

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 21, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: 13424 Cedarbrook Ave NE
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading Plan Stamp Date: 11/27/18
Certification Dated: 6/14/19
Drainage File: F23D013

Dear Mr. Soule:

PO Box 1293

Based on the submittal received on 6/19/19, this certification is approved in support of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development and Review Services

C: Email Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 13424 Cedarbrook **Building Permit #:** _____ **Hydrology File #:** F23d013

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: lot 15 block 14 Glenwood Hills unit 2

City Address: 13424 Cedarbrook

Applicant: Lowebo homes **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

Existing Developed Basins		100-Year, 6-hr.				10-day			
Basin	Area (sq ft)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
EXISTING	14820	0%	0%	0%	0%	0.00	0.00	0.00	0.00
PROPOSED		0.340	0%	0%	0%	0.143	1.828	0.932	1.339

Equations:

Weighted E = E₁A₁ + E₂A₂ + E₃A₃ + E₄A₄ / (Total Area)

Volume = Weighted D * Total Area

Flow = Q₁ * A₁ + Q₂ * A₂ + Q₃ * A₃ + Q₄ * A₄

Where for 100-year, 6-hour storm (zone = 4)

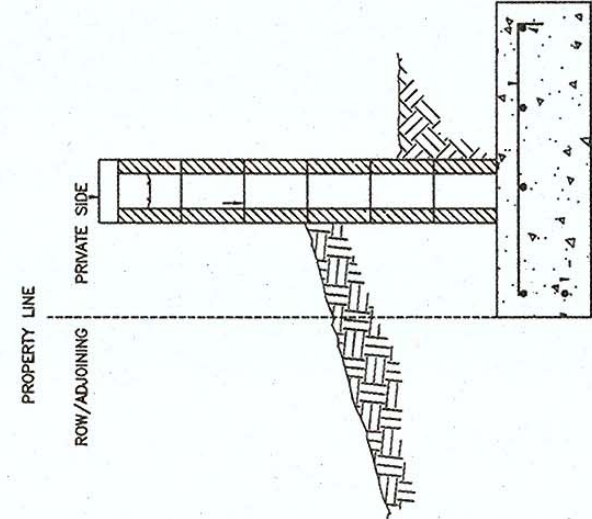
E₁ = 0.8
E₂ = 1.6
E₃ = 1.46
E₄ = 2.64

FIRST FLUSH VOLUME

REQUIRED

PROVIDED

DRAINAGE NARRATIVE
THIS IS A FULLY DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS ADJACENT TO FULLY DEVELOPED ROADWAYS, GLENWOOD HILLS ARROYO. ADJACENT TO THIS SITE, THE DENSITY OF THIS DEVELOPMENT IS SIMILAR TO THE SURROUNDING FULLY DEVELOPED CONDITIONS. THE SITE WILL FREE DISCHARGE AFTER THE FIRST FLUSH VOLUMES ARE RETAINED ON SITE



WALL SHALL BE CONSTRUCTED SUCH THAT NO PORTION OF WALL OR FOOTING SHALL ENDOACH. EXISTING GRASSES SHALL BE MAINTAINED WITHIN RIGHT OF WAY.

WALL DETAILS AT ALL PROPERTY BOUNDARIES

I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 11/27/18 BASED UPON APPROVAL FROM DESIGN ENGINEER THE PAD HAS BEEN CONSTRUCTED 12" LOWER. THE DRAINAGE CONCEPT HAS NOT CHANGED. I CERTIFY THE PAD IS AT A GRADE THAT CONFORMS TO THE APPROVED PLAN AND ACCEPTABLE FOR RELEASE OF BUILDING PERMIT



12/3/18

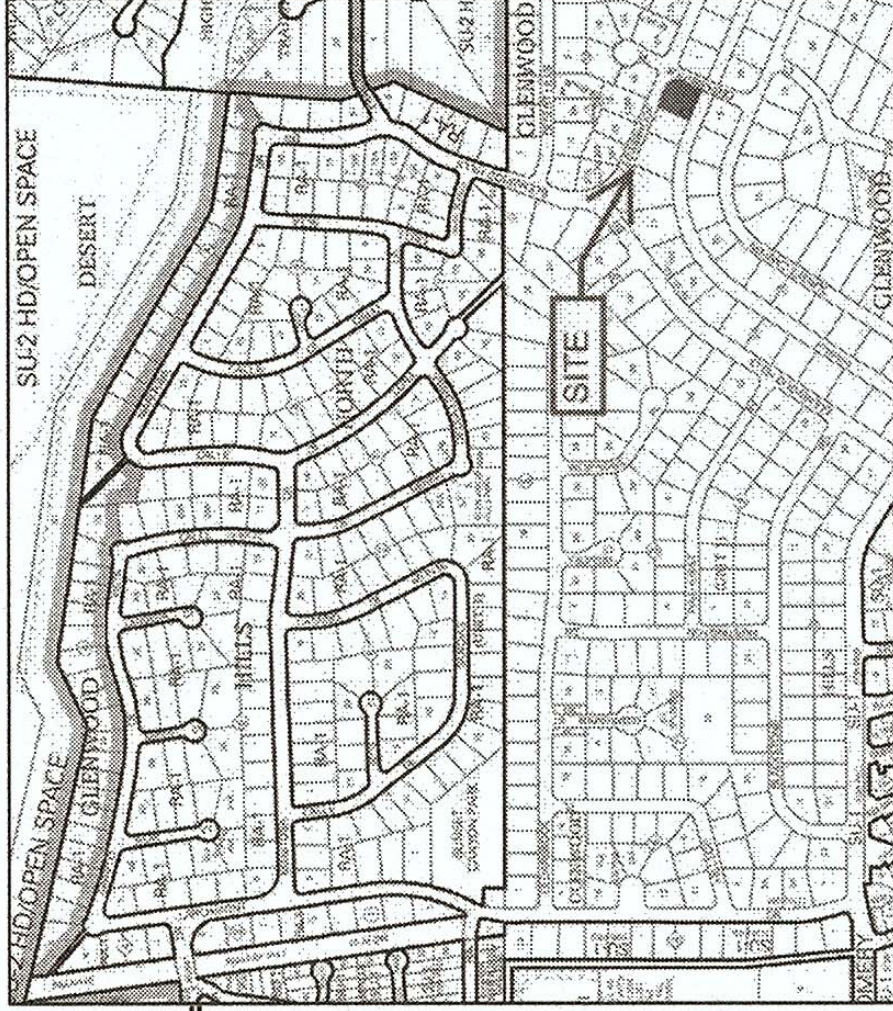
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 11/27/18. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



6/14/19

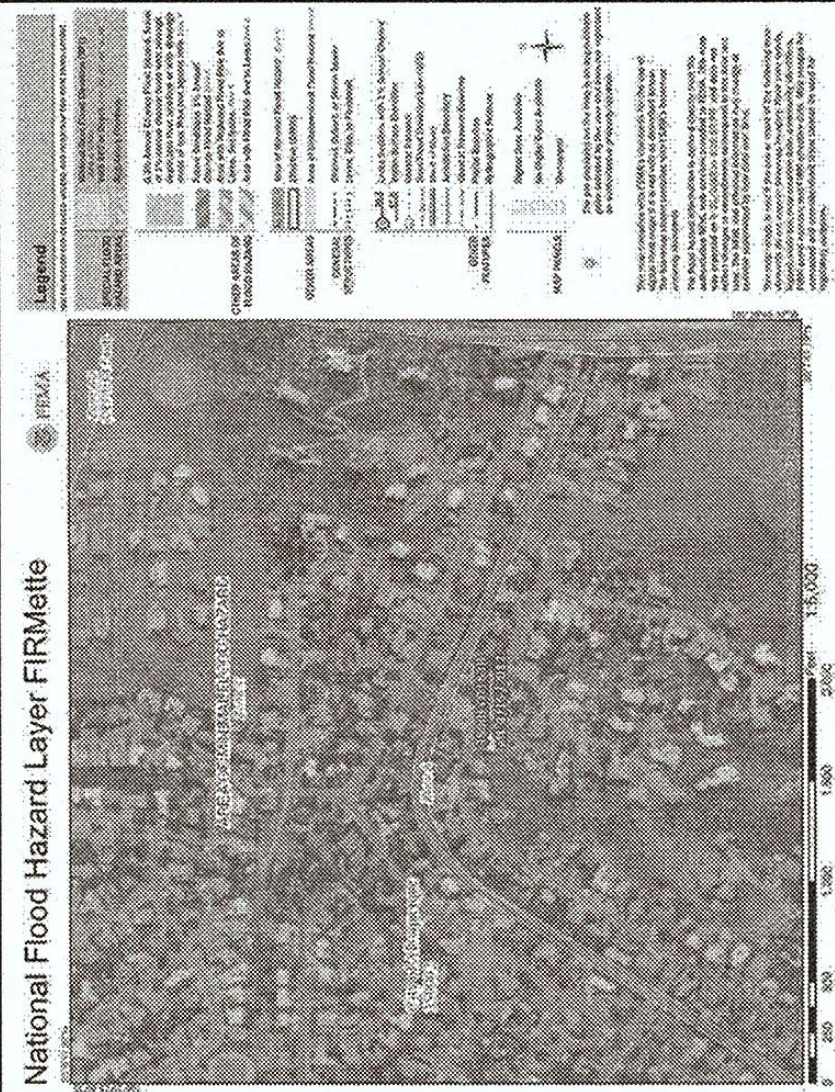
EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:

F-23-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 15, BLK 14 GLENWOOD HILLS UNIT 2
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ANY PROPOSED FENCING NOT SHOWN ON THIS PLAN MUST ALLOW FOR UNIMPEDED FLOW TO PASS THRU. COURT YARD WALLS NEAR HOME MAY BE BLOCK WITH BLOCKS TURNED AT GARDE EVERY 20' TO ALLOW FOR FREE FLOW OF STORM WATER.
- TOPOGRAPHY SHOWN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGY ON 8/28/16. DATUM USED IS NAVD88.

LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	RIGHT-OF-WAY
---	EXISTING CURB AND GUTTER
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED CONTOUR
---	PROPOSED CONCRETE DRIVEWAY
---	PROPOSED GRAVEL DRIVEWAY

