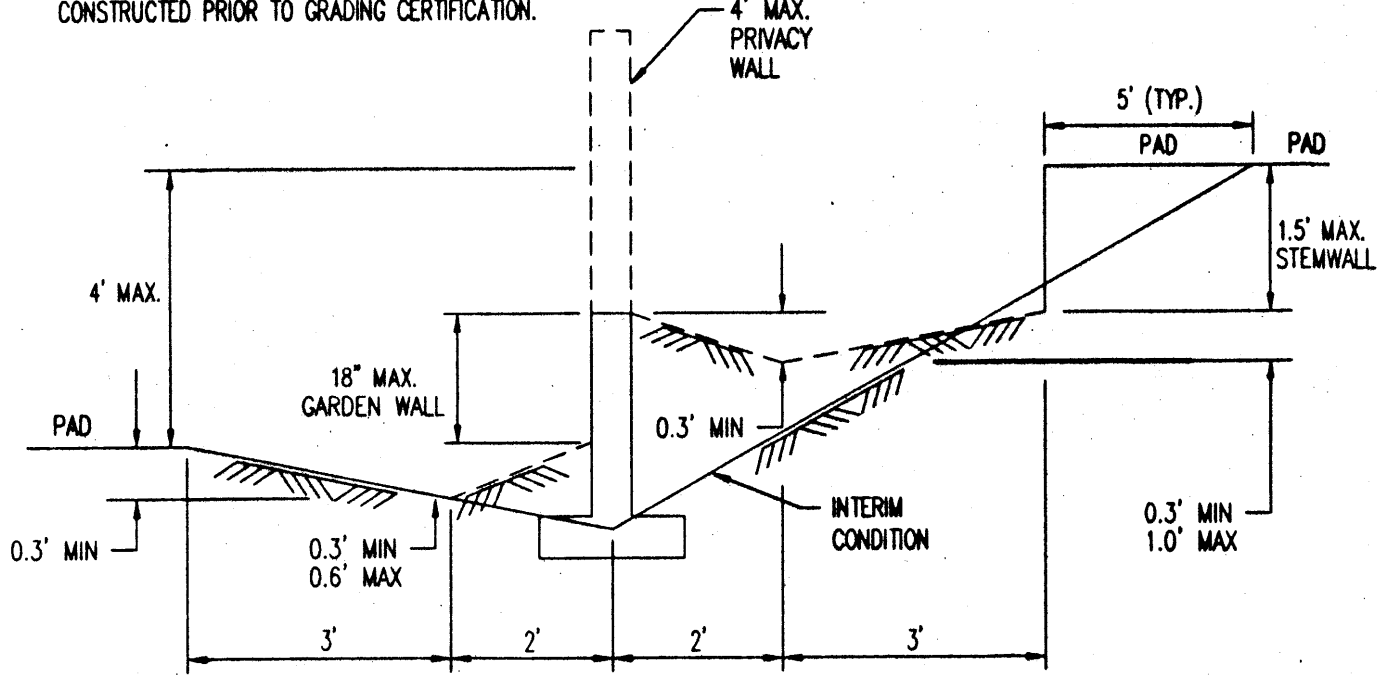
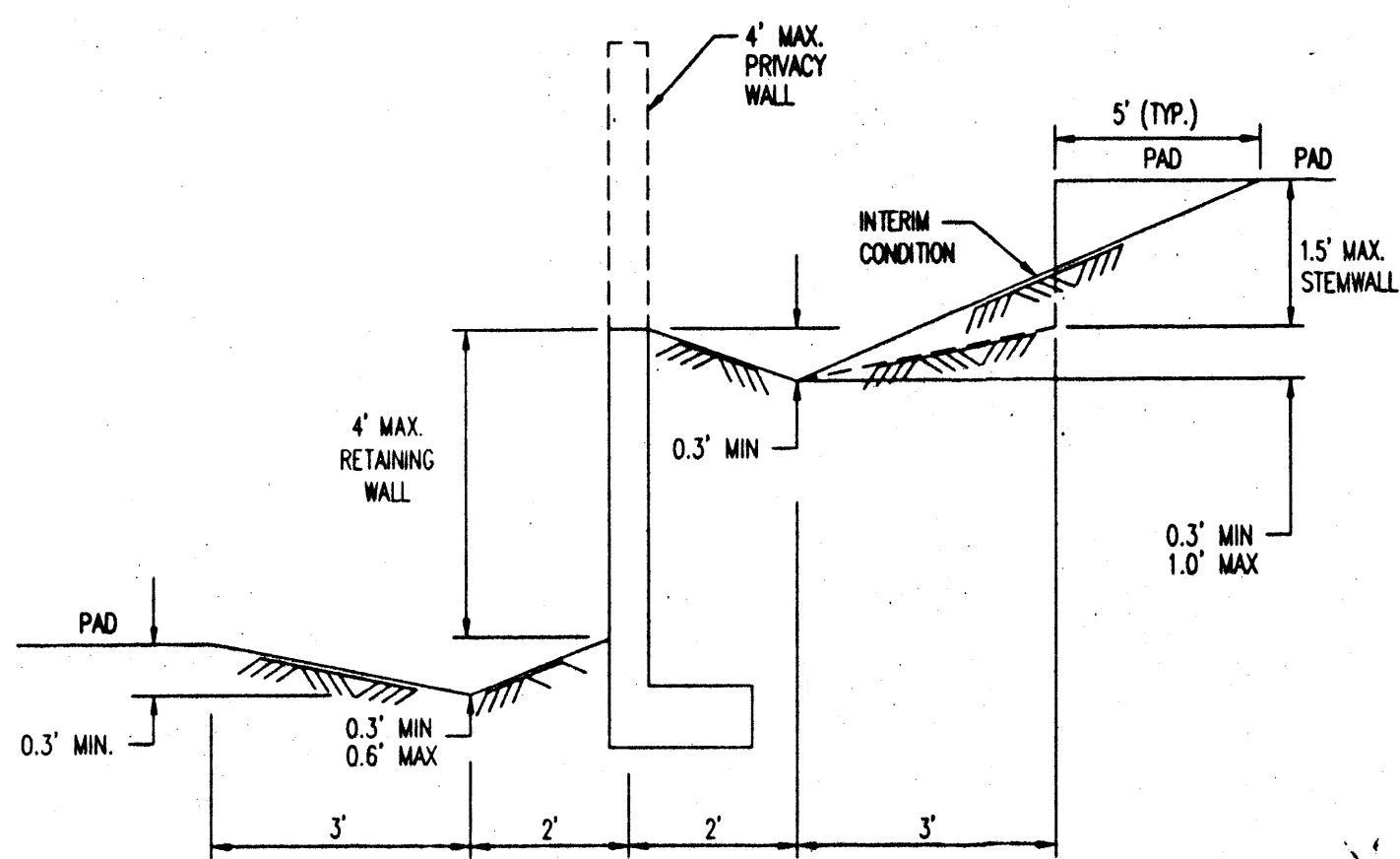


NOTE: DASHED LINES IN TYPICAL SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. GARDEN WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

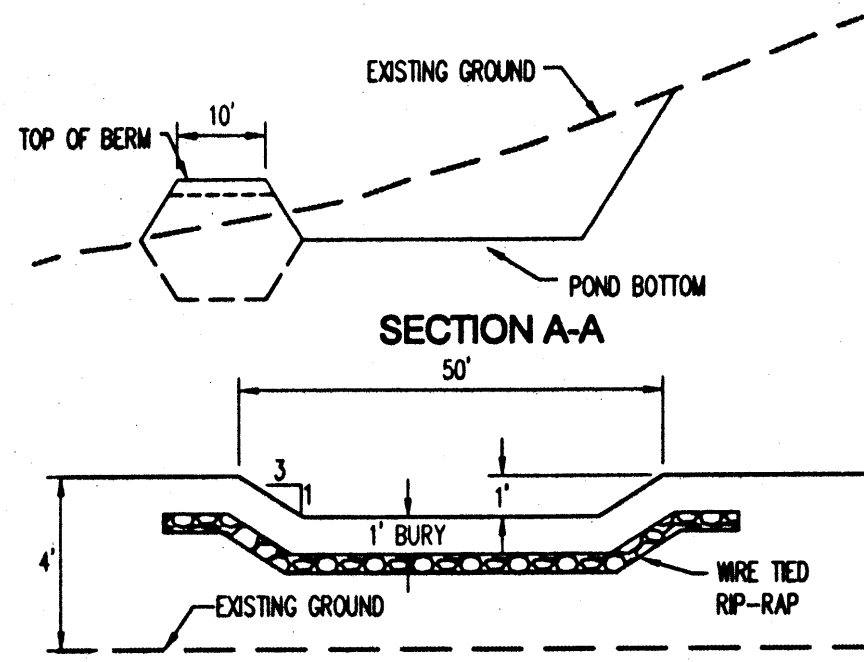


TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE



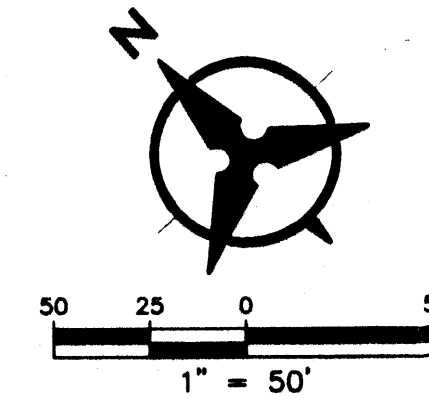
NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

TYPICAL SIDE LOT LINE SECTION
WITH RETAINING WALL
NOT TO SCALE



SECTION A-A
SECTION B-B
EROSION CONTROL POND
NOT TO SCALE

LEGEND
INSTALL REAR YARD DRAINAGE SYSTEM
LOTS 1 - 7 PER DETAIL THIS SHEET



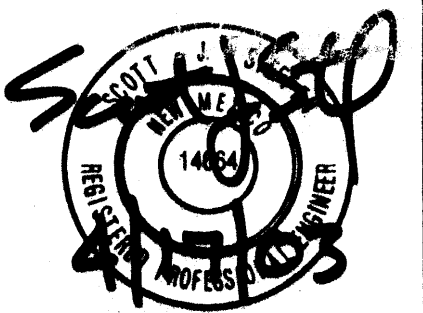
GENERAL NOTES

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5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

ENGINEER'S SEAL	
DATE	DATE
NO.	



REMARKS	
By	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
NO.	

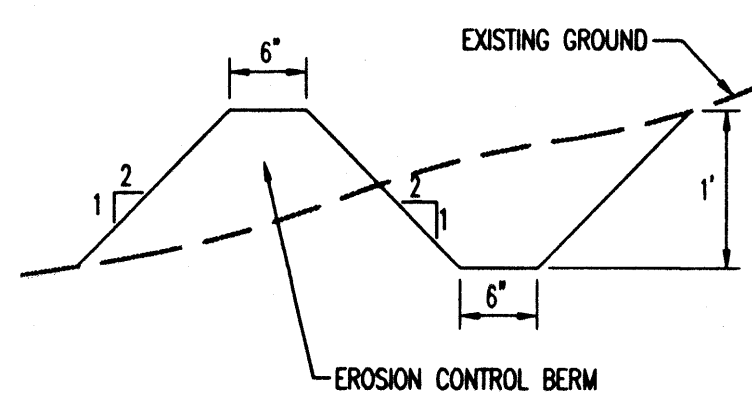
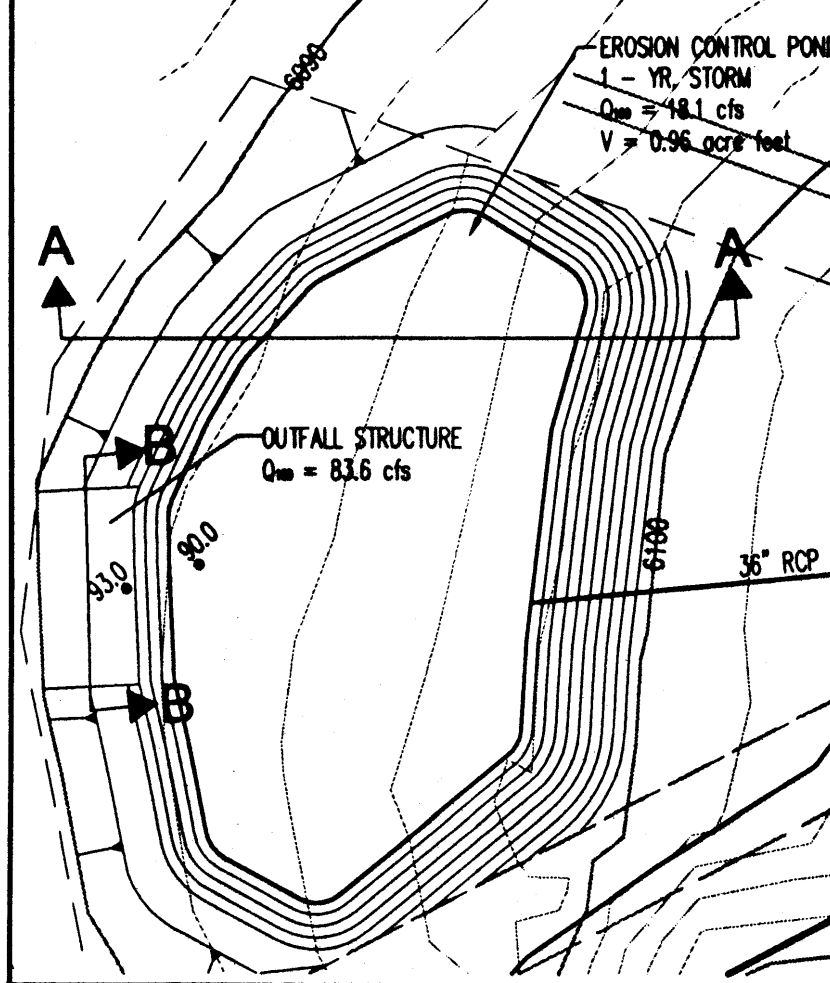
Bohannon & Huston
Courtesy | 7500 Jefferson BL NE Albuquerque, NM 87108-4335
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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**WILDERNESS COMPOUND SUBDIVISION
AT HIGH DESERT
GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	COA #	Zone Map No.	Sheet 1 Of 3

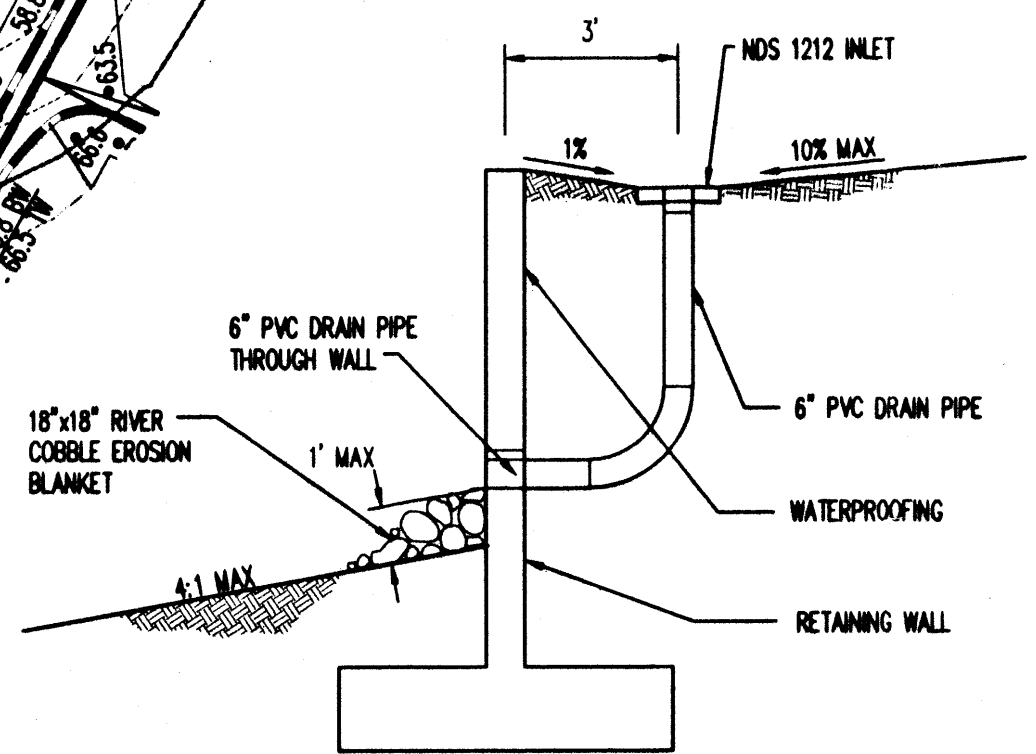
B:11 JOB NO. 030033 09-09-02



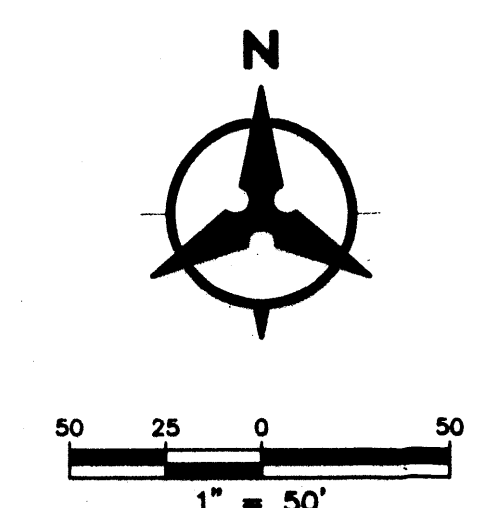
EROSION CONTROL PLAN
NOT TO SCALE

- NOTES:
1. A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT.
 2. BEFORE BEGINNING GRADING CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION.
 3. RESEEDING OF DISTURBED AREAS SHALL CONFORM TO HIGH DESERT INVESTMENT CORPORATION SPECIFICATIONS.
 4. SILT FENCE MAY BE CONSTRUCTED IN LEU OF ABOVE SHOWN EROSION CONTROL PLAN.

ROUGH GRADING (±0.5')
APPROVED FOR ROUGH GRADING DATE



TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

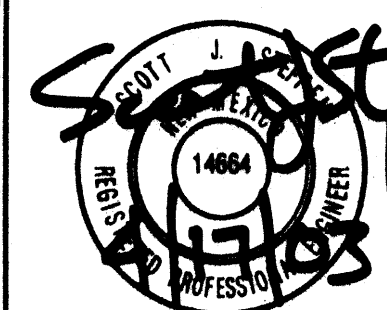


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5. ALL SLOPE ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. Boulders greater than 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

AS-BUILT INFORMATION		
CONTRACTOR	DATE	
WORK	DATE	
PERFORMED BY	DATE	
INSPECTED BY	DATE	
ACCEPTANCE BY	DATE	
FIELD	DATE	
VERIFICATION BY	DATE	
RECORDED BY	DATE	
MICRO-FILM INFORMATION		
RECORDED BY	DATE	
NO.		

SURVEY INFORMATION

ENGINEER'S SEAL



No.	Date	REMARKS	By
REVISIONS			
DESIGN			
Designed By: SJS		DATE: 10/03/02	
Drawn By: DH/BJG		DATE: 10/03/02	

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WILDERNESS COMPOUND SUBDIVISION
UNITS 2 & 3
GRADING PLAN

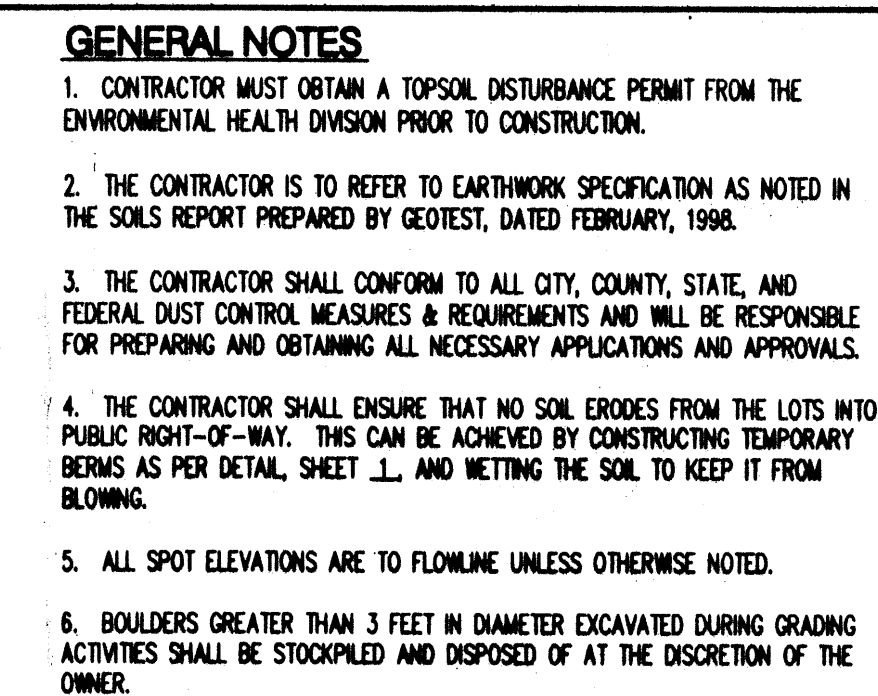
GRADING PLAN				
Design Review Committee	City Engineer Approval	as	Mo./Day/Yr.	Mo./Day/Yr.

ROUGH GRADING	(±0.5")
---------------	---------

APPROVED FOR ROUGH GRADING DATE _____

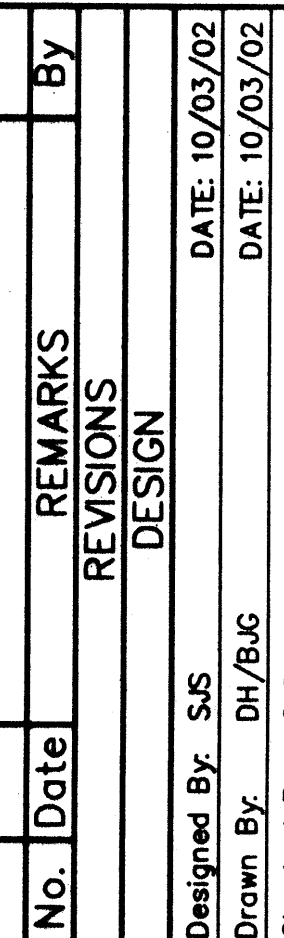
BHI JOB NO. 030033

09-09-02



SECTION A-A

NOT TO SCALE



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WILDERNESS COMPOUND SUBDIVISION
UNITS 2 & 3
GRADING PLAN

GRADING PLAN				
Design Review Committee	City Engineer Approval	o	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	COA #	Zone Map No.	Sheet	Of
		F-23	3	3

09-09-02

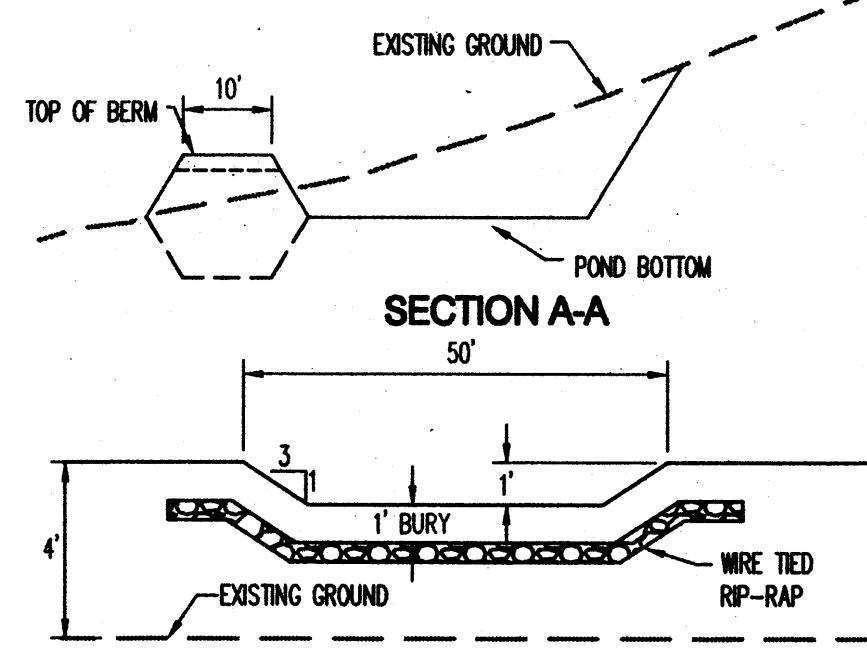
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Layout1

Diagram illustrating the construction of a garden wall, showing dimensions and components:

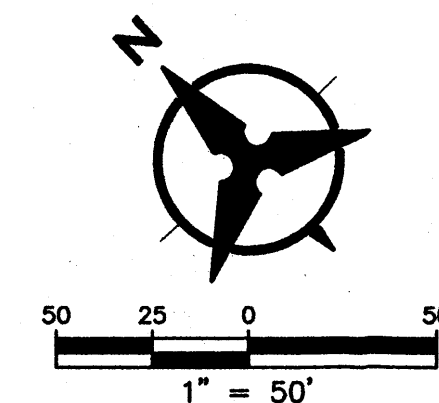
- 4' MAX.**: Overall height of the wall section.
- 18" MAX. GARDEN WALL**: Height of the garden wall section.
- 4' MAX. PRIVACY WALL**: Height of the privacy wall section.
- 5' (TYP.) PAD**: Typical width of the pad area.
- 1.5' MAX. STEM WALL**: Height of the stem wall section.
- 0.3' MIN.**: Minimum height of the base section.
- 0.3' MIN. MAX.**: Minimum and maximum height of the base section.
- 0.3' MIN. 1.0' MAX.**: Minimum and maximum height of the base section.
- INTERIM CONDITION**: Label for the base section.
- 3'**, **2'**, **2'**, **3'**: Horizontal dimensions of the base section.

[illegible]

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



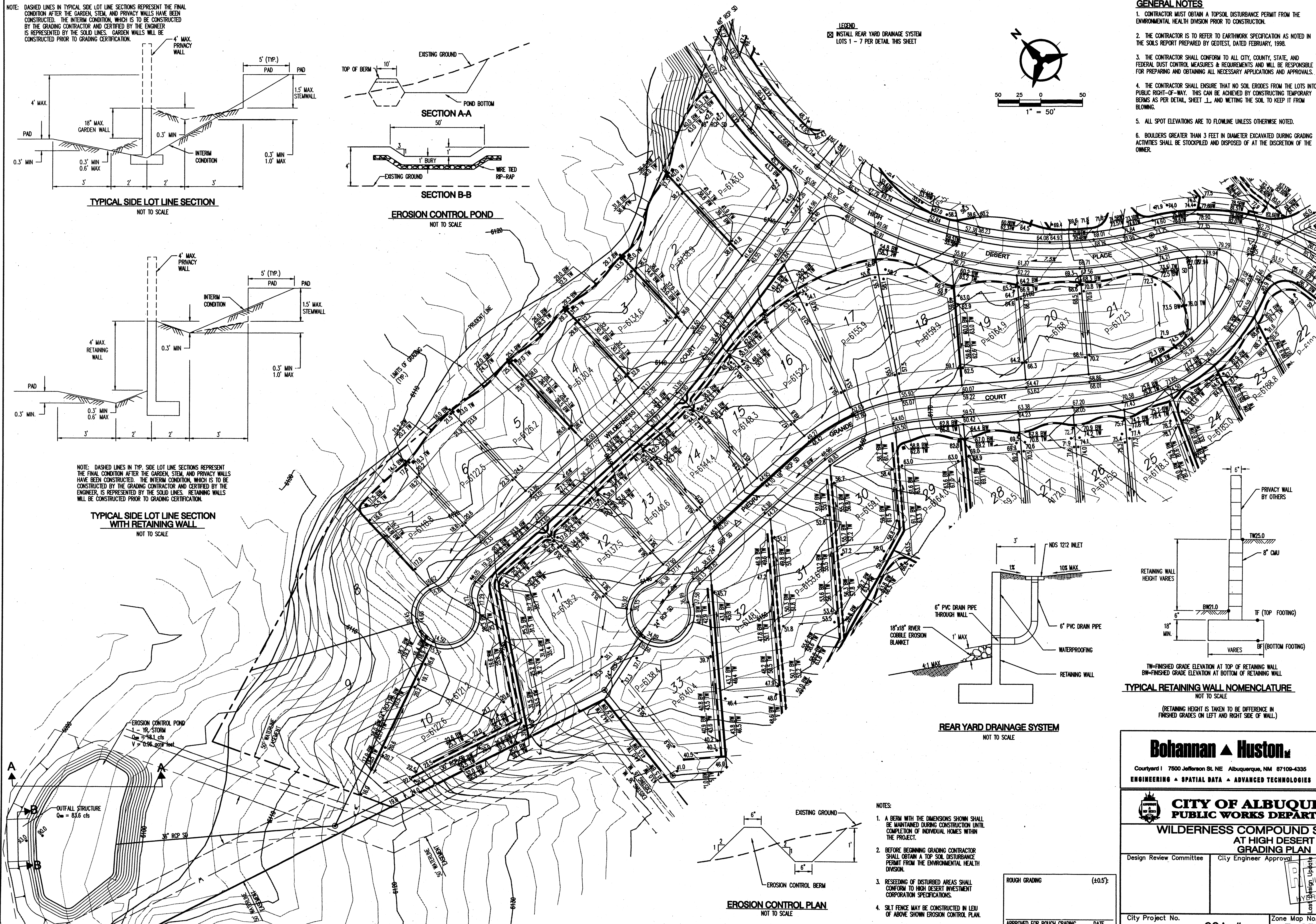
6120



GENERAL NOTES

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AS-BUILT INFORMATION	
CONTRACTOR	DATE
DESIGNED BY	DATE
ENGINEER'S CHECKED BY	DATE
CONSTRUCTION BY	DATE
REVISION BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
0.	

[illegible]

No.	Date	REMARKS	By						
REVISIONS									
DESIGN									
Designed By:				SJS	DATE: 10/03/02				
Drawn By:				DH/BJG	DATE: 10/03/02				
Checked By:				SJS	DATE: 10/03/02				

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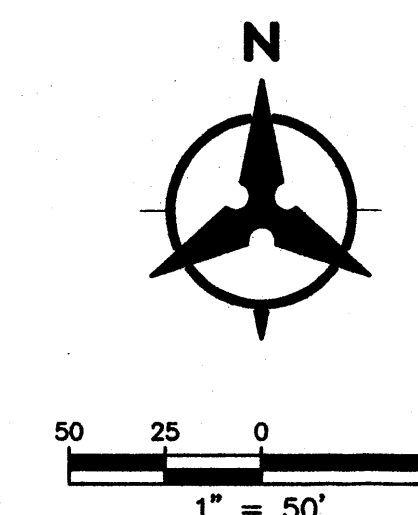

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

WILDERNESS COMPOUND S
AT HIGH DESERT
GRADING PLAN

Design Review Committee

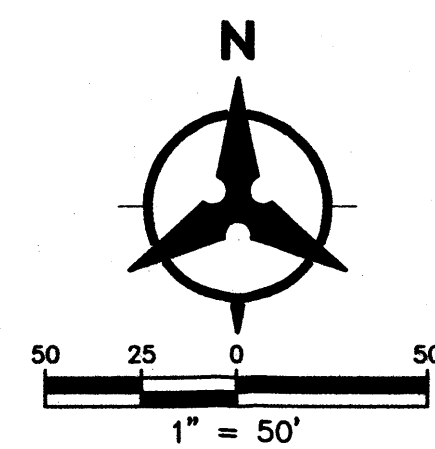
City Project No.	COA #	Zone Map No.
		F-23

1 JOB NO. 030033



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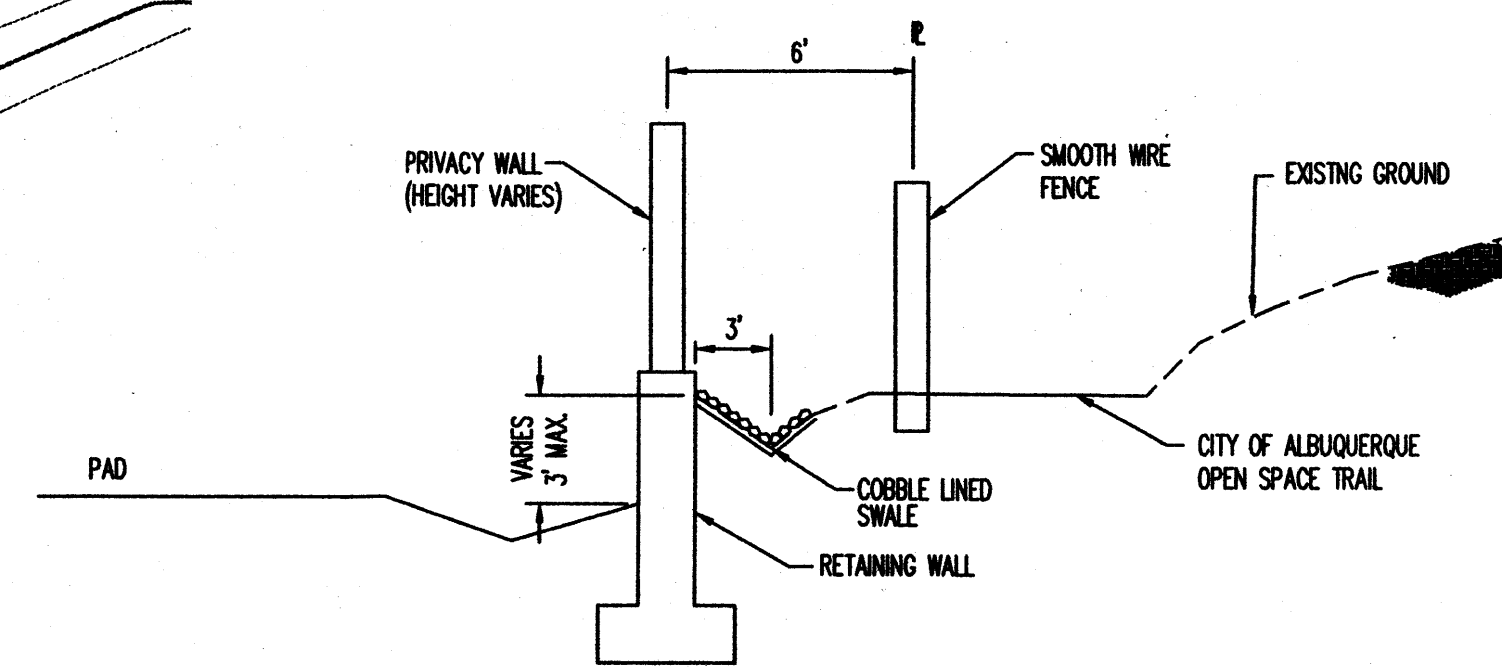
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ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGY



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LEGEND

☒ REAR YARD DRAINAGE SYSTEM
PER DETAIL SHEET 1



SECTION A-A
NOT TO SCALE

[illegible]

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ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

**WILDERNESS COMPOUND SUBDIVISION
UNITS 2 & 3
GRADING PLAN**

Design Review Committee		City Engineer Approval		Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		COA #	Zone Map No.	F-23	Sheet	Of
					3	3

ROUGH GRADING	($\pm 0.5'$):
APPROVED FOR ROUGH GRADING	DATE

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Layout1

BHI JOB NO. 030033

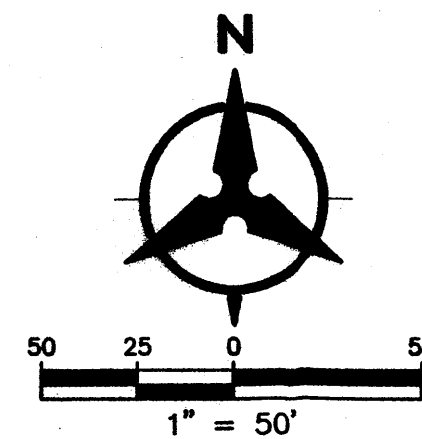
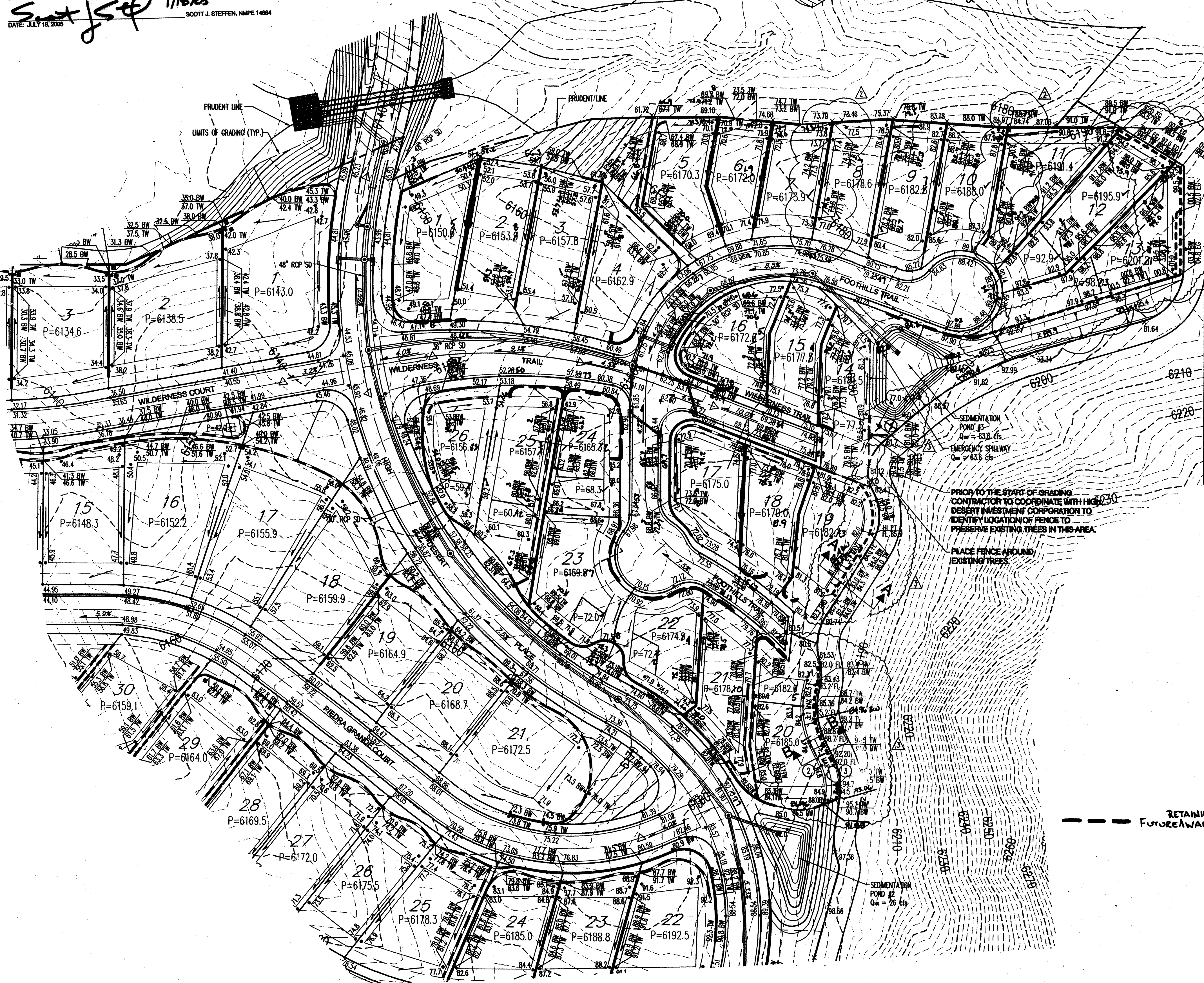
09-09-02

DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14884, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE WILDERNESS VILLAGE AND COMPOUND SUBDIVISION HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/17/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CARTESIAN SURVEYS NMPS 14271. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 07/18/05 AND SURVEYS NMPS 14271. I FURTHER CERTIFY THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR SAFER FINANCIAL GUARANTEE RELEASE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: JULY 18, 2005
SCOTT J. STEFFEN, NMPE 14884

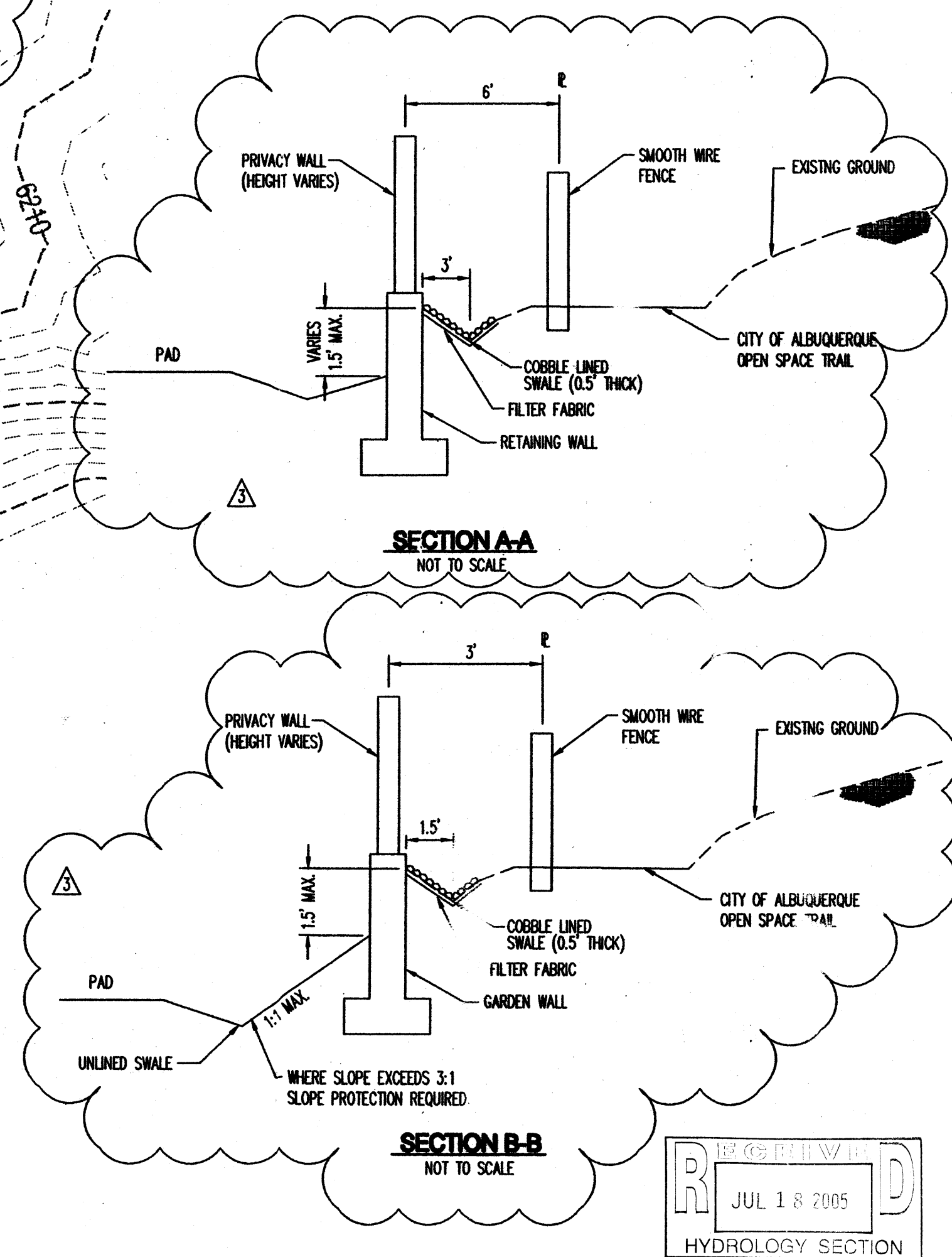


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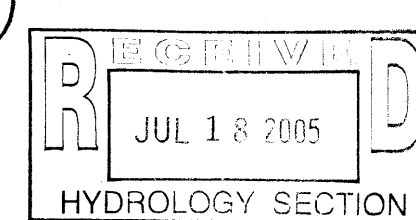
NOTES:

- ① INSTALL 1" HBS-2400-24" ONE-PIECE TAPERED-CATCH-BASIN
 - HBS-2400-24" SQUARE-GRADE
 - HBS-2400-10" AND 12" UNIVERSAL ADAPTER
 - HBS-1206-6" UNIVERSAL-PLUG
 - 20" 12" PVC
- ② SLOPE PROTECTION REQUIRED WHEN SLOPE EXCEEDS 3:1.
- ③ APPROXIMATE LOCATION OF EXISTING BOULDER. BUILD GARDEN WALL TO NORTH AND SOUTH SIDE OF BOULDER.



SECTION B-B

NOT TO SCALE

**Bohannon & Huston**

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT****WILDERNESS COMPOUND SUBDIVISION
UNITS 2 & 3
GRADING PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **COA #** **F-23** Sheet **3** Of **3**

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