

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 21, 2022

Jackie McDowell  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

**RE: 13301 La Arista Place NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 03/11/22**  
**Engineer's Certification Date: 04/18/22**  
**Hydrology File: F23D010E**

Dear Ms. McDowell:

PO Box 1293

Based upon the information provided in your submittal received 04/19/2022, the Grading and Drainage Plan is approved for Building Permit and Building Pad Certification for 13301 La Arista Place NE. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Albuquerque

**PRIOR TO CERTIFICATE OF OCCUPANCY:**

NM 87103

1. Engineer's Certification, per the DPM Part 6-14 (G): Engineer's Certification Checklist for Subdivision and Part 6-14 (H): Required Certification Language is required.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Sklar, Ronald -13301 La Arista Pl NE Building Permit #: \_\_\_\_\_ Hydrology File #: F23D010E  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LT 9-A PLAT OF LOTS 1-A THRU 27-A WILDERNESS ESTATES AT HIGH DESERT, CONT .9229 AC  
**City Address:** 13301 LA ARISTA PL NE ALBUQUERQUE NM 87111

**Applicant:** MCDOWELL ENGINEERING, INC. **Contact:** JACKIE MCDOWELL  
**Address:** 7820 BEVERLY HILLS AVE. NE, ALBUQUERQUE, NM 87122  
**Phone#:** 505-828-2430 **Fax#:** 505-821-4857 **E-mail:** jackmcdowell@comcast.net  
**Owner:** SKLAR RONALD D & CECILIA S **Contact:** SKLAR RONALD D & CECILIA S  
**Address:** 13701 APACHE PLUME PL NE ALBUQUERQUE NM 87111-8090  
**Phone#:** 5058565444 **Fax#:** \_\_\_\_\_ **E-mail:** 'Ron D. Sklar' <rdsklar@gmail.com>

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ (1ST FOR PAD CERTIFICATION) Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 4-18-22 **By:** JACKIE MCDOWELL

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





















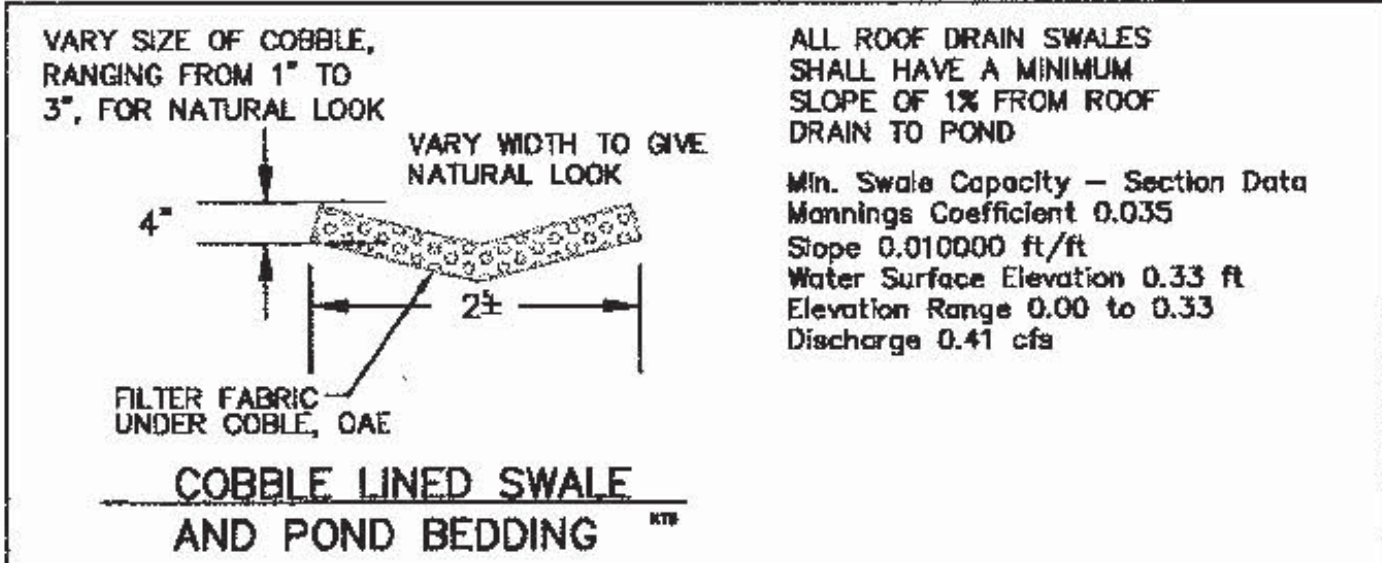












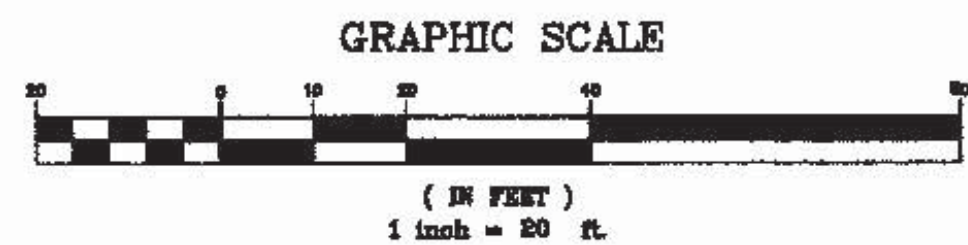
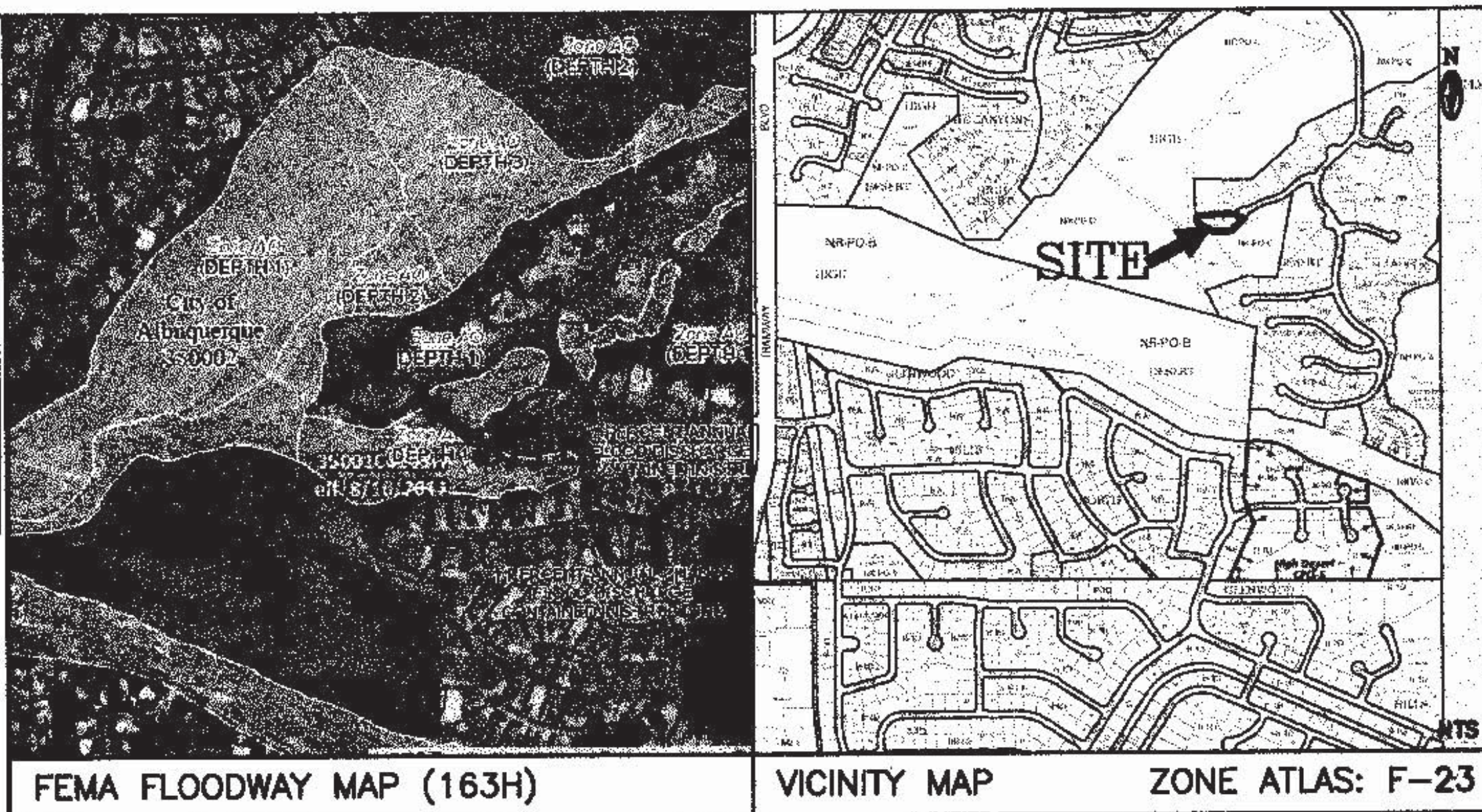
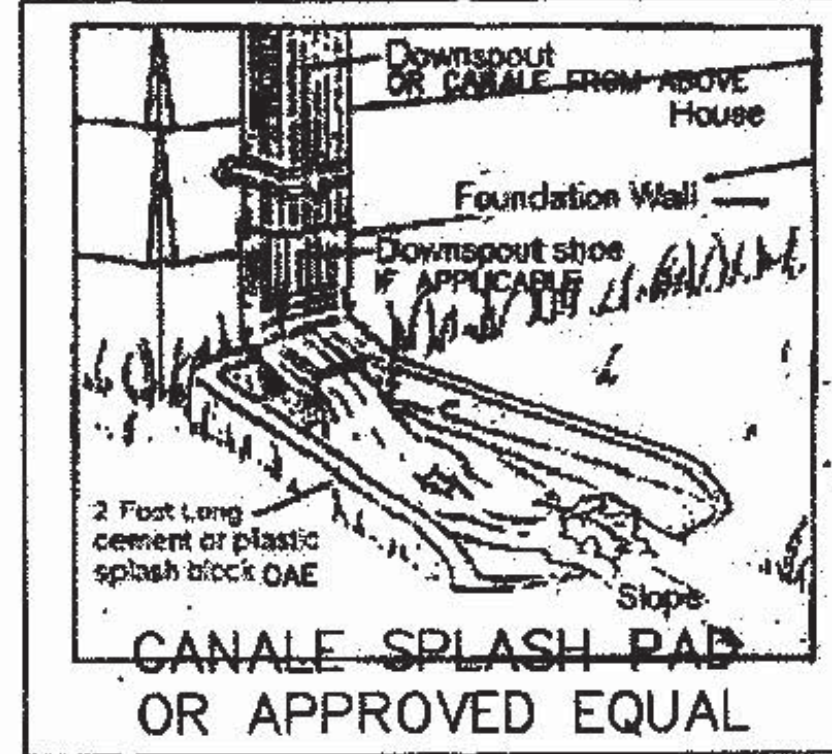
ALL ROOF DRAIN SWALES SHALL HAVE A MINIMUM SLOPE OF 1% FROM ROOF DRAIN TO POND

Min. Swale Capacity - Section Data  
Manning's Coefficient 0.035  
Slope 0.010000 ft/ft  
Water Surface Elevation 0.33 ft  
Discharge 0.41 cfs

POND TREATMENT SHALL BE THE SAME AS SWALE OR RESEEDED AS NOTED

NOTE: ELEVATIONS SHOWN HEREON ARE NAVD 1988 REFERENCED TO ACRS STATION "26-F23", ELEVATION = 6205.534.

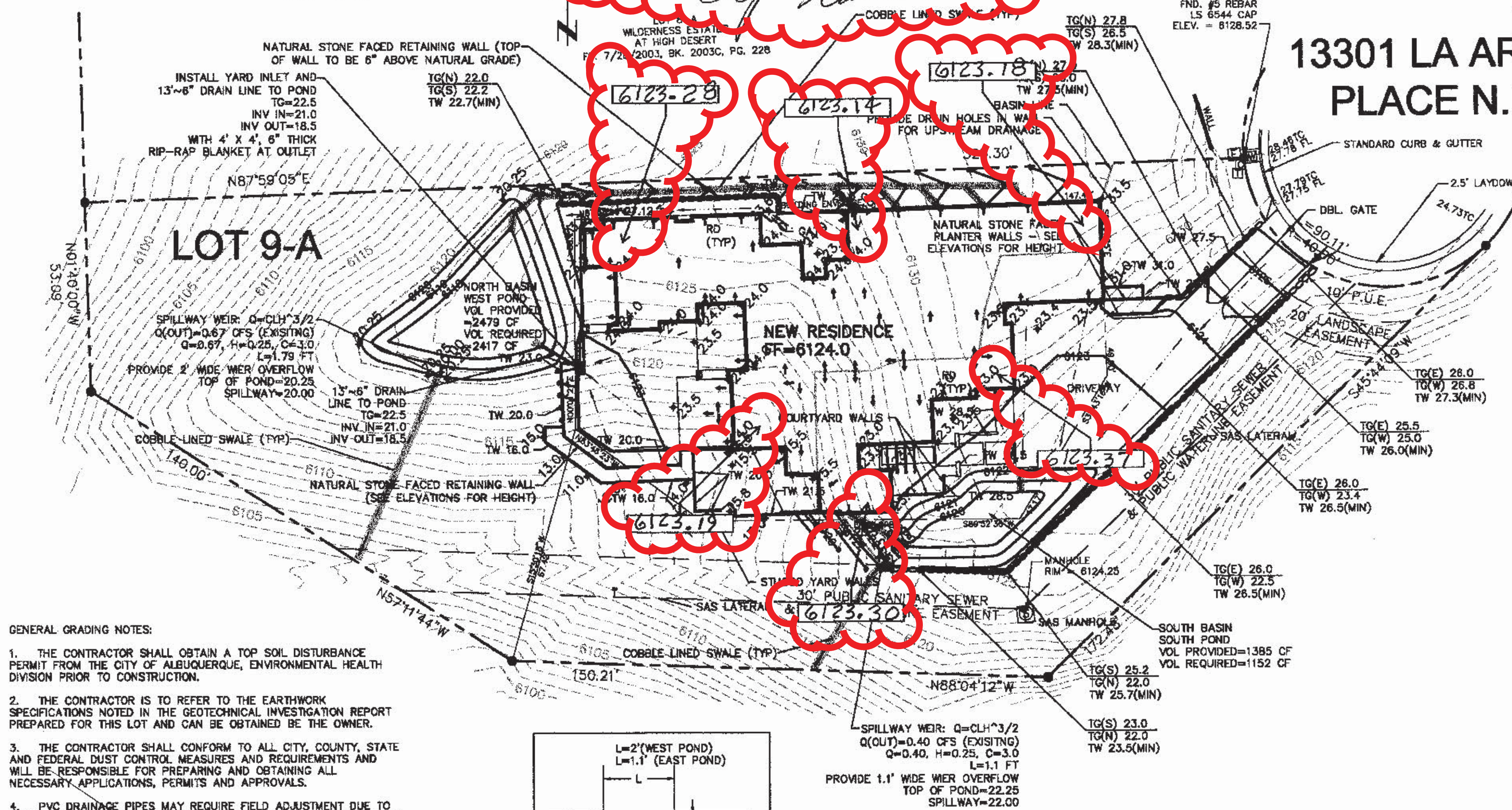
NOTE: CONTRACTOR SHALL USE AN ESTABLISHED BENCH MARK TO SET BUILDING ELEVATIONS. CENTERLINE MONUMENTATION ELEVATIONS ARE AVAILABLE FROM HIGH DESERT CORP.



AS-BUILT ELEVATIONS TAKEN BY BFC LAYOUT SERVICES ON APRIL 16, 2022

Cliff Krummell

# 13301 LA ARISTA PLACE N.E.



**DRAINAGE PLAN**

SCOPE:

This plan is in accordance with the City of Albuquerque Ordinance. The Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed on the lot, with associated access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the site contains approximately 0.92 acres of undeveloped property. The site is bounded on the north by a residential lot, on the west, and south by public open space, and on the east by La Arista Pl. NE. The site is well vegetated with desert grasses and shrubs. Site topography slopes from the center to the south and west.

PROPOSED CONDITIONS:

As shown by the Plan, the building is located within the designated building envelope. Storm water will continue to sheet flow in the same existing manner. Storm water flow inside the building envelope will flow away from the building to the west and south to existing flow paths and new water harvesting ponds. Access will be taken La Arista Pl.

Supplemental calculations are shown.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions Existing Treatment Types:

PROPERTY ADDRESS:

13301 LA ARISTA PL NE ALBUQUERQUE NM 87111

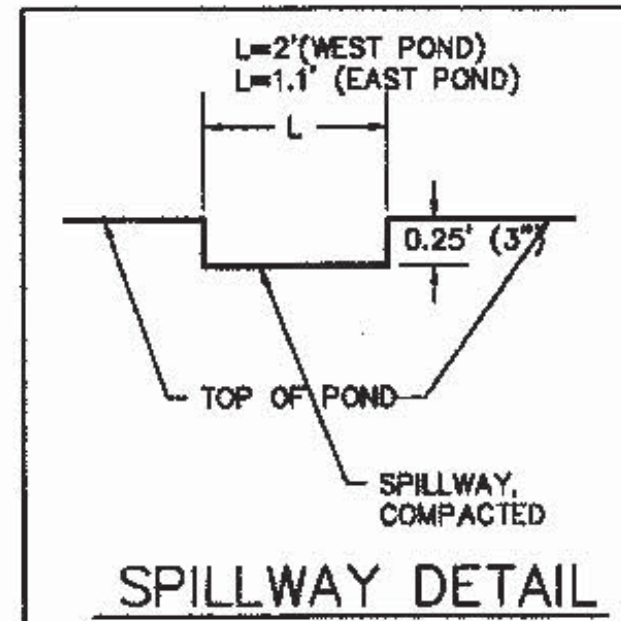
LEGAL DESCRIPTION:

Lot 9-A, Wilderness Estates at High Desert.

SURVEY:

Topographic Information provided by Gary Gritako dated 11-29-21.

- GENERAL GRADING NOTES:
- THE CONTRACTOR SHALL OBTAIN A TOP SOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE, ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS TO REFER TO THE EARTHWORK SPECIFICATIONS NOTED IN THE GEOTECHNICAL INVESTIGATION REPORT PREPARED FOR THIS LOT AND CAN BE OBTAINED BY THE OWNER.
  - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS AND APPROVALS.
  - PVC DRAINAGE PIPES MAY REQUIRE FIELD ADJUSTMENT DUE TO SUBSURFACE ROCK. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO INLET/STREET.
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY CONDITIONS AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  - TWO WORKING DAYS PRIOR TO EXCAVATION THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.
  - CONTRACTOR SHALL PROVIDE DOUBLE CLEAN-OUTS AT ALL BENDS IN DRAINAGE PIPE.
  - THE TOPSOIL SHOULD BE SAVED AND PUT ASIDE FOR RE-USE IN FILLING DISTURBED AREAS AWAY FROM THE STRUCTURE.
  - ALL DISTURBED AREAS ON THE LOT SHALL BE RESEEDED WITH NATIVE SEEDING MATERIAL (HIGH DESERT MIX).
  - COBBLE SPLASH MATERIAL UNDER CANALES. OAE



Precipitation Zone = 4 NORTH BASIN

Areas (acres)	Existing	Proposed
Treatment A	0.32	0.00
Treatment B	0.00	0.04
Treatment C	0.00	0.03
Treatment D	0.00	0.25
Total (acres) =	0.32	0.32

WEST SOUTH POND VOLUME PROVIDED:

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.92	0.08	0.01	0.05	0.00	0.03
Volume (cubic feet) =	883	3,303	280	2,075	0	1,367

POND VOLUME REQUIRED = 3300-883 = 2417 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.67	0.00	0.22	0.00	0.00	0.00
Treatment B	0.00	0.11	0.00	0.05	0.00	0.01
Treatment C	0.00	0.10	0.00	0.05	0.00	0.03
Treatment D	0.00	1.23	0.00	0.76	0.00	0.47
Total Q (cfs) =	0.67	1.41	0.22	0.81	0.00	0.51

Precipitation Zone = 4 SOUTH BASIN

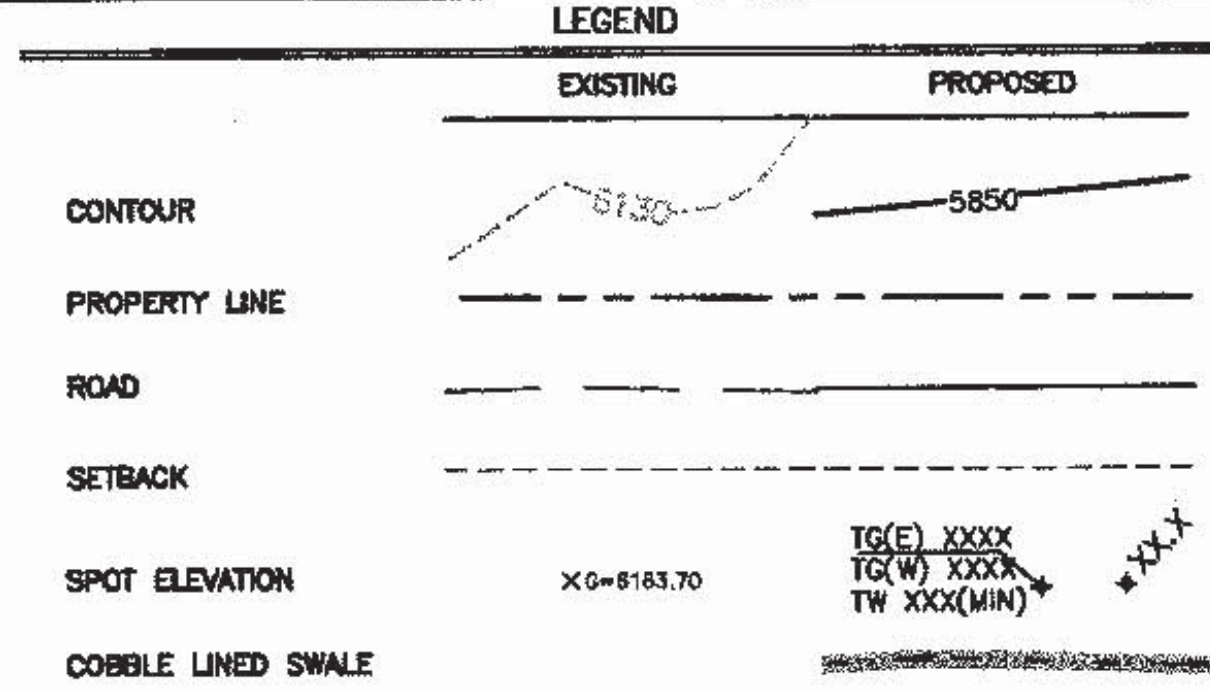
Areas (acres)	Existing	Proposed
Treatment A	0.19	0.03
Treatment B	0.00	0.04
Treatment C	0.00	0.03
Treatment D	0.00	0.12
Total (acres) =	0.19	0.19

SOUTH POND VOLUME PROVIDED:

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.01	0.04	0.00	0.02	0.00	0.01
Volume (cubic feet) =	524	1,676	172	1,023	0	646

POND VOLUME REQUIRED = 1676-524 = 1152 CF

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.40	0.08	0.13	0.00	0.00	0.00
Treatment B	0.00	0.11	0.00	0.05	0.00	0.01
Treatment C	0.00	0.00	0.00	0.00	0.00	0.00
Treatment D	0.00	0.51	0.00	0.38	0.00	0.23
Total Q (cfs) =	0.40	0.79	0.13	0.44	0.00	0.24



**PAD CERTIFICATION**

I, Jackie McDowell, NMPE #10903, of the firm McDowell Engineering, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 3-11-22. The as-built spot elevations are shown bubbled in. I further certify that I have personally visited the project site on April 18, 2022 (pictures provided) and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Pad Certification for Building Permit release. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

1-11-22  
REV: 3-7-22  
REV: 3-11-22

Pad Certification 4-18-22

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 04/21/22  
BY: *Randy C. Brissette*  
HydroTrans # F230010E

13301 LA ARISTA PL NE ALBUQUERQUE NM 87111

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

**LOT 9-A**

**WILDERNESS ESTATES AT HIGH DESERT**

SKLAR (MIKE CABBER, DESIGNER) - GRADING & DRAINAGE PLAN

**McDowell Engineering, Inc.**

7820 Beverly Hills Ave. NE, Albuquerque, NM 87122  
Tel: 505-828-2430

Designed JSM Drawn STAFF Checked JSM Sheet 1 of 1  
File SKA0121L Date NOVEMBER, 2021