

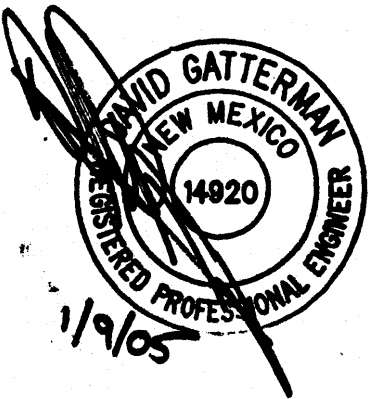
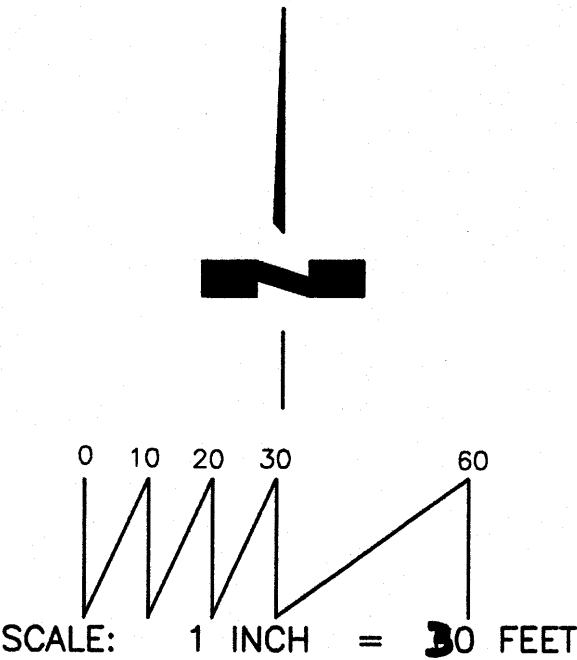


LEGEND

- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO NATURAL GRADE
- FL FLOWLINE
- TC TOP OF CURB / CONCRETE
- EC EDGE OF CONCRETE
- TW TOP OF WALK OR WALL
- BARB WIRE FENCE
- WROUGHT IRON FENCE
- WM WATER METER
- WH SANITARY SEWER MANHOLE
- PP POWER POLE
- ANCH ANCHOR
- OVERHEAD POWER LINE
- ROCK RETAINING WALL
- ROCK FORMATIONS AS NOTED
- LARGE BOULDERS AS NOTED
- EXISTING CONTOURS @ 1.0 FT. INTERVALS
- INDEX CONTOURS @ 5.0 FT. INTERVALS
- APPROXIMATE PROPOSED CONTOURS
- PROPOSED ROCK WALL
CONSTRUCTED FROM ON-SITE GLEANED MATERIAL
STYLE TO MATCH EXISTING WALL FOLLOWING DRIVE

CONCEPTUAL PLAN ASSUMPTIONS:

- SITE PLAN IS BASED ON SKETCH AND NOTES PROVIDED BY THE OWNER, BUILDING PADS TOTALING 4000 SQ. FEET HAVE BEEN USED FOR BOTH SITING AND HYDROLOGY PURPOSES.
- PROPOSED DEVELOPMENT WILL BE "BUILT TO SUIT".



DESCRIPTION

LOT 25
BLOCK 11
GLENWOOD HILLS UNIT 2
ALBUQUERQUE, NEW MEXICO
CLIENT: LOBBBERGT

CONCEPTUAL DRAINAGE PLAN

TCO ENGINEERING, INC.
330 LOUISIANA BLVD. NE
266-7256

EXISTING ON-SITE CONDITIONS

THIS SITE IS AN EXISTING SINGLE-FAMILY RESIDENTIAL LOT WITH AN EXISTING HOUSE OCCUPYING THE HIGHEST POINT. CHARACTER OF THIS SITE MAY BEST BE DESCRIBED AS STEEP AND ROCKY. SITE IS COVERED WITH LARGE BOULDERS, ROCK OUTCROPS AND BARE ROCK SURFACES. THERE IS NO NATURAL SLOPE ON THIS LOT THAT IS LESS THAN TEN PER CENT. NATURAL SLOPES, EXCEPTING VERTICAL OUTCROPS, AVERAGES SIXTY PER CENT. THERE IS NO FORMAL LANDSCAPING ON THIS SITE. SURFACE TREATMENT BREAKDOWN IS 88% C AND 12% D. THERE IS NO EVIDENT EROSION.

TOTAL AREA OF SITE: 2.74 ACRES.

PROPOSED DEVELOPMENT

TOPO SURVEY SHOWS OWNER'S DESIRED DIVISION OF THE EXISTING LOT. PROPOSED NEW DEVELOPMENT WILL CONSIST OF TWO NEW SINGLE-FAMILY DWELLINGS. LARGE AREAS OF LEVEL GRADING ON EITHER OF THE PROPOSED NEW LOTS IS NOT FEASIBLE. THE LOCATIONS, SHAPES AND SIZES OF BOTH PROPOSED STRUCTURES FOR THE PURPOSE OF EXHIBIT AND REVIEW SHOULD BE CONSIDERED SCHEMATIC. STRUCTURES WILL HAVE TO BE CUSTOM-FIT ONTO EACH LOT. FLOOR ELEVATIONS ARE SUGGESTED ONLY. PROPOSED CONSTRUCTION WILL INCLUDE A LOW ROCK WALL FOLLOWING THE SOUTHERLY PROPERTY LINE. ITS PURPOSE IS FOR INTERCEPTION AND MITIGATION OF NEWLY CREATED RUNOFF FROM THE ADJOINING LOT TO THE SOUTH. FOR THE PURPOSES OF CALCULATING EXCESS CREATED RUNOFF, NEW AREAS UNDER TREATMENT 'D' HAS BEEN ASSUMED TO BE 4800 SQUARE FEET.

OFFSITE FLOWS

NONE. THIS SITE IS HIGHER THAN OTHER ADJOINING LOTS AND TRACTS.

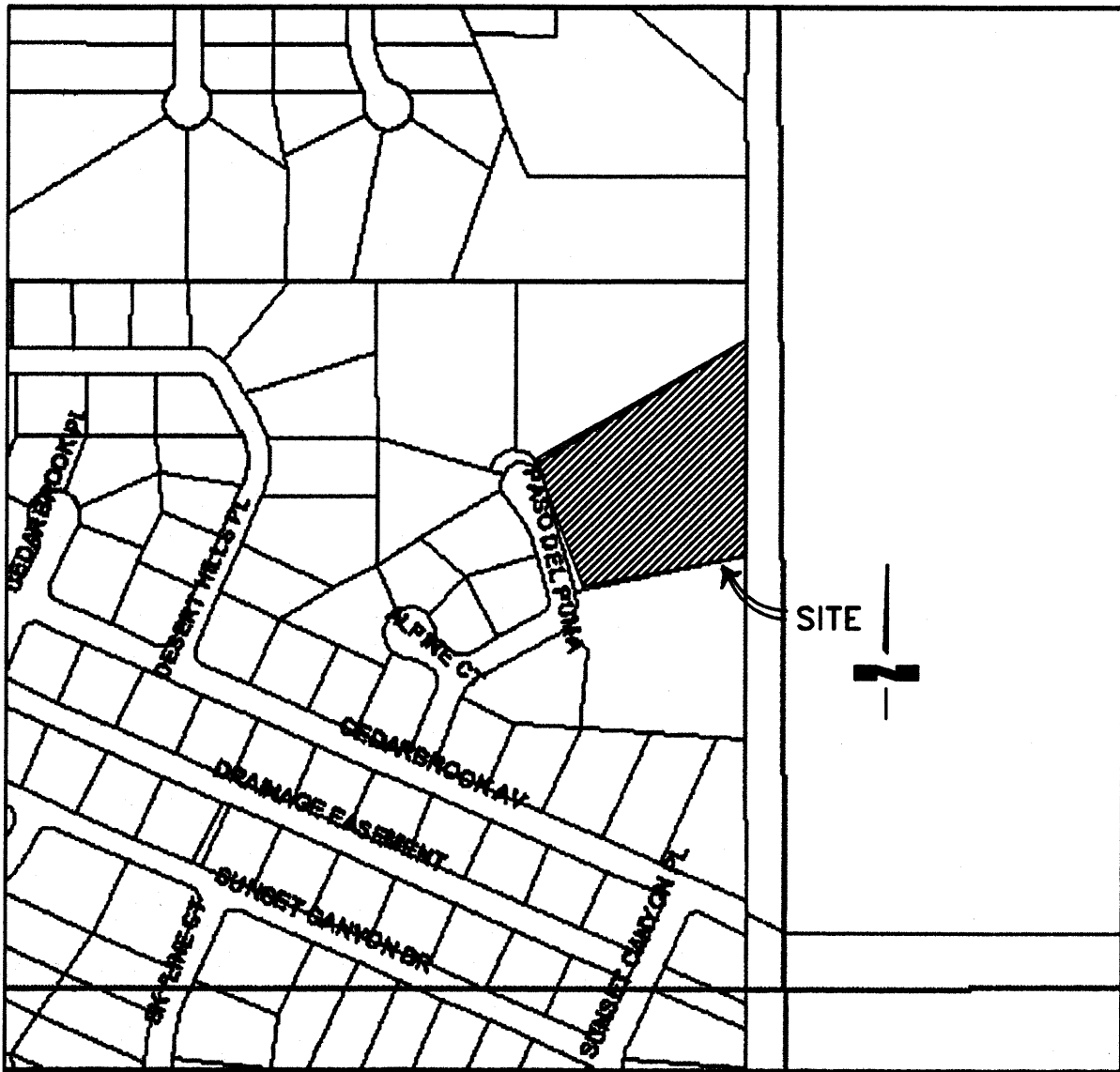
STORMWATER ROUTING

EXCESS RUNOFF WILL BE ROUTED AND TRAINED TO DRAIN INTO THE RIGHT-OF-WAY OF PASO DEL PUMA.

DRAINAGE DATA

PRECIPITATION ZONE 4 ON-SITE CONDITIONS							
CONDITION	STORM RETURN PERIOD TABLE 4 YEAR	TREATMENT TYPE	TREATMENT AREA(AC.)	EXCESS PRECIP	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
				TAB.8 IN.	TAB.9 CFS/AC	CU.FT.	CFS
TREATMENTS 'A' AND 'B' DO NOT APPLY TO THIS SITE							
EXISTING	100	C	2.41	1.46	3.73	12772	8.99
	100	D	0.33	2.64	5.25	3162	1.73
EXISTING	10	C	2.41	0.73	2.26	6386	5.45
	10	D	0.33	1.69	3.57	2024	1.18
TOTAL	100		2.54			15934	10.72
	10		2.54			8410	6.63
DEVELOPED	100	C	2.19	1.46	3.73	11606	8.17
	100	D	0.55	2.64	5.25	5271	2.89
DEVELOPED	10	C	2.19	0.73	2.26	5803	4.95
	10	D	0.55	1.69	3.57	3374	1.96
TOTAL	100		2.54			16877	11.06
	10		2.54			9177	6.91

- NOTES
- A flow rate increase of 0.34 CFS and 0.28 CFS for the 100-year and 10-year storms, respectively, may be expected. The 6-hour runoff volumes will increase by 943 cubic feet for the 100-year storm and 767 cubic feet for the 10-year storm.
 - Runoff from this site discharges into Paso Del Puma NE
 - This site lies above all surrounding lands. There are no contributory flows.



VICINITY MAP

NO SCALE

F-23

