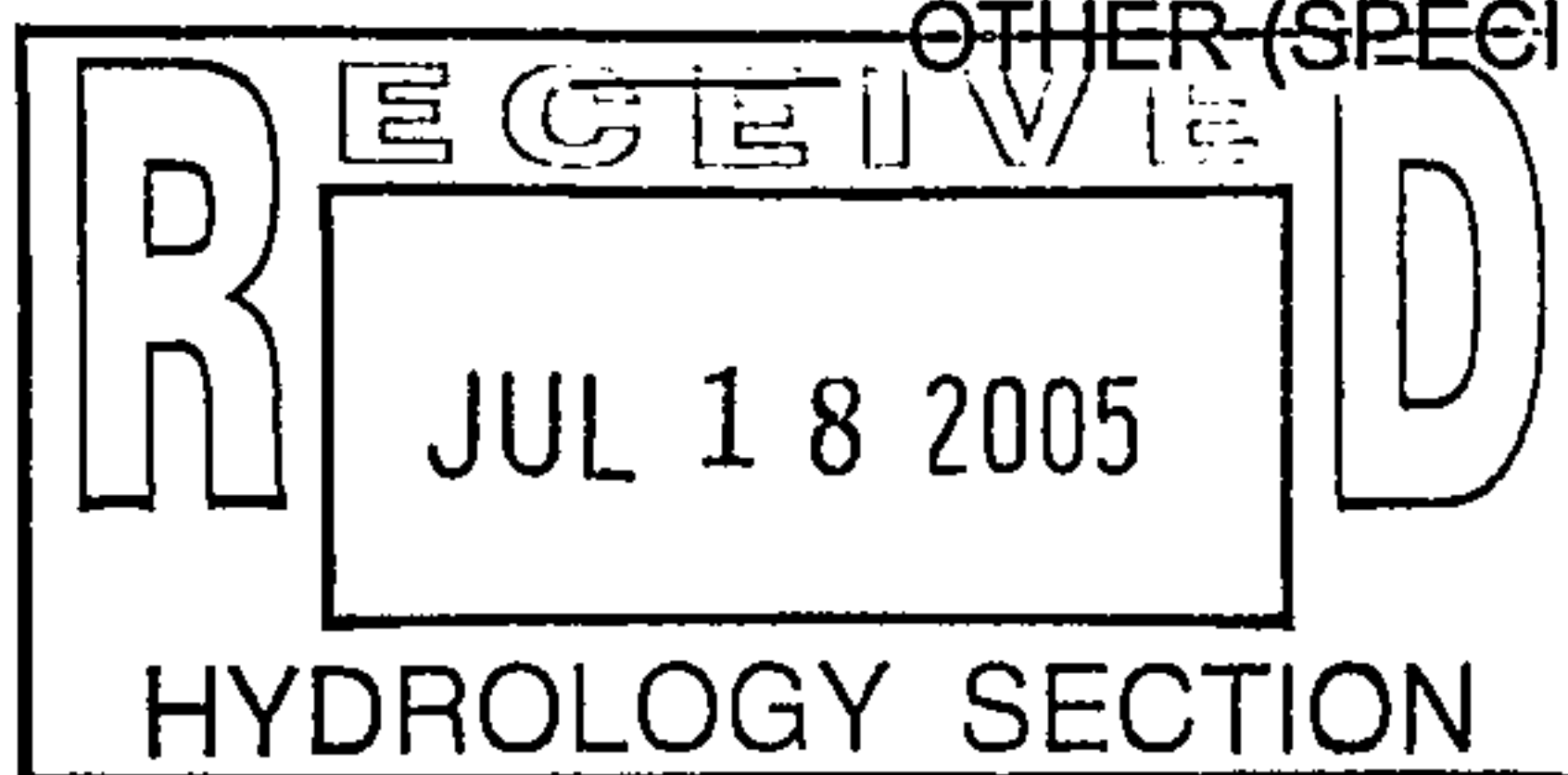
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 7/18/05 BY: Scott Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 27, 2002

Scott Steffen, PE
Bohannon Huston, Inc
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Wilderness Compound at High Desert Subdivision Revised Grading Plan
Engineer Stamp dated 4-17-03 (F23/D10)**

Dear Mr. Steffen,

Based upon the information provided in your submittal dated 4-17-03, the above referenced plan is approved for Grading Permit. This is now the official plan that must be certified in order to release the SIA and Financial Guarantee.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Chuck Caruso, CoA
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: The Wilderness Subdivision at High Desert ZONE MAP/DRG. FILE # F23/D10
DRB #: 1002315 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 13B, High Desert
CITY ADDRESS: South of the Intersection of Spain and High Desert Street

ENGINEERING FIRM: Bohannon Huston, Inc. CONTACT: Scott Steffen
ADDRESS: 7500 Jefferson NE -- Courtyard I PHONE: (505) 823-1000
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Mesa Verde Development CONTACT: John Clarke
ADDRESS: 8300 Carmel Ave NE, Suite 401 PHONE: 828-9900
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 4/17/03 BY: Scott Steffen

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

*It was in the
Status Report book*

January 24, 2003

Joseph A. Martinenza
PBS&J
12101 Indian Creek Court
Beltsville, Maryland 20705

CAM
*THE WILDERNESS
@ HIGH DESERT*
CF-23/DLO

RE: Request for a Conditional Letter of Map Revision for High Desert Tract 13

**City of Albuquerque, New Mexico, Community No. 350002, FIRM Panel
35001C0163 E Effective Date April 2, 2003**

Dear Mr. Martinenza,

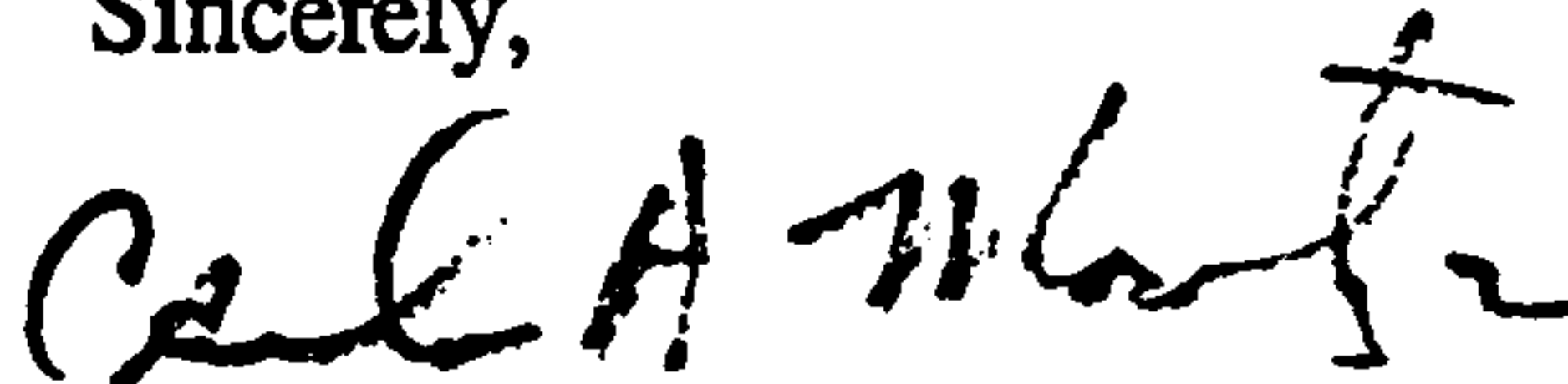
The purpose of this submittal is to convey the documents in order to request a Conditional Letter of Map Revision based on a proposed construction of a bridge and three culvert crossings to revise the 100-year floodplain.

Enclosed with this letter is the construction drawings for the structures, Hec-Ras computer runs, a Drainage Report for Tract 13 at High Desert, and a check in the amount of \$4,000.00.

As the City Floodplain Administrator, I have reviewed the response provided with this submittal. Our Community would greatly appreciate your prompt response and approval for this Conditional Letter of Map Revision.

If you have any questions, you can contact me at (505) 924-3982.

Sincerely,

A handwritten signature in black ink, appearing to read "Carlos A. Montoya". The signature is fluid and cursive, with the first name "Carlos" being more prominent.

Carlos A. Montoya

City Floodplain Administrator

C: Bill Blanton, Federal Emergency Management Agency Headquarters
Jack Quarles, FEMA Region VI
Craig W. Hoover, Bohannon Huston
Lynn Mazur, AMAFCA
Susan Calongne, Bernalillo County Floodplain Administrator



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 27, 2002

Scott Steffen, PE
Bohannon Huston, Inc
7500 Jefferson NE
Albuquerque, NM 87109

**Re: Wilderness Compound at High Desert Subdivision Revised Grading Plan
Engineer Stamp dated 4-17-03 (F23/D10)**

Dear Mr. Steffen,

Based upon the information provided in your submittal dated 4-17-03, the above referenced plan is approved for Grading Permit. This is now the official plan that must be certified in order to release the SIA and Financial Guarantee.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Public Works Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Brian Wolfe).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: Chuck Caruso, CoA
file