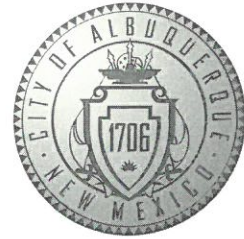


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 13, 2017

Scott Steffen, P.E.
Bohannon-Huston, Inc.
7500 Jefferson St NE Courtyard 1
Albuquerque, New Mexico 87109

RE: **Wilderness Tract A at High Desert**
Pad Certification for lots 3, 7 – 10, 13, 14 and 16 – 19.
Engineers Stamp Date 2/18/16 (F23D012)
Certification Date 10/11/17

Dear Mr. Steffen,

Based upon the information provided in your submittal received 10/11/2017 and a site visit, the above referenced Certification is accepted for building permit.

PO Box 1293

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

Sincerely,

NM 87103

www.cabq.gov

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: File

October 11, 2017

Mr. Doug Hughes
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 3, 7-10, 13-14, 16-19) Wilderness Cañon
at High Desert - DRB Case No. 1004989

Dear Doug:

We are submitting a partial grading and drainage certification for Wilderness Cañon at High Desert. The partial certification includes Lots 3, 7-10, 13-14, and 16-19. A previously approved partial certification, dated 6-14-17, included Lots 1,2,4,5,6,11,12,15. Enclosed for your review is the approved grading and drainage plan dated 02/18/16. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed.

After reviewing these as-built elevations and visiting the site on 06/22/17. It is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Scott Schiabor, Scott Patrick Homes
Trace Salley, Scott Patrick Homes
RP Bohannon, Paragon



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: WILDERNESS CANON SUBDIVISION AT HIGH DESERT **Building Permit #:** _____ **City Drainage #:** _____
DRB#: 1004989 **EPC#:** _____ **Work Order#:** 703782
Legal Description: TRACT A-1 WILDERNESS CANON AT HIGH DESERT
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC **Contact:** SCOTT STEFFEN
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 **Fax#:** _____ **E-mail:** SSTEFFEN@BHINC.COM

Owner: MESA VERDE DEVELOPMENT **Contact:** SCOTT SCHIABOR
Address: 8300 CARMEL AVE NE ALBUQUERQUE NM 87122
Phone#: 505-828-9900 **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

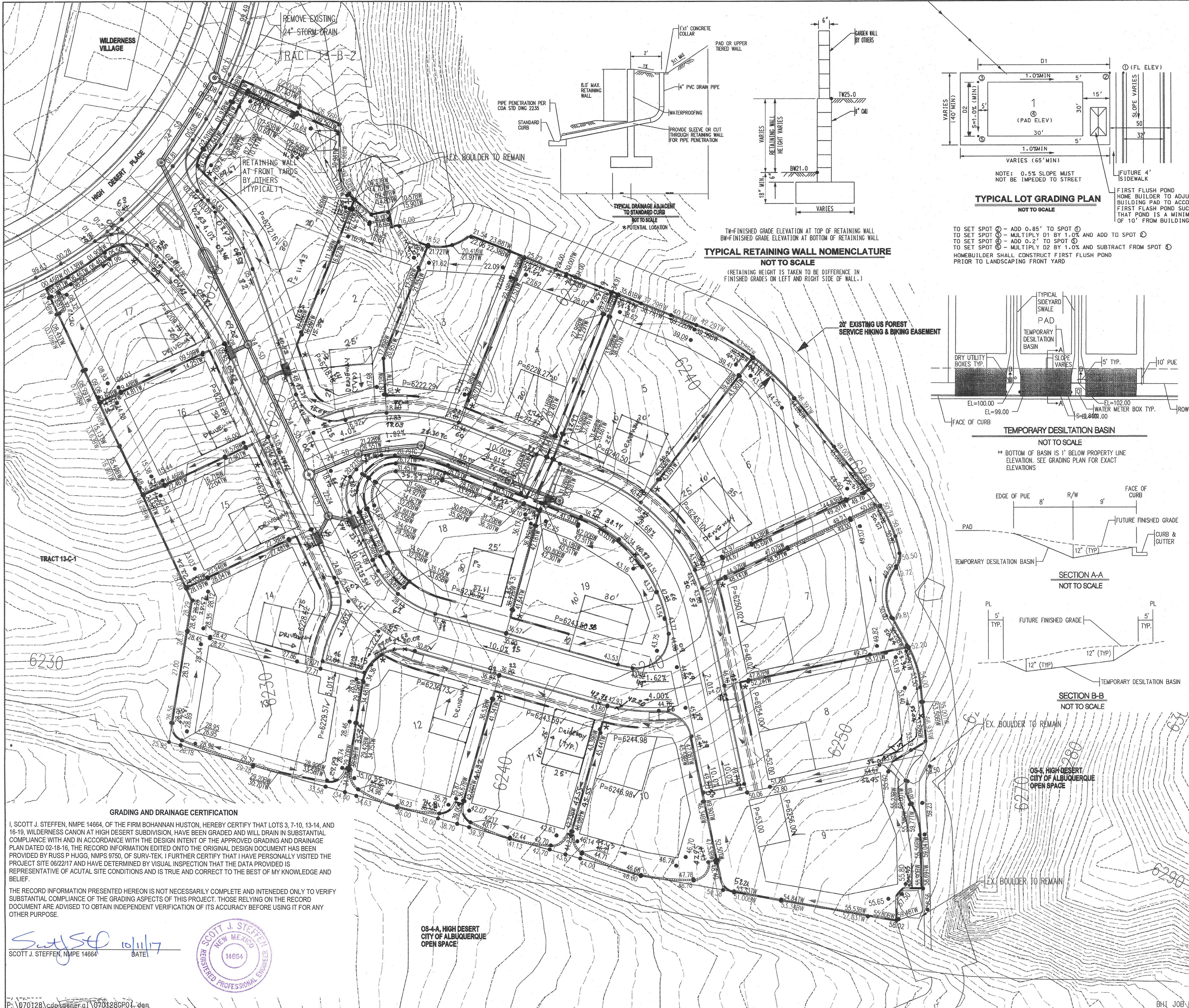
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 10-22-17 **By:** SCOTT J STEFFEN, P.E.

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



LEGEND

PROPOSED SPOT

EXISTING SPOT

LEE LINE

LIMITS OF GRADING

EXISTING CONTOUR

PROPOSED CONTOUR

FLOW DIRECTION ARROW

BUILDING ENVELOPE OR PAD

RETAINING WALL

GARDEN WALL

EXISTING STORM DRAIN LINE

PROPOSED STORM DRAIN INLET

PROPOSED STORM DRAIN LINE

PROPOSED STORM DRAIN MANHOLE

TRACT BOUNDARY

TEMPORARY DESILTATION BASIN

TYPICAL LOT GRADING PLAN

TYPICAL RETAINING WALL NOMENCLATURE

TEMPORARY DESILTATION BASIN

SECTION A-A

SECTION B-B

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT PREPARED BY GEOTEST, DATED MAY, 2003.

3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY PONDS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.

6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.

7. ALL SIDEYARD SPOTS ARE SWALE POINTS AND LOCATED 2' OFFSET FROM PAD.

8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS. CONTRACTOR SHALL COORDINATE WITH OWNER ON EXACT SEED MIX AND LANDSCAPING.

9. ALL OFFSITE GRADING, TRAIL AND SWALE IMPROVEMENTS WILL BE PROVIDED ON THE INFRASTRUCTURE PLANS.

BOHANNAN & HUSTON

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

ENGINEERING DEVELOPMENT GROUP

WILDERNESS TRACT A AT HIGH DESERT

GRADING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

CITY PROJECT NO.

ZONE MAP NO.

SHEET

OF

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	WORK	ACS BRASS TABLET STAMPED "1-A8 1980"	DATE	FIELD NOTES	BY	REMARKS	BY
STARR BY	CONTRACTOR	NO.	DATE	NO.	DATE	REVISIONS	DATE
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES				DESIGN	DATE
FIELD CATCH BY	DATE	(CENTRAL ZONE)					YPM
DRAWINGS	DATE	X=350152.25 Y=1531.818.60					YPM
CORRECTED BY	DATE	GROUND-TO-GRID FACTOR = 0.9996593					YPM
RECORDED BY	DATE	DELTA ALPHA = -0017.21"					YPM
NO.		NGVD 1929 ELEVATION = 5570.04					DATE

P:\070128\cdp\general\070128GP01.dgn

BH1 JOB NO.