

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

September 27, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **13424 Cedarbrook Ave NE**
Grading and Drainage Plan
Engineer's Stamp Date: 9/24/18
Drainage File: F23D013

Dear Mr. Soule:

Based on the submittal received on 9/24/18, the grading and drainage plan cannot be approved until the following are corrected and a complete resubmittal is made:

PO Box 1293

Prior to Grading Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Show the adjacent grades in N Glenwood Hills Arroyo; ensure that your grading ties-in at the ROW line. Do not lower the grade adjacent to the arroyo.
2. Label the proposed contours.
3. First flush is not required on single residences; the ponds may be removed if desired.
4. Because N Glenwood Hills Arroyo is an unnumbered A-zone; make a reasonable assumption as to the 100-yr water surface elevation at the upstream edge of this lot and ensure the pad is elevated above it (+1ft freeboard recommended).
5. Do not regrade the ROW along Cedarbrook Place; it's keeping the water in the arroyo.

Prior to Building Permit (For Information):

6. Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

Prior to Certificate of Occupancy (For Information):

7. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades along the property lines were not disturbed during home construction.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,



Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 13424 Cedarbrook **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: lot 15 block 14 Glenwood Hills unit 2

City Address: 13424 Cedarbrook

Applicant: Lowebo homes **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: ☐ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Existing Developed Basins										100-Year, 6-hr.		10-day		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
EXISTING	17820	0.409	0%	0	90.0%	0.368	10.0%	0.04091	0%	0.000	1.118	0.038	1.23	0.038
PROPOSED	14820	0.340	0%	0	34.0%	0.116	24.0%	0.08165	42%	0.143	1.826	0.052	1.39	0.071

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

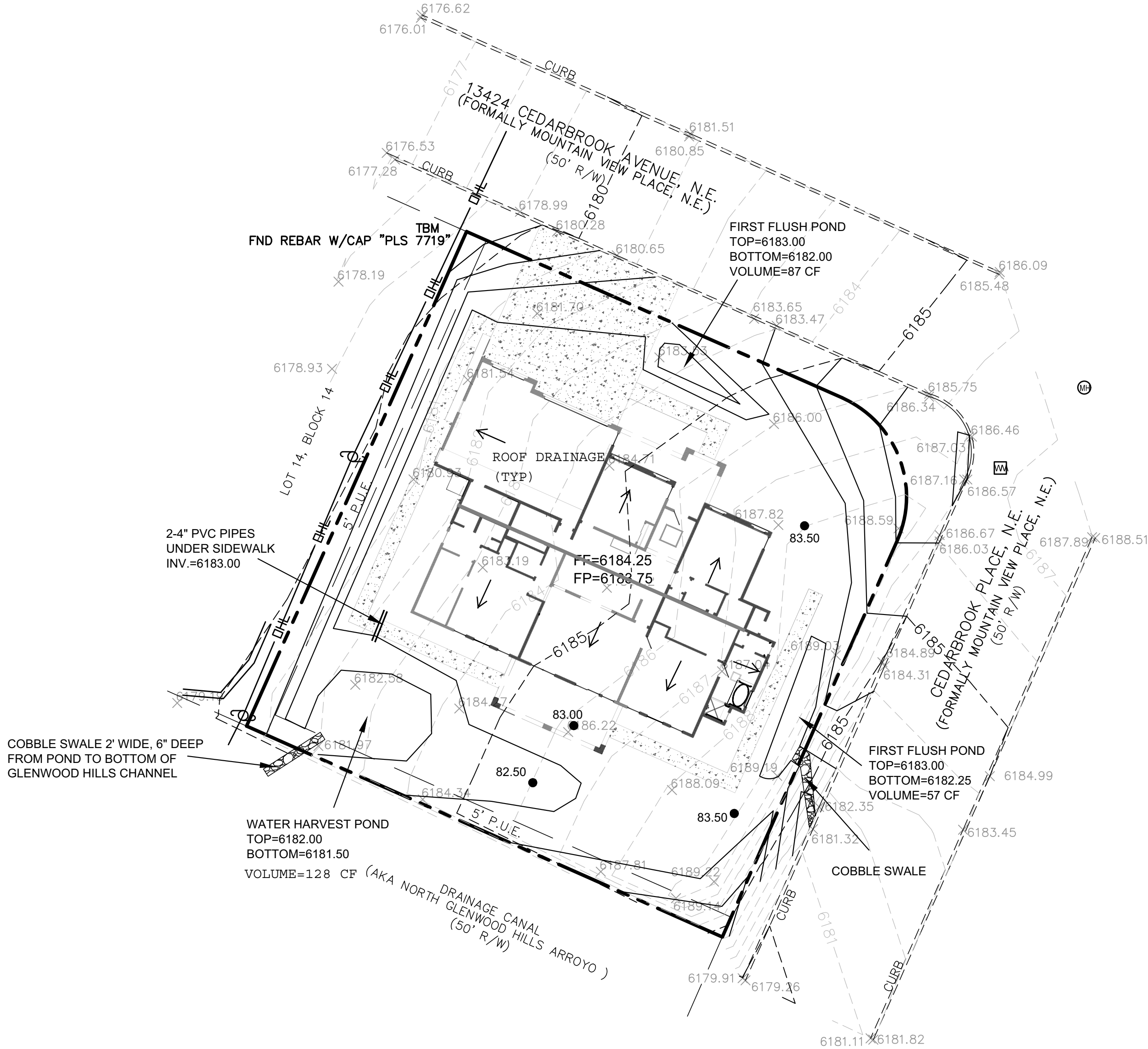
Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8	Qa= 2.2
Eb= 1.08	Qb= 2.92
Ec= 1.46	Qc= 3.73
Ed= 2.64	Qd= 5.25

FIRST FLUSH VOLUME
REQUIRED
PROVIDED

176.36 CF
272 CF

DRAINAGE NARRATIVE
THIS SITE IS A LOT WITHIN A FULLY DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS ADJACENT TO FULLY DEVELOPED ROADWAYS. GLEN WOOD HILLS ARROYO. ABUTS THIS SITE. THE DENSITY OF THIS DEVELOPMENT IS SIMILAR TO THE SURROUNDING FULLY DEVELOPED CONDITIONS. THE SITE WILL FREE DISCHARGE AFTER THE FIRST FLUSH VOLUMES ARE RETAINED ON SITE

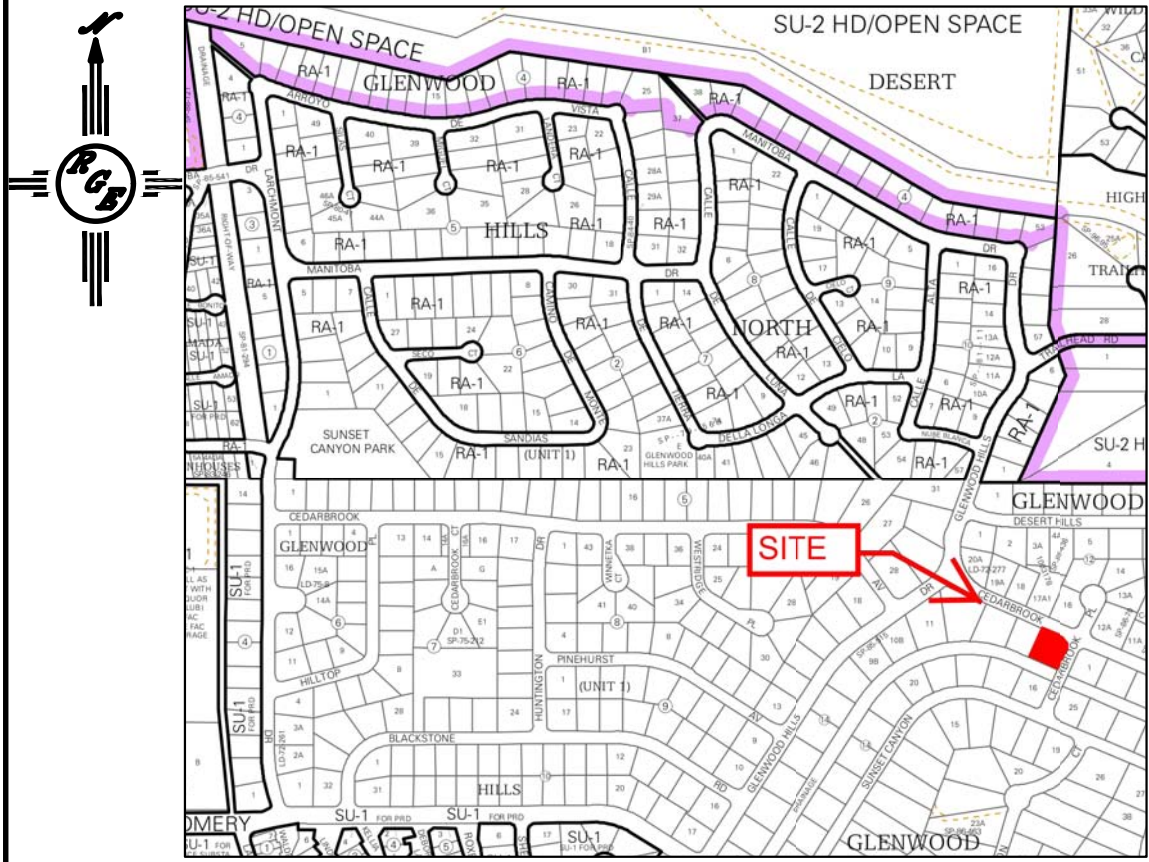


CAUTION:

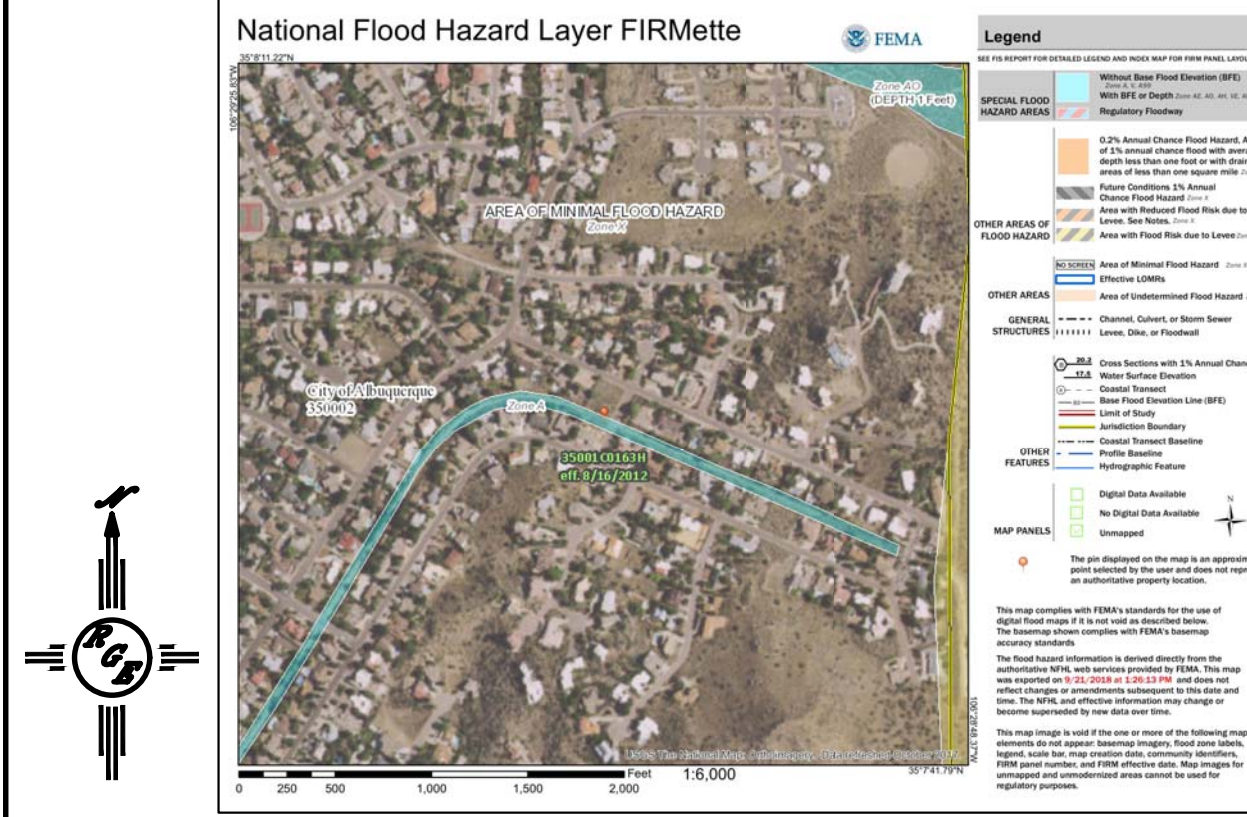
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: F-23-Z



FIRM MAP:

LEGAL DESCRIPTION:

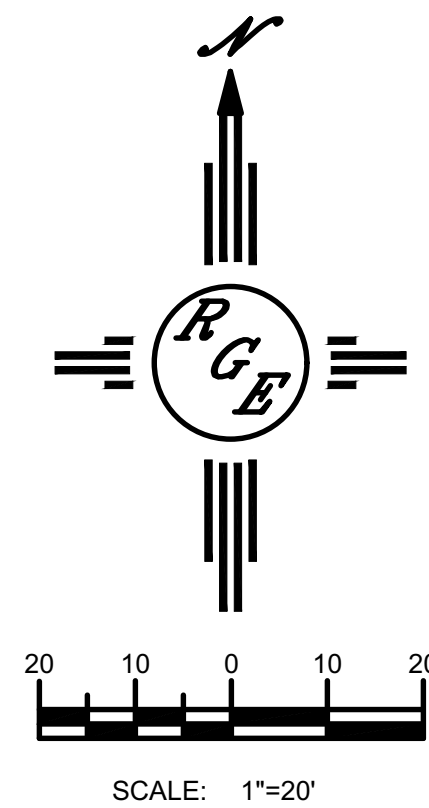
LOT 15, BLK 14 GLENWOOD HILLS UNIT 2
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ANY PROPOSED FENCING NOT SHOWN ON THIS PLAN MUST ALLOW FOR UNIMPEDED FLOW TO PASS THRU. COURT YARD WALLS NEAR HOME MAY BE BLOCK WITH BLOCKS TURNED AT GARDE EVERY 20' TO ALLOW FOR FREE FLOW OF STORM WATER.
3. TOPOGRAPHY SHOWN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGY ON 6/28/16. DATUM USED IS NAVD88.

LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
- - - -	PROPOSED INDEX CONTOUR
---	RIGHT-OF-WAY
---	EXISTING CURB AND GUTTER
x 5657.58	EXISTING SPOT ELEVATION
● 5657.58	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
[Pattern]	PROPOSED CONCRETE DRIVEWAY
[Pattern]	PROPOSED GRAVEL DRIVEWAY



ENGINEER'S SEAL 9/24/18 DAVID SOULE P.E. #14522	13424 CEDARBROOK AVE.	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 9-23-2018
	 Rio Grande Engineering 1800 CENTRAL AVENUE SUITE 301 ALBUQUERQUE, NM 87108 (505) 872-0000	SHEET # 1 OF 1 JOB # XXXXX