KEYED NOTES

PHASE I CONSTRUCTION

1. DROP INLET, TYPE D
2. DROP INLETS (1 TYPE A, 2 TYPE AA, 1 TYPE DD)
3. DRAINAGE CHANNEL, SECTION A-A
4. TEMPORARY DESILTING POND (40' x 40' BOTTOM, 1' DEEP, MIN.)
5. TEMPORARY DIVERSION DITCH & DIKE, SECTION C-C

FUTURE CONSTRUCTION

1. DRAINAGE CHANNEL, SECTION A-A
2. PERMANENT DIVERSION DITCH & DIKE, SECTION B-B (POND OUTLET DISCHARGE : ONLY)
3. DIVERSION DITCH & DIKE (SECTION C-C MIN.) REQUIRED IF FUTURE LOT IMPROVEMENTS INFRINGE ON THE EXISTING DITCH
4. TEMPORARY DESILTING POND (40' x 40' BOTTOM, 1' DEEP, MIN.)

LEGEND

- PHASE I STREET PAVEMENT
- HIGH POWER ELECTRIC TRANSMISSION LINE POLES
- EXISTING CONTOURS 5140
- WATER BLOCK
- PROPOSED STREET GRADES 2 %
- ANALYSIS POINT (AP-2)
- DIRECTION OF FLOW
- AREAS REQUIRING 100 % PONDING OF RUNOFF 2.2" RAINFALL WITH 24 HR. RELEASE RATE.
- DRAINAGE DIVIDE

NOTES:

1. LOTS 9, 11 & 12, AND 17, 18, 19, & 20 ARE ALLOWED FREE DISCHARGE FROM UNSHADED AREAS.
2. CONSTRUCTION PROJECT 2404 HAS BEEN SUBMITTED FOR CITY REVIEW.

SCALE: 1" = 100'

NOTE:
OURAY ROAD GRADES ARE SUBJECT TO CHANGE BEYOND (WEST OF) THE LIMIT OF DETAILED STUDY IN ORDER TO MATCH FUTURE UNSER BLVD. (PER DRC REVIEW 4-17-85)

EL RANCHO ATRISCO PHASE II

OURAY RD. N.W.

FUTURE UNSER BLVD. N.W.

PLAINS ELECTRIC CO-OP, INC. UTILITY EASEMENT

200' P.N.M. EASEMENT

LIMIT OF DETAILED STUDY

PHASE I

PHASE II

C-1
12.3 AC.
ALLOWABLE DEVELOPED 100 YR. RELEASE RATE 3.36 CFS/ACRE.

SU-1
6.5 Ac.
ALLOWABLE 100 YR. RELEASE RATE 2 CFS/ACRE.
(FROM APPROVED CONCEPTUAL DRAINAGE PLAN.)

15.0 Ac.
ALLOWABLE 100 YR. RELEASE RATE 2 CFS/ACRE.
(FROM APPROVED CONCEPTUAL DRAINAGE PLAN.)

6.2 AC.
ALLOWABLE DEVELOPED 100 YR. RELEASE RATE 2 CFS/ ACRE.
(FROM APPROVED CONCEPTUAL DRAINAGE PLAN.)

PLAINS ELECTRIC CO-OP INC.

VULCAN ST.

PIEDRA LUMBRE ST. 1.6 %

PRENDA DE PLATA

EL RANCHO ATRISCO - UNIT 8

Q_{100} = 120 CFS
42" R.C.P. END SECTION W/ RIP-RAP BLANKET
STILLING BASIN
EXISTING CONCRETE DROP STRUCTURE

Q_{100} = 2.3 CFS
Q_{100} = 41.4 CFS
Q_{100} = 50.2 CFS
Q_{100} = 1.7 CFS
Q_{100} = 1.7 CFS
Q_{100} = 1.7 CFS
Q_{100} = 55.4 CFS
Q_{100} = 2.6 CFS
Q_{100} = 4.9 CFS
Q_{100} = 69.0 CFS
Q_{100} = 40 CFS

V_{100} = 4.5 fps, d_{100} = .55'
V_{100} = 5.1 fps, d_{100} = .58'

S = .0075

FLOW FROM POND RELEASES ONLY

20' PRIVATE DRAINAGE EASEMENT

CONSTRUCT TEMPORARY DIVERSION BERM, SECTION C-C, FOR PHASE I

P.N.M. WEST MESA SWITCHING STATION

SAMPLE CALCULATIONS

LOT 17
AREA ALLOWED FREE DISCHARGE
A = 0.56 ACRES i_{100} = 4.73 in/HR
90 % IMPERVIOUS, B SOILS ⟶ C = 0.86
Q_{100} = CIA = (.86)(4.73)(.56) = 2.3 CFS

NOTES:
SEE DESIGN REPORT FOR STORM DRAIN & CHANNEL HYDRAULICS.

PUBLIC 20' DRAINAGE EASEMENT TYPICAL
5' 10' CHANNEL STD. DWG. K-10 5'
1'-0" MIN.
CAP @ TOP OF CHANNEL ~ 150 CFS @ 2 % SLOPE

SECTION A-A

PRIVATE 20' DRAINAGE EASEMENT
2'
12" 18"
2:1 2:1
6" PIT RUN GRAVEL LINING (IN PERMANENT DITCHES ONLY)

SECTION B-B

SECTION C-C SIMILAR EXCEPT THAT GRAVEL LINING IS NOT REQUIRED

PIT RUN GRAVEL GRADATION

Sieve Size US Standard	Percent by Weight Passing
4 inch	100
3 inch	80-100
3/4 inch	45-65
No 4	25-45
No 40	0-20
No 200	0-5

BENCH MARK: 1-H9, IRON PIPE AT PROPERTY CORNER APPX. 500' WEST OF THE N.W. CORNER OF THE PLAINS ELECTRIC CO-OP SUB-STATION 1.3 MILES N.W. OF THE I-40 AND COORS RD. INTERCHANGE. EL. 5172.669

DEVELOPED HYDROLOGY:

AP NO.	DA AC.	T_c MIN	SOIL TYPE	% IMP	CN	C	P_{100} IN.	I_{100} IN/HR	ALLOWABLE Q_{100} CFS
1	27.7	10	A	90	94	.76	2.2	4.7	55.4*
2	32.5	10	A	90	94	.76			64.3
3	12.3	10	A	90	94	.76			41.4
4	1.8	10	A/B	90	94	.86			5.1
5	14.6	10	A/B	90	94	.80			48.8
6	38.6	10	A/B	90	94	.80			115.8

* 10 YR. VOLUMES & FLOW RATES = 0.66 x 100 YR.

EASTERLING & ASSOCIATES INC.
CONSULTING ENGINEERS
5643 PARADISE BLVD. N.W. ABQ. N.M. (505) 898-8021

DRAINAGE PLAN
VOLCANO BUSINESS PARK

DATE: FEB., 1985
REV. 4-18-85 REV. REV.

DRAINAGE PLAN

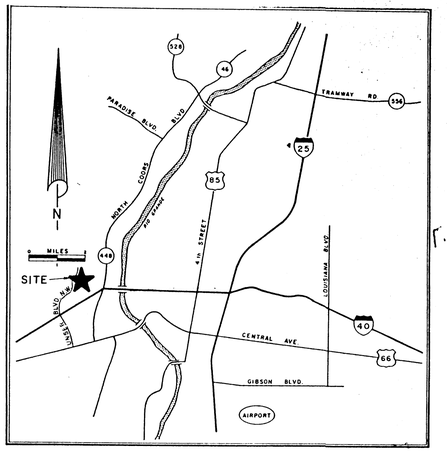
OF

VOLCANO BUSINESS PARK

FOR

WESTLAND DEVELOPMENT CORPORATION

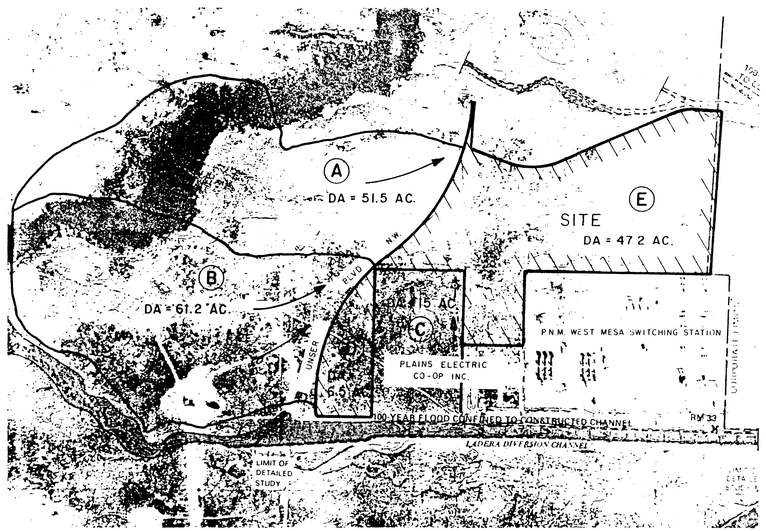
VICINITY MAP *Bernalillo County Zone Atlas Map No. G-9, G-10, H-9, H-10*



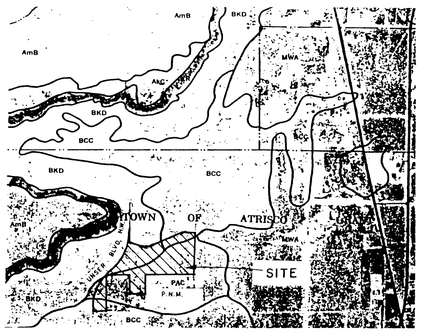
LEGAL DESCRIPTION:

PROPOSED VOLCANO BUSINESS PARK;
TOWN OF ATRISCO GRANT

FLOOD HAZARD MAP *(From F.E.M.A., Map No. 21)* & OFFSITE FLOWS



SOILS MAP *From Soil Survey, Bernalillo County - U.S.D.A., S.C.S.*



DRAINAGE REPORT

GENERAL: The 51.7 acre site is located at the south east corner of future Unser Blvd. and future Ouray Road. The zoning is SU-. for industrial park and C-1. The land is within the Ladera Detention Facility watershed and slopes from west to east at between 2% and 3%. The soils are silty and loamy sands and support a fair grass cover when not over-grazed or heavily trafficked.

OFF-SITE FLOWS:

Existing Conditions: The site is currently impacted by off-site flows only infrequently. Two significant areas (A and B) flow eastward from across future Unser Blvd. and across the site. There is little physical evidence of run-off crossing the site visible on the ground. Table I describes the existing flow rates and volumes. The flows from off-site traverse the site and are diverted northward along the east boundary in an existing ditch/dike and into the existing improved flood channel just north of Ouray Road. The ultimate destination is the Ladera Golf Course Detention Facility.

Developed Conditions: The areas west of future Unser Blvd. (A and B) will drain to Unser Blvd. and be constrained by the discharge rates dictated by the city drainage ordinance pertaining to arterial and collector streets. Runoff will not be allowed to cross Unser under that criteria. It is very likely that a storm drain system will be required for Unser Blvd. which will effectively shelter the site from flows originating west of Unser.

Flows will be intercepted in proposed Piedra Lumbre Street and carried down to the proposed storm drain and into the Ladera Detention Facility. Provision has been made to accept 30 cfs in the developed condition from Area C compared to the existing condition 100-year discharge of 24 cfs.

Interim Conditions: Until such time as Unser Blvd. is constructed, the off-site flows will be diverted and detained within the 20.7 acre C-1 tract and released at or below historic rates into the channel/storm drain system.

INTRACT:

DEVELOPED CONDITIONS:

The proposed development for the site is as shown on Sheet 2 of 2. It is anticipated that the project will be phased from east to west with Lots 1-7 and 11 & 12 served by a paved street and storm drain system. Offsite flows would be directed through desilting basins into the street or channel/storm drain system. The second phase would construct the balance of the streets and storm drainage facilities. The C-1 tract and the 6.5 acre SU-1 tract would be the last to develop and would probably not be altered until the timing of the construction of Unser was firm.

The drainage plan calls for runoff from the shaded areas to be ponded 100% and the non-shaded areas to free discharge. This scheme may not be practical in every instance and therefore those lots on the west side of streets can discharge at the rates shown on the plan. It is recommended that all runoff that flows to a street be routed through landscaping to reduce the frequency of runoff.

The large tracts will require some degree of detention ponding depending on how they are developed, but in any event, will be restricted to 2 cfs per acre release in the 100-year storm except as otherwise shown on Sheet 2.

TABLE I, HYDROLOGY - EXISTING CONDITIONS

AP #	DA AC	H FT	S FT/FT	L FT	T_c MIN	SOIL TYPE	% IMP	CN	C	P_2 IN	P_{10} IN	P_{100} IN	i_2 IN/HR	I_{10} IN/HR	i_{100} IN/HR	V_2 FT^3	V_{10} FT^3	V_{100} FT^3	Q_2 CFS	Q_{10} CFS	Q_{100} CFS
A	51.5	220	.07	3150	10.7	A	20	65	.26	1.0	1.5	2.2	2.0	3.1	4.5	—	9,350	37,390	-	41.5	603
B	61.2	200	.07	2750	9.7	A	7	58	.20	1.0	1.5	2.2	1.9	3.1	4.7	—	—	8890	-	-	57.5
C	15.0	22	.02	950	6.9	B	0	70	.34	1.0	1.5	2.2	1.9	3.1	4.7	—	4,360	18,000	-	15.8	24.0
D	6.5	18	.02	1050	7.5	B	0	70	.34	1.0	1.5	2.2	1.9	3.1	4.7	—	1,890	7,790	-	6.9	10.4
E	47.2	88	.03	2700	13.2	B	0	70	.34	1.0	1.5	2.2	1.8	2.65	4.0	—	13,700	56,540	-	42.5	64.2

EROSION CONTROL:

No lot grading is anticipated prior to development of each lot. Grading should be limited to that area necessary for construction. Any additional graded areas should be reseeded with native grasses and protected from runoff through the use of low dikes and shallow ditches.

SOILS INFORMATION

Soil series and map symbols	Degree and kind of limitations for—					Suitability as source of—				Soil features affecting—		Hydrologic soil group
	Septic tank absorption fields	Sewage lagoons	Shallow excavations	Dwellings without basements	Sanitary landfill (trench type)	Local roads and streets	Road fill	Sand	Gravel	Topsoil	Pond reservoir areas	Dikes, levees, and other embankments	
*Bluepoint: Bb, BcA, BCC, BkD. For Wink part of BdJ, see Wink series; for Kokan part of BKD, see Kokan series.	Slight if slope is 1 to 8 percent, moderate if 8 to 15.	Severe: seepage.	Severe: cut-banks cave	Slight if slope is 1 to 8 percent, moderate if 8 to 15	Moderate: too sandy.	Slight if slope is 1 to 8 percent, moderate if 8 to 15	Good	Fair: excess fines.	Unsuited	Poor: too sandy.	Seepage	Piping: seepage	A
Pajarito: PAC, PbB	Slight	Severe: seepage.	Slight	Slight	Severe: seepage.	Slight	Good	Poor: excess fines.	Unsuited	Good	Seepage	Piping	B

DESCRIPTIONS

BCC—Bluepoint loamy fine sand, 1 to 9 percent slopes. This soil is nearly level to moderately sloping. It has the profile described as representative of the series, but on about 10 percent of the acreage the surface layer is sand. Included in mapping are areas of Madurez, Pajarito, and Wink soils, which make up about 15 percent of the unit.

Runoff is slow, and the hazard of soil blowing is severe.

This soil is used for range, watershed, wildlife habitat, recreation, and community development. Dryland capability subclass VIIe; native plant community 2.

BKD—Bluepoint-Kokan association, hilly. This mapping unit is about 50 percent a Bluepoint loamy fine sand that has 5 to 15 percent slopes and 40 percent a Kokan gravelly sand that has 15 to 40 percent slopes. The gently rolling to rolling Bluepoint soil is on fans between gravelly ridges of the hilly to steep Kokan soil.

The Kokan soil has the profile described as representative of the Kokan series. On about 10 percent of the acreage, however, it has a high lime layer in the substratum.

On both soils, runoff is slow and the hazard of water erosion is moderate or severe.

This mapping unit is used for range, watershed, wildlife habitat, recreation, and community development. In Bernalillo County it is also a major source of sand and gravel. Dryland capability subclass VIIe; native plant community 2 for Bluepoint soil and 3 for Kokan soil.

PAC—Pajarito loamy fine sand, 1 to 9 percent slopes. This nearly level to moderately sloping soil is on the East and West Mesas. It has the profile described as representative of the series.

Included with this soil in mapping are areas of Bluepoint, Madurez, and Wink soils. On about 30 percent of the acreage are areas where the surface layer is fine sandy loam.

Runoff is slow, and the hazard of soil blowing is severe.

This soil is used for range, watershed, wildlife habitat, and community development. Dryland capability subclass VIIe; native plant community 6.

11-5-84
Rev 4-18-85
-ME

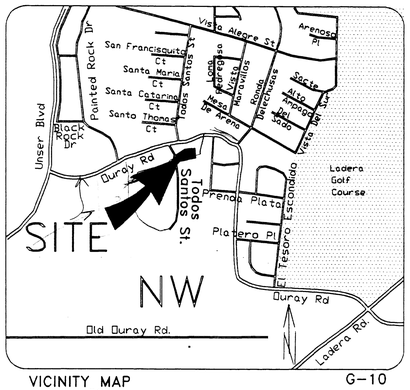
EASTERLING & ASSOCIATES INC.
CONSULTING ENGINEERS
5643 PARADISE BLVD. N.W. ABQ. N.M. (505) 898-8021

DRAINAGE PLAN
VOLCANO BUSINESS PARK

DATE: NOV., 1984
REV. 2-15-85 REV. 4-18-85 REV.

SHEET 1 OF 2

LOT 2 VOLCANO BUSINESS PARK



VICINITY MAP
NOT TO SCALE

G-10

BENCHMARK: ACS 4-G10 ELEVATION 5123.40

NOTE:

1. THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES ARE SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS DRAWING, PRIOR TO ANY EXCAVATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

LEGEND

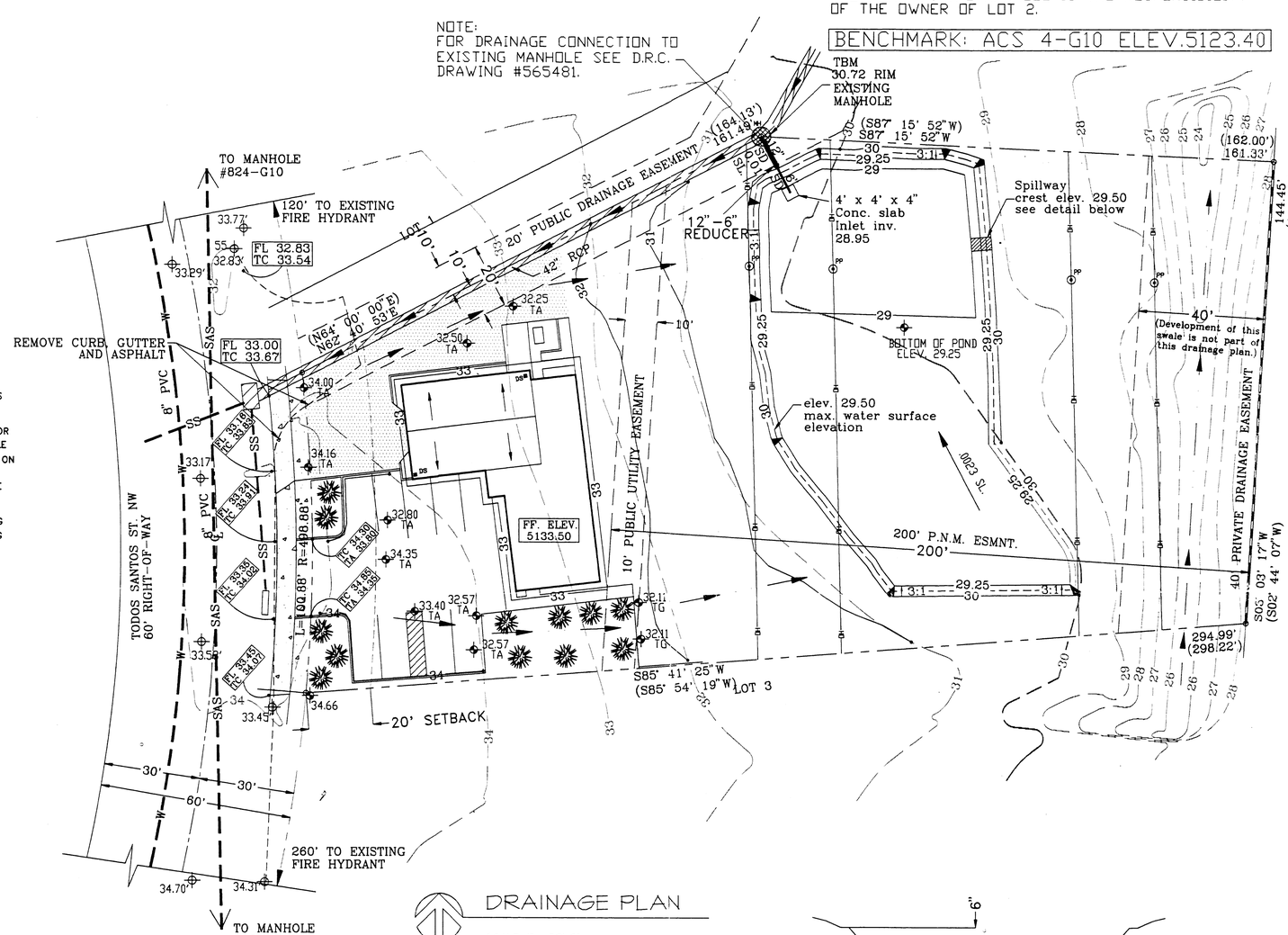
- 33 — EXISTING CONTOUR ELEVATION
- 30 — PROPOSED CONTOUR ELEVATION
- EXISTING 42" RCP
- PROPERTY LINE
- SS — EXISTING STORM SEWER
- W — EXISTING WATER LINE
- SAS — EXISTING SANITARY SEWER
- PP — POWER POLE
- MH — EXISTING MANHOLE
- OH — EXISTING OVERHEAD LINE
- EXISTING BLOCK WALL ON PROPERTY LINE
- EXISTING PROPERTY CORNER
- PROPOSED MEDIAN CURB AND GUTTER
- ASPHALT PAD
- FL 57.00 / TC 57.50 — PROPOSED ELEVATIONS, TOP OF CURB, FLOWLINE
- 57.50 TG — PROPOSED ELEVATIONS TOP OF GRAVEL
- 57.50 TA — PROPOSED ELEVATIONS TOP OF ASPHALT
- FF. ELEV. 5133.50 — PROPOSED FINISH FLOOR ELEVATION
- 56.16 — EXISTING SPOT ELEVATIONS
- 34.66 — PROPOSED SPOT ELEVATIONS
- PROPOSED LANDSCAPE AREA
- PROPOSED DIRECTION OF FLOW

C:\DRAINAGE\LTZVLCNO/CGAR/1:20
2/5/97

NOTE:
FOR DRAINAGE CONNECTION TO EXISTING MANHOLE SEE D.R.C. DRAWING #565481.

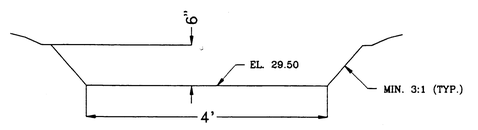
NOTE:
MAINTENANCE OF THE STORM SEWER FROM THE POND TO THE MANHOLE IS THE RESPONSIBILITY OF THE OWNER OF LOT 2.

BENCHMARK: ACS 4-G10 ELEV.5123.40

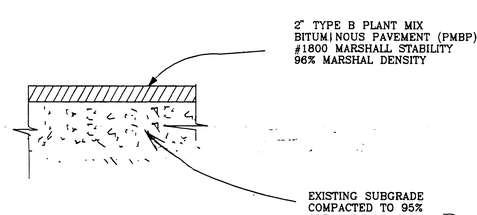


DRAINAGE PLAN

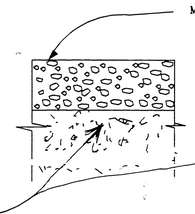
SCALE: 1" = 20'-0"



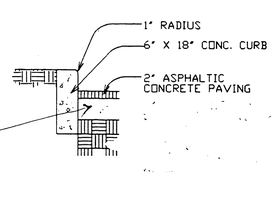
SPILLWAY SECTION
NTS



PROPOSED ASPHALT PAVEMENT
NTS



PROPOSED GRAVEL PARKING
NTS



PROPOSED HEADER CURB
NTS

DRAINAGE AND GRADING PLAN FOR
LOT 2, VOLCANO BUSINESS PARK

LEGAL DESCRIPTION: LOT 2, VOLCANO BUSINESS PARK

ADDRESS: 3021 TODOS SANTOS NW

FLOODPLAIN INFORMATION: The property is located on Zone X, outside the 500-year floodplain in accordance with FIRM Panel 35001CO 326 D, dated September 20, 1996.

EXISTING CONDITIONS: The subject area consists of approximately one acre of unimproved land in the city-approved development plan of Volcano Business Park. The lot is bounded on the west by Todos Santos Street NW (asphalt pavement,curb and gutter, sidewalk); on the north and south by unimproved Lots 1 and 3, respectively, of the same business park; and on the east by an existing walled residential subdivision. The lot is 298 feet deep, the rear 208 feet of which is an easement for the Public Service Company of New Mexico.

The lot slopes an average of 2.5% from west to east, directing the surface runoff to a drainage easement swale on the east 40 feet of the property, and eventually to a catch basin at the southeast corner of Lot 1. There are no offsite flows except for the runoff coming through the swale from Lot 3.

PROPOSED IMPROVEMENTS: Two buildings with approximately 3905 square feet of total roof area will be built. Asphalt parking fronting Todos Santos Street and gravel parking on the north and east sides of the structures will be built. Concrete sidewalk will be constructed. Landscaping will be provided.

A detention pond will be constructed at the rear of the lot. A six-inch diameter pipe will release the water from the pond to the existing 42-inch storm drain in the 20-foot public drainage easement adjoining the subject property.

EROSION CONTROL: Water from activities during construction and/or from rain will be temporarily ponded on site to prevent silt from entering the existing rights-of-way. Parking lot grading will take place after most of the building construction is completed to ensure that any runoff produced by rainfall during construction will flow toward the pond and silt will remain on site.

ANALYSIS: This drainage and grading plan utilizes the downstream analysis and pond routing performed by Brasher Lorenz, Inc. Consulting Engineers to determine the allowable discharge rate for the subject site under fully developed conditions and establish on-site detention ponding criteria. Brasher Lorenz' report "Supplemental Calculations for Lot 2, Volcano Business Park" is submitted with and made a part of this plan.

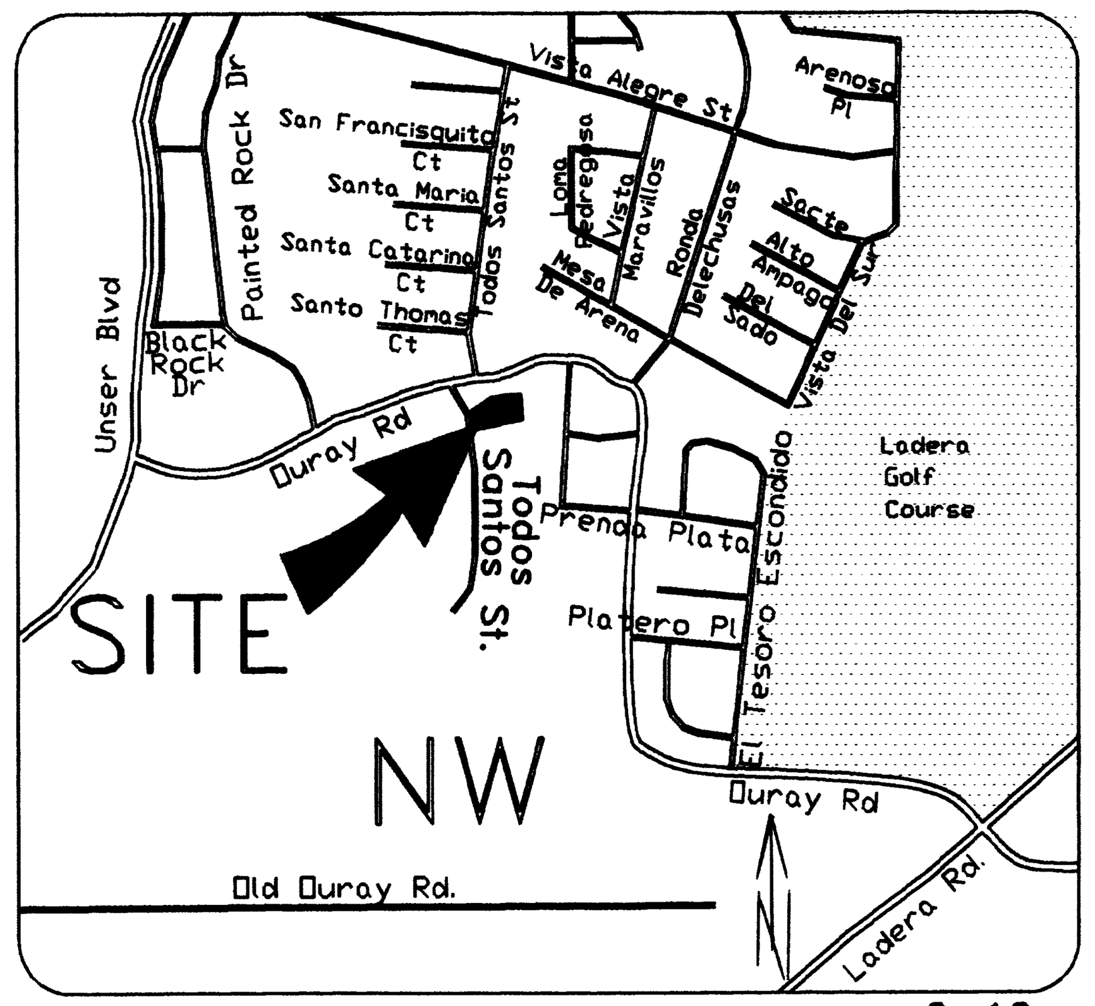
CALCULATIONS: The aforementioned report provides calculations that determine the existing and developed on-site hydrology using the AHYMO computer program, downstream capacity, ponding sizing and routing, and spillway design.

Celia S. Tomlinson 3/6/97

REGISTERED PROFESSIONAL ENGINEER STATE OF NEW MEXICO NO. 4895 CELIA S. TOMLINSON

RHOMBUS P.A., INC.
FACILITIES ENGINEERS ◊ ENVIRONMENTAL CONSULTANTS
2620 San Mateo NE SUITE B
Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896

LOT 2 VOLCANO BUSINESS PARK



VICINITY MAP
NOT TO SCALE

G-10

BENCHMARK: ACS 4-G10 ELEVATION 5123.40

NOTE:

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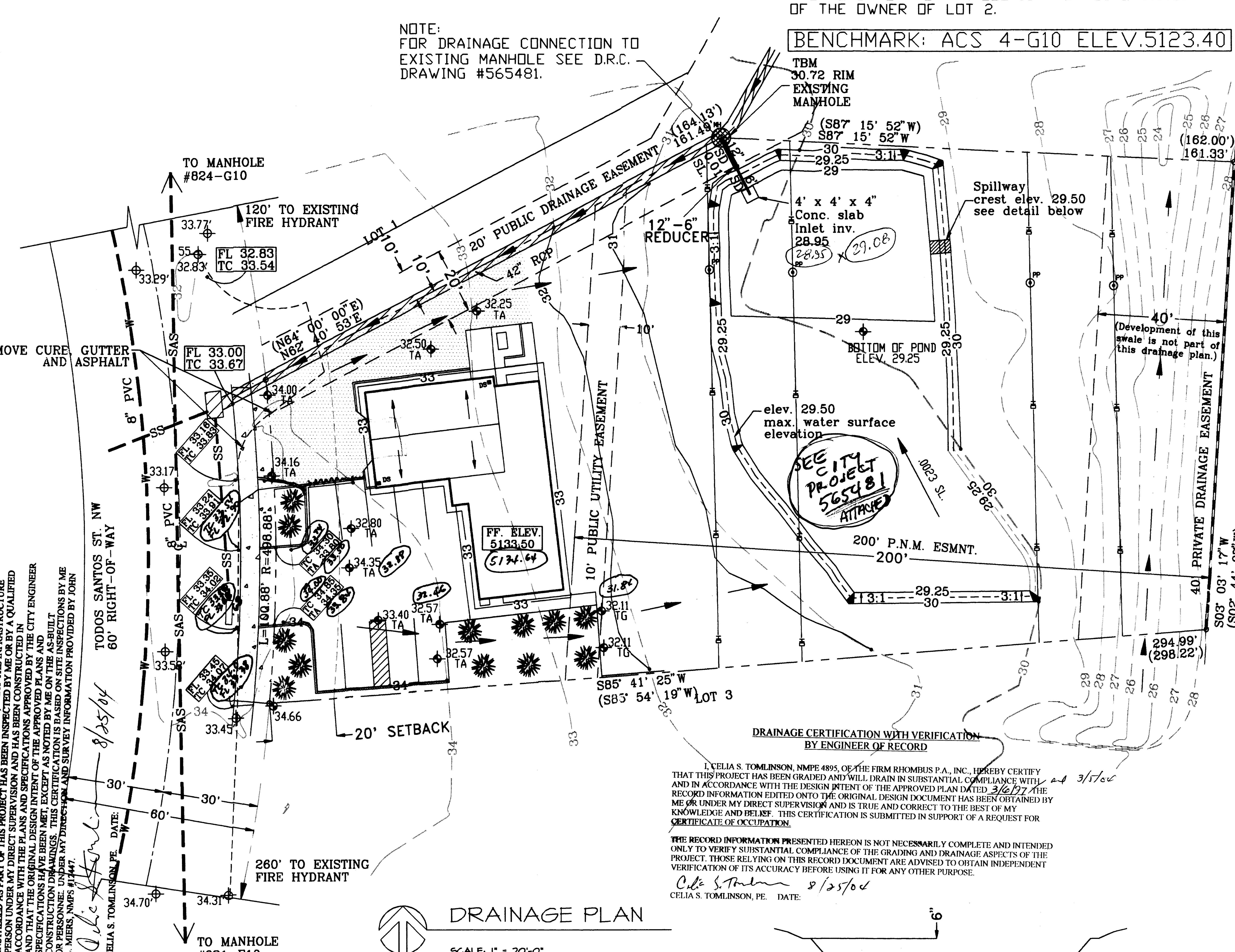
- FF. ELEV. 5133.50 — PROPOSED FINISH FLOOR ELEVATION
- 56.16 — EXISTING SPOT ELEVATIONS
- 34.66 — PROPOSED SPOT ELEVATIONS
- PROPOSED LANDSCAPE AREA
- PROPOSED DIRECTION OF FLOW
- (33.84) AS-BUILT ELEVATION

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

CELIA S. TOMLINSON, PE. DATE: 8/25/04



DRAINAGE PLAN

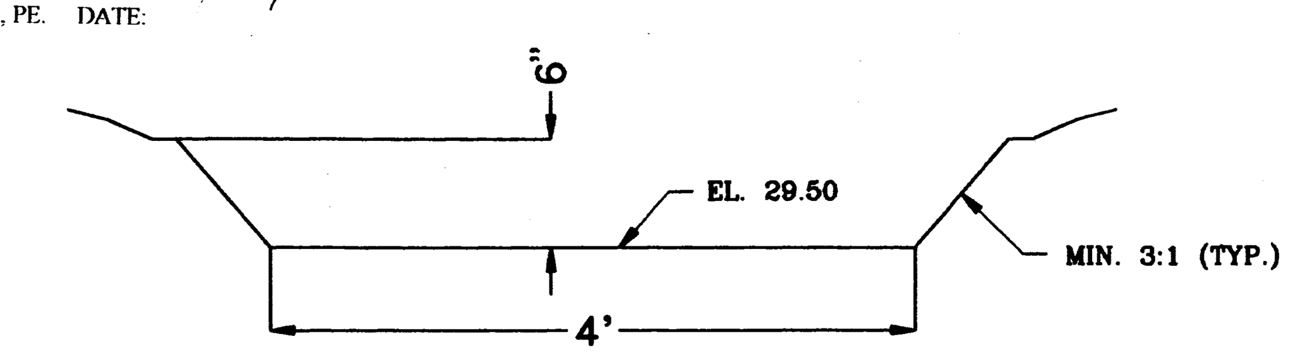
SCALE: 1" = 20'-0"

DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/6/97 and 3/5/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPATION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CELIA S. TOMLINSON, PE. DATE: 8/25/04



SPILLWAY SECTION
NTS

DRAINAGE AND GRADING PLAN FOR LOT 2, VOLCANO BUSINESS PARK

LEGAL DESCRIPTION: LOT 2, VOLCANO BUSINESS PARK

ADDRESS: 3021 TODOS SANTOS NW

FLOODPLAIN INFORMATION: The property is located on Zone X, outside the 500-year floodplain in accordance with FIRM Panel 35001CO 326 D, dated September 20, 1996.

EXISTING CONDITIONS: The subject area consists of approximately one acre of unimproved land in the city-approved development plan of Volcano Business Park. The lot is bounded on the west by Todos Santos Street NW (asphalt pavement, curb and gutter, sidewalk); on the north and south by unimproved Lots 1 and 3, respectively, of the same business park; and on the east by an existing walled residential subdivision. The lot is 298 feet deep, the rear 208 feet of which is an easement for the Public Service Company of New Mexico.

The lot slopes an average of 2.5% from west to east, directing the surface runoff to a drainage easement swale on the east 40 feet of the property, and eventually to a catch basin at the southeast corner of Lot 1. There are no offsite flows except for the runoff coming through the swale from Lot 3.

PROPOSED IMPROVEMENTS: Two buildings with approximately 3905 square feet of total roof area will be built. Asphalt parking fronting Todos Santos Street and gravel parking on the north and east sides of the structures will be built. Concrete sidewalk will be constructed. Landscaping will be provided.

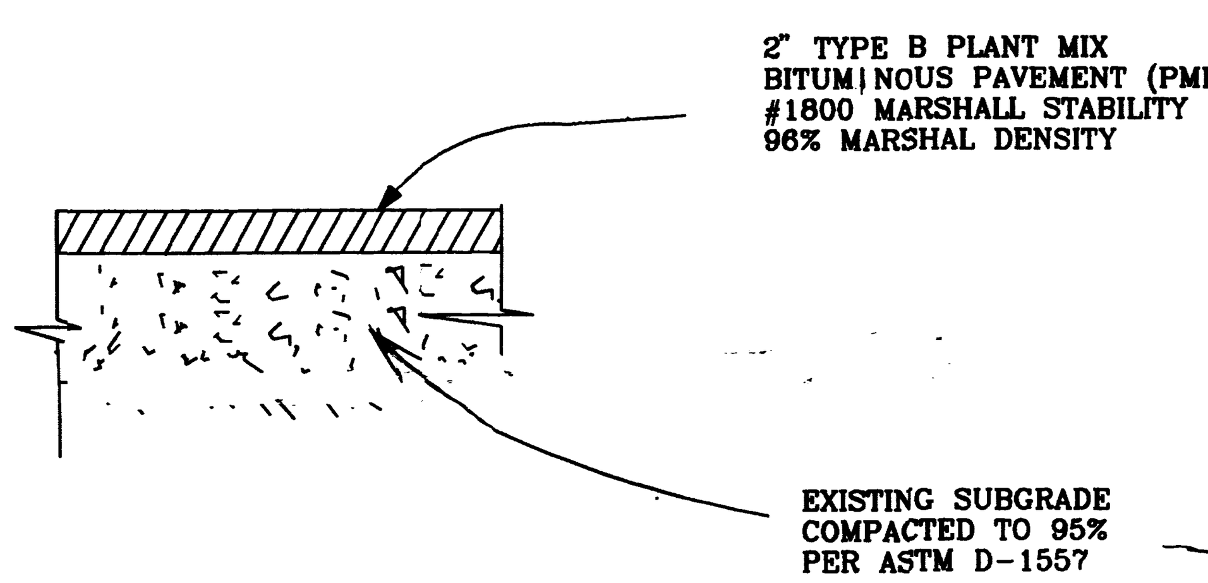
A detention pond will be constructed at the rear of the lot. A six-inch diameter pipe will release the water from the pond to the existing 42-inch storm drain in the 20-foot public drainage easement adjoining the subject property.

EROSION CONTROL: Water from activities during construction and/or from rain will be temporarily ponded on site to prevent silt from entering the existing rights-of-way. Parking lot grading will take place after most of the building construction is completed to ensure that any runoff produced by rainfall during construction will flow toward the pond and silt will remain on site.

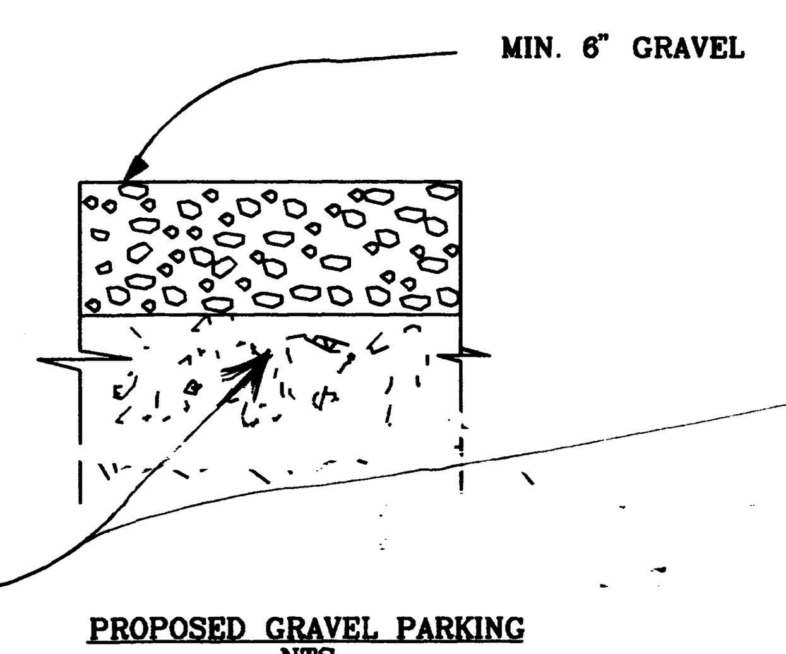
ANALYSIS: This drainage and grading plan utilizes the downstream analysis and pond routing performed by Brasher Lorenz, Inc. Consulting Engineers to determine the allowable discharge rate for the subject site under fully developed conditions and establish on-site detention ponding criteria. Brasher Lorenz' report "Supplemental Calculations for Lot 2, Volcano Business Park" is submitted with and made a part of this plan.

CALCULATIONS: The aforementioned report provides calculations that determine the existing and developed on-site hydrology using the AHYMO computer program, downstream capacity, ponding sizing and routing, and spillway design.

Celia S. Tomlinson 3/6/97



PROPOSED ASPHALT PAVEMENT
NTS



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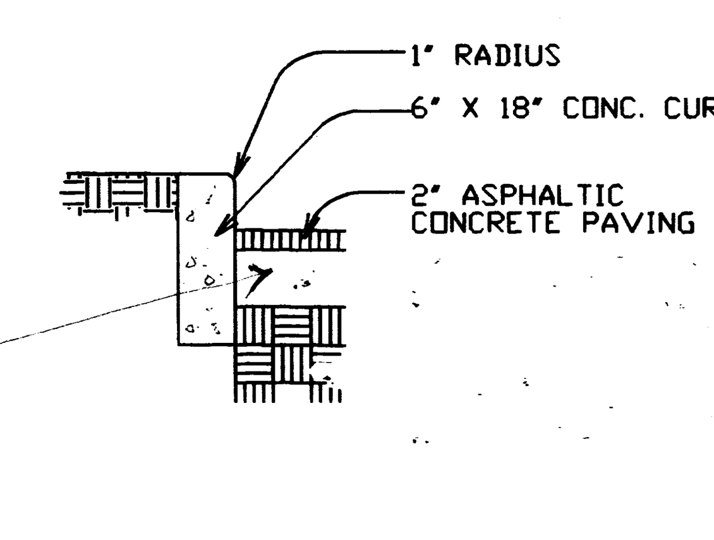


PROPOSED HEADER CURB
NTS

LOT 2 VOLCANO BUSINESS PARK TODOS SANTOS ST. NW

RHOMBUS P.A., INC.
FACILITIES ENGINEERS ◊ ENVIRONMENTAL CONSULTANTS
2620 San Mateo NE SUITE B
Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6898

C:\DRAINAGE\LT2VLCNO\CGAR/1:20 2/5/97

PROPOSED DRAIN LINE TO MANHOLE FOR LOT 2 VOLCANO BUSINESS PARK

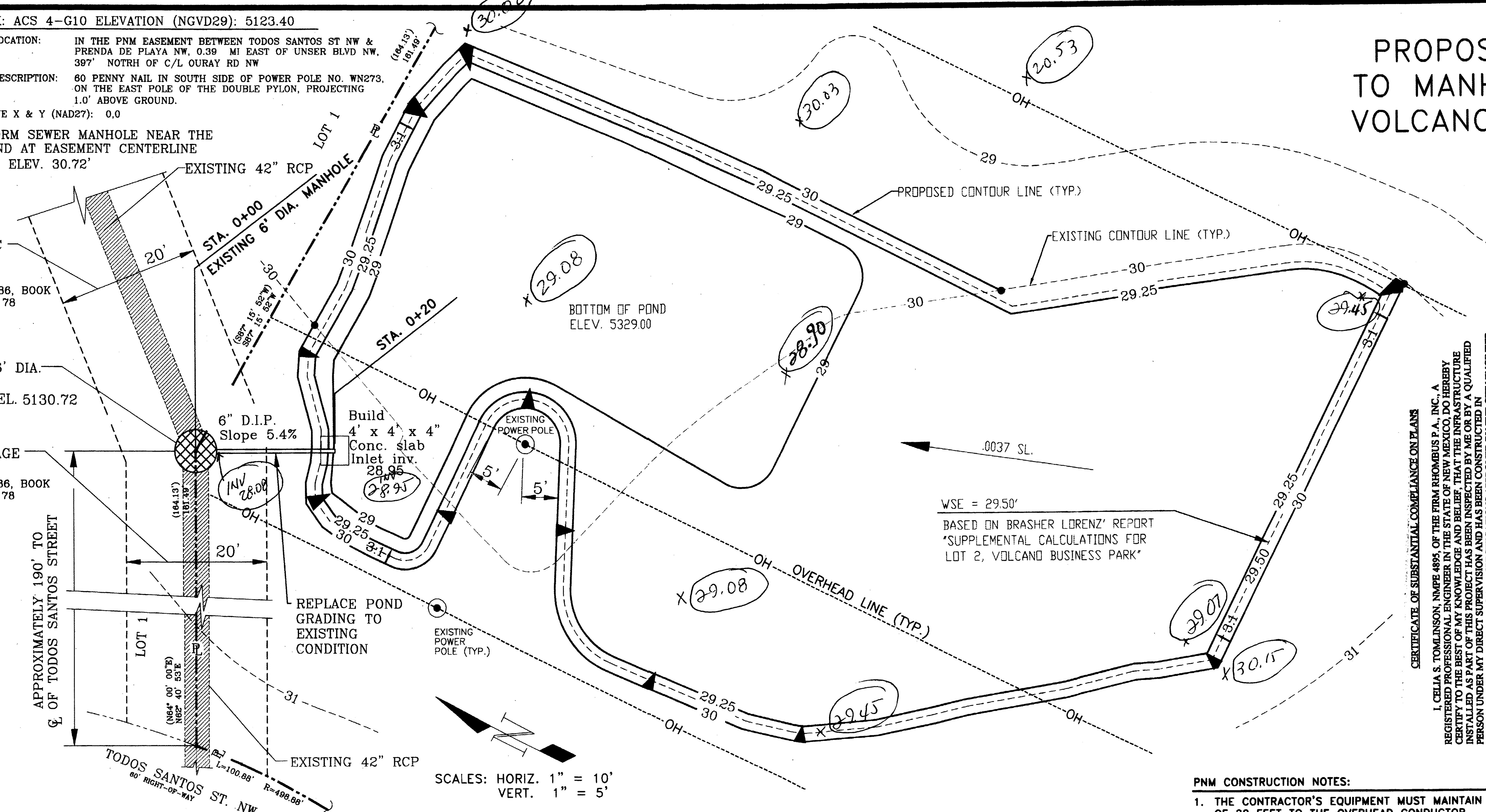
BENCHMARK: ACS 4-G10 ELEVATION (NGVD29): 5123.40

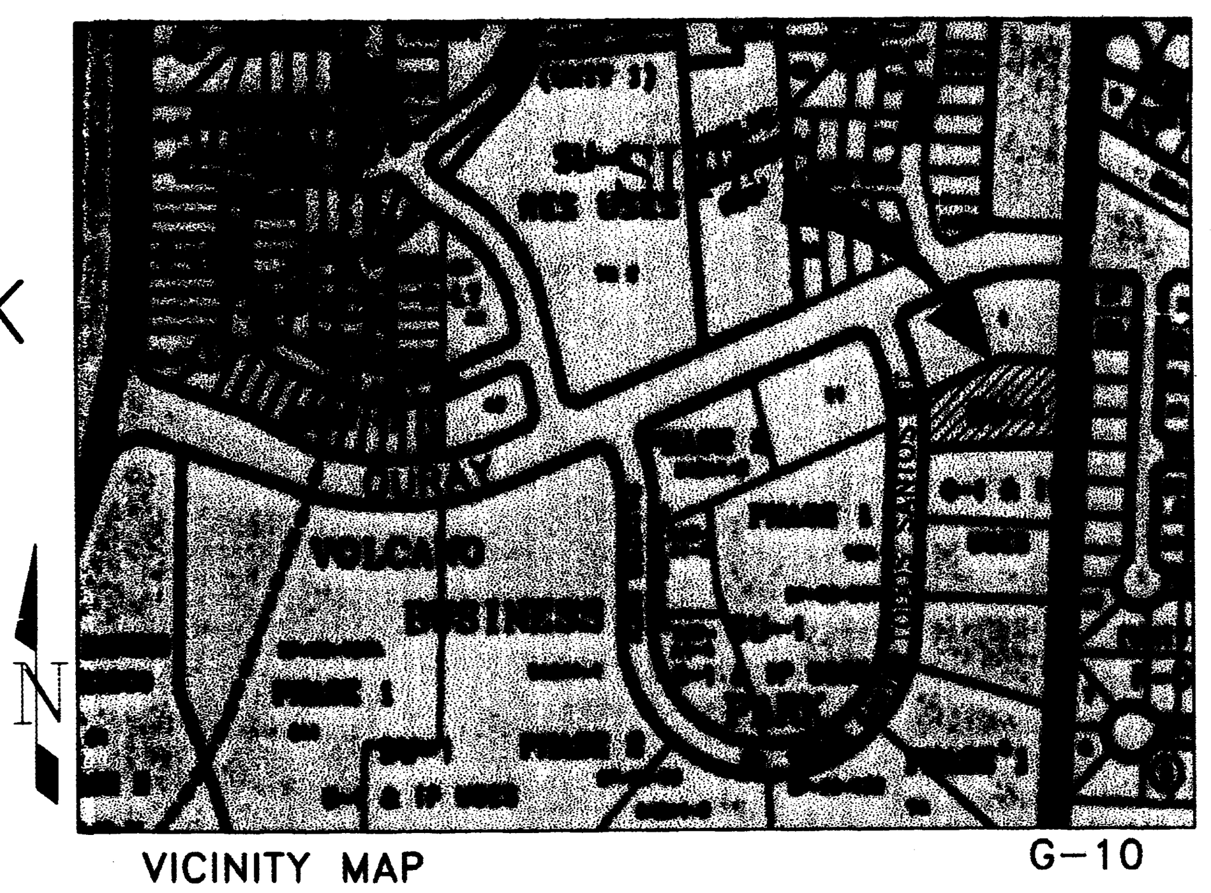
BENCH MARK LOCATION: IN THE PNM EASEMENT BETWEEN TODOS SANTOS ST NW & PRENDA DE PLAYA NW, 0.39 MI EAST OF UNSER BLVD NW, 397' NOTRH OF C/L OURAY RD NW

BENCH MARK DESCRIPTION: 60 PENNY NAIL IN SOUTH SIDE OF POWER POLE NO. WN273, ON THE EAST POLE OF THE DOUBLE PYLON, PROJECTING 1.0' ABOVE GROUND.

NM STATE PLANE X & Y (NAD27): 0.0

T.B.M. STORM SEWER MANHOLE NEAR THE POND AT EASEMENT CENTERLINE RIM ELEV. 30.72'





CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW MEXICO, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THE INFRASTRUCTURE INSTALLED AS PART OF THIS PROJECT HAS BEEN INSPECTED BY ME OR BY A QUALIFIED PERSON UNDER MY DIRECT SUPERVISION AND HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER AND THAT THE ORIGINAL DESIGN INTENT OF THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MET, EXCEPT AS NOTED BY ME ON THE AS-BUILT CONSTRUCTION DRAWINGS. THIS CERTIFICATION IS BASED ON SITE INSPECTIONS BY ME OR PERSONNEL UNDER MY DIRECTION AND SURVEY INFORMATION PROVIDED BY JOHN L. MIERS, NMPS #12447.

DATE 8/25/04

GENERAL NOTES:

1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 7 WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS.
2. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE-CALL SYSTEM (260-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
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4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC. WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED, AND RE-SET BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND SHALL NOTIFY THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION.
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THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED:

- ___ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ___ BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- ___ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY ENGINEER.
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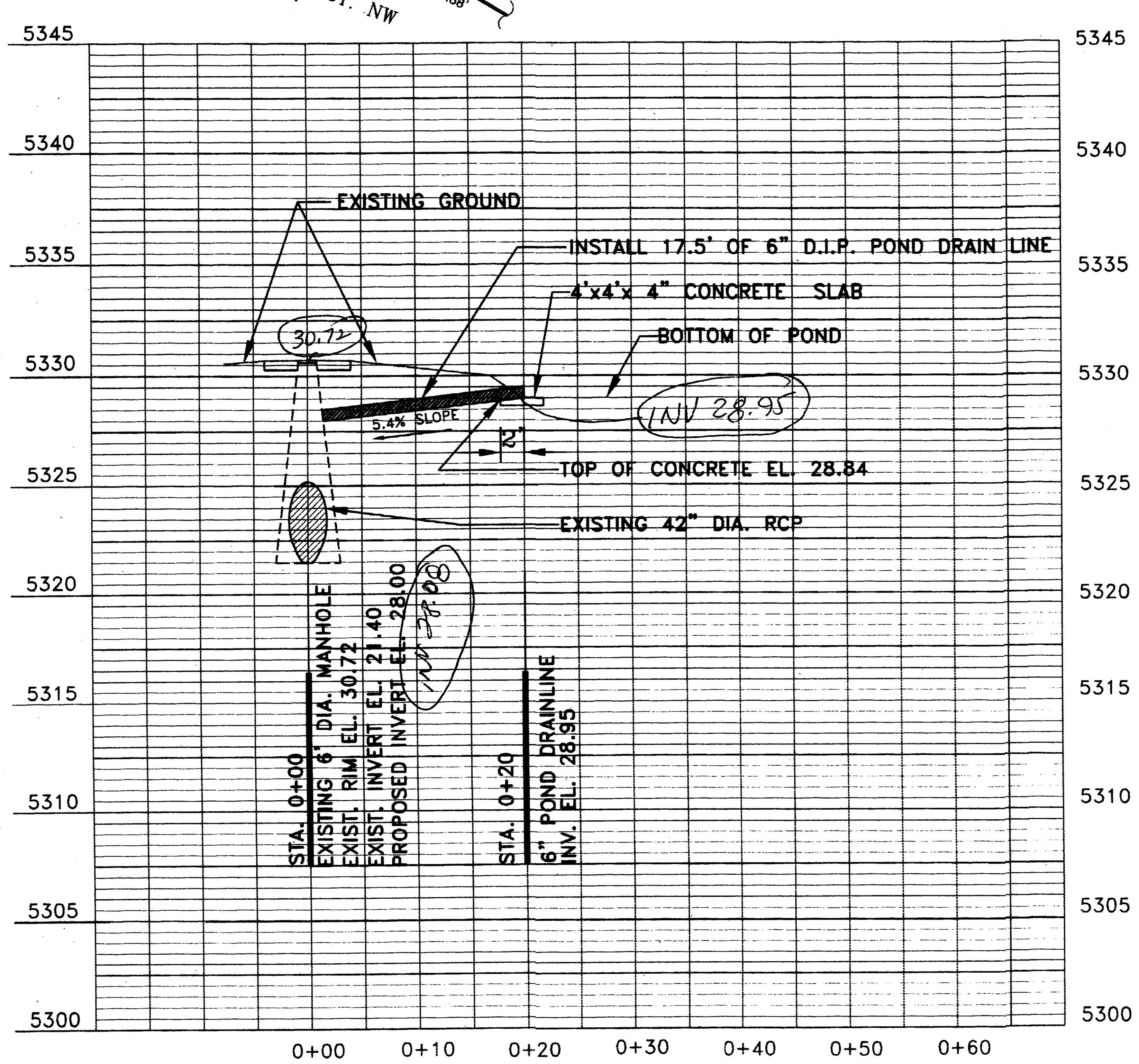
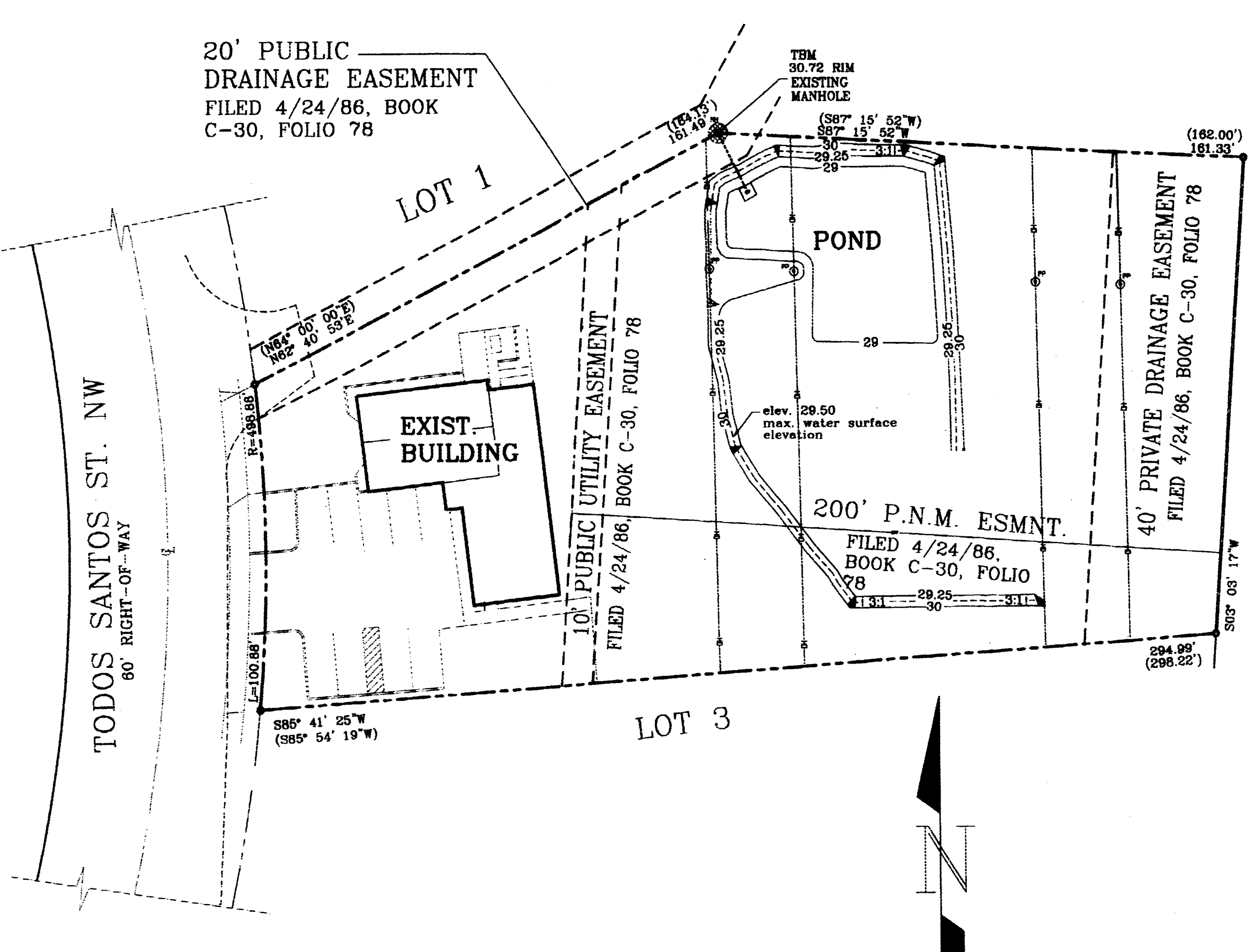




SITE DIAGRAM

NOT TO SCALE

NOTE: MAINTENANCE OF THE STORM SEWER FROM THE POND TO THE MANHOLE IS THE RESPONSIBILITY OF THE OWNER OF LOT 2, PER PRIVATE FACILITY COVENANT.

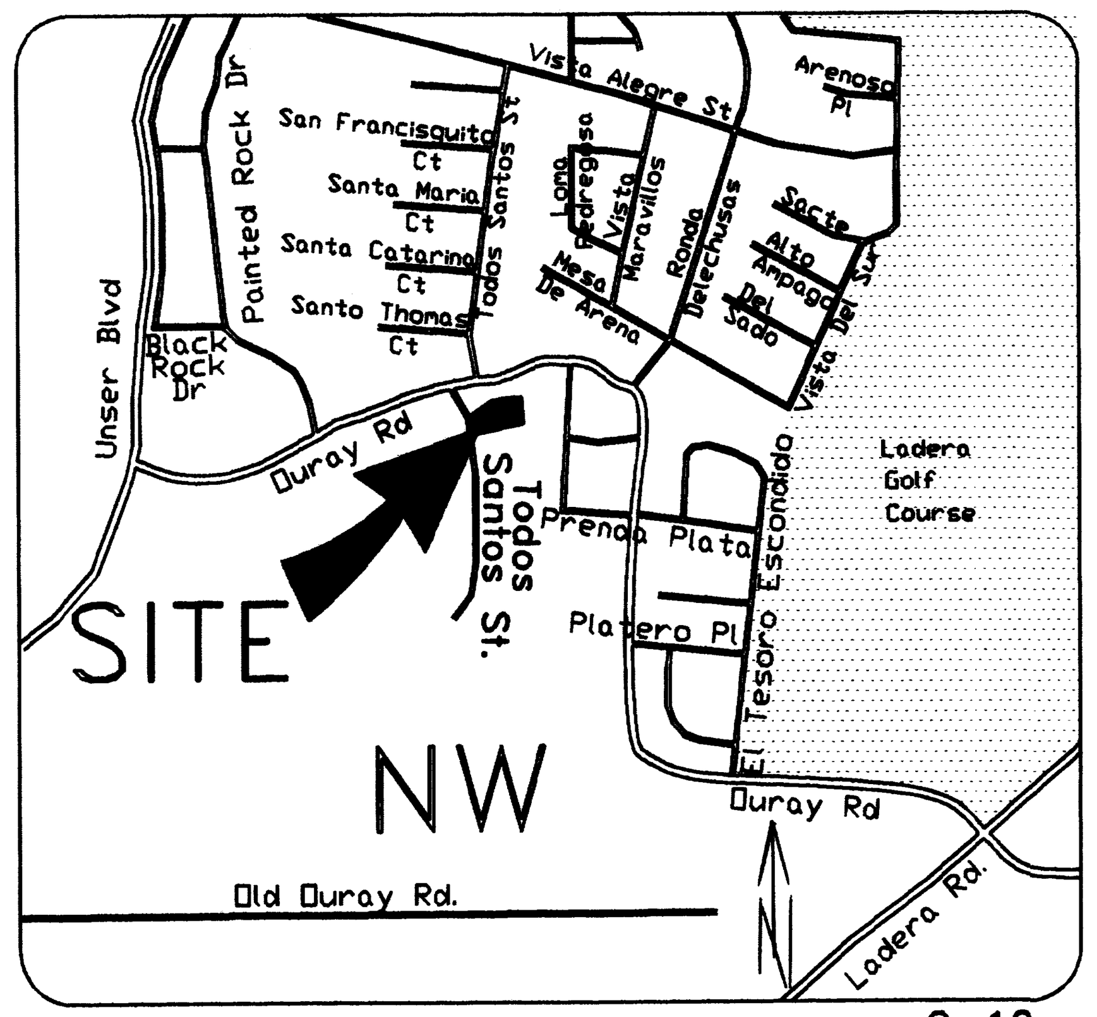
RHOMBUS P.A., INC.
FACILITIES ENGINEERS & ENVIRONMENTAL CONSULTANTS
2620 San Mateo NE SUITE B
Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ENGINEER'S STAMP AND SIGNATURE	APPROVALS	ENGINEER	DATE	*************
	DRC Chairman	[signature]	3-15-04	APPROVED FOR CONSTRUCTION
	Transportation	N/A	3/12/04	
	Water/Wastewater	N/A		
	Hydrology	[signature]	3/8/04	[signature] 7-09-04
	C.I.P.			
	Constr. Coord.	[signature]	3-15-04	CITY ENGINEER DATE
3/5/04	City Project No.	565481	Sheet 1	of 1

PLOT: 1"=20'

LOT 2 VOLCANO BUSINESS PARK



VICINITY MAP
NOT TO SCALE

G-10

BENCHMARK: ACS 4-G10 ELEVATION 5123.40

NOTE:

1. THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES ARE SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.
2. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON MAPS AND/OR EVIDENCES ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF ALL UTILITIES, SHOWN OR NOT SHOWN ON THIS DRAWING, PRIOR TO ANY EXCAVATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING RUN-OFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

LEGEND

- 33 — EXISTING CONTOUR ELEVATION
- 30 — PROPOSED CONTOUR ELEVATION
- EXISTING 42" RCP
- PROPERTY LINE
- SS — EXISTING STORM SEWER
- W — EXISTING WATER LINE
- SAS — EXISTING SANITARY SEWER
- PP — POWER POLE
- MH — EXISTING MANHOLE
- OH — EXISTING OVERHEAD LINE
- EXISTING BLOCK WALL ON PROPERTY LINE
- EXISTING PROPERTY CORNER
- PROPOSED MEDIAN CURB AND GUTTER
- ASPHALT PAD
- FL 57.00 / TC 57.50 — PROPOSED ELEVATIONS, TOP OF CURB, FLOWLINE
- 57.50 TG — PROPOSED ELEVATIONS TOP OF GRAVEL
- 57.50 TA — PROPOSED ELEVATIONS TOP OF ASPHALT
- FF. ELEV. 5133.50 — PROPOSED FINISH FLOOR ELEVATION
- 56.16 — EXISTING SPOT ELEVATIONS
- 34.66 — PROPOSED SPOT ELEVATIONS
- PROPOSED LANDSCAPE AREA
- PROPOSED DIRECTION OF FLOW
- (33.84) AS-BUILT ELEVATION

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

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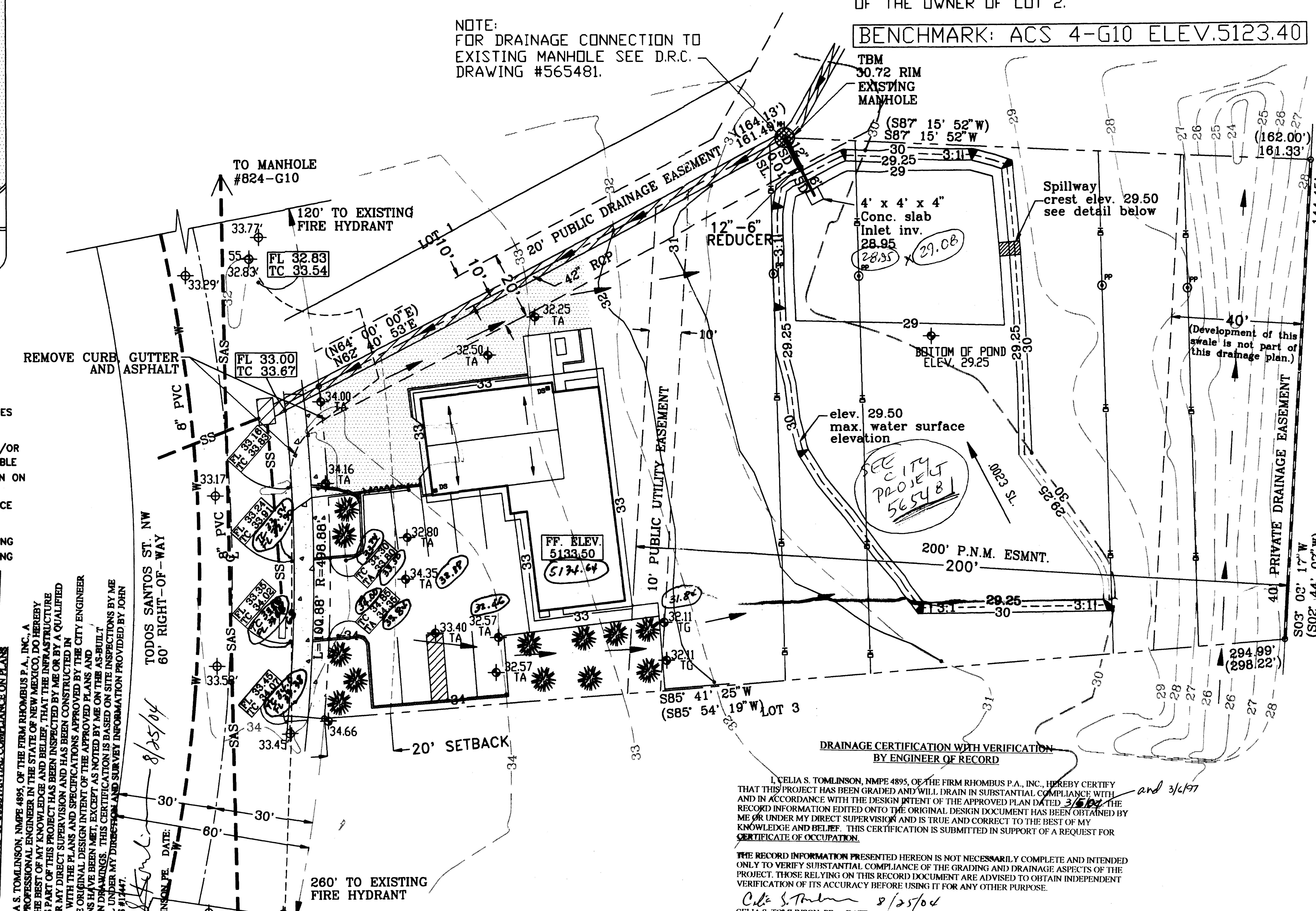
CELIA S. TOMLINSON, PE. DATE: 8/25/04

NOTE:
MAINTENANCE OF THE STORM SEWER FROM THE POND TO THE MANHOLE IS THE RESPONSIBILITY OF THE OWNER OF LOT 2.

BENCHMARK: ACS 4-G10 ELEV.5123.40

NOTE:
FOR DRAINAGE CONNECTION TO EXISTING MANHOLE SEE D.R.C. DRAWING #565481.



DRAINAGE PLAN

SCALE: 1" = 20'-0"

DRAINAGE CERTIFICATION WITH VERIFICATION BY ENGINEER OF RECORD

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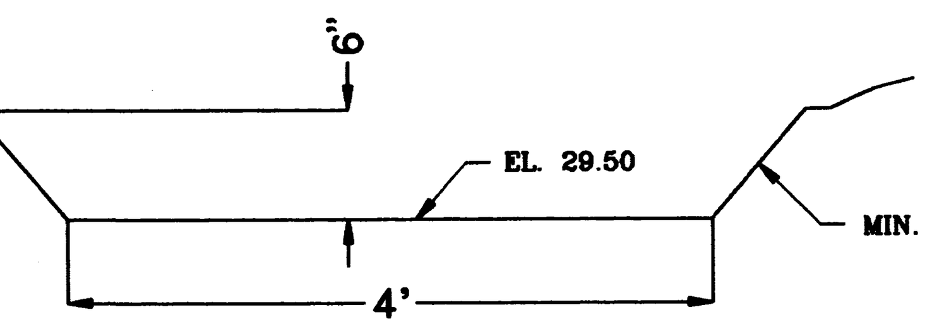
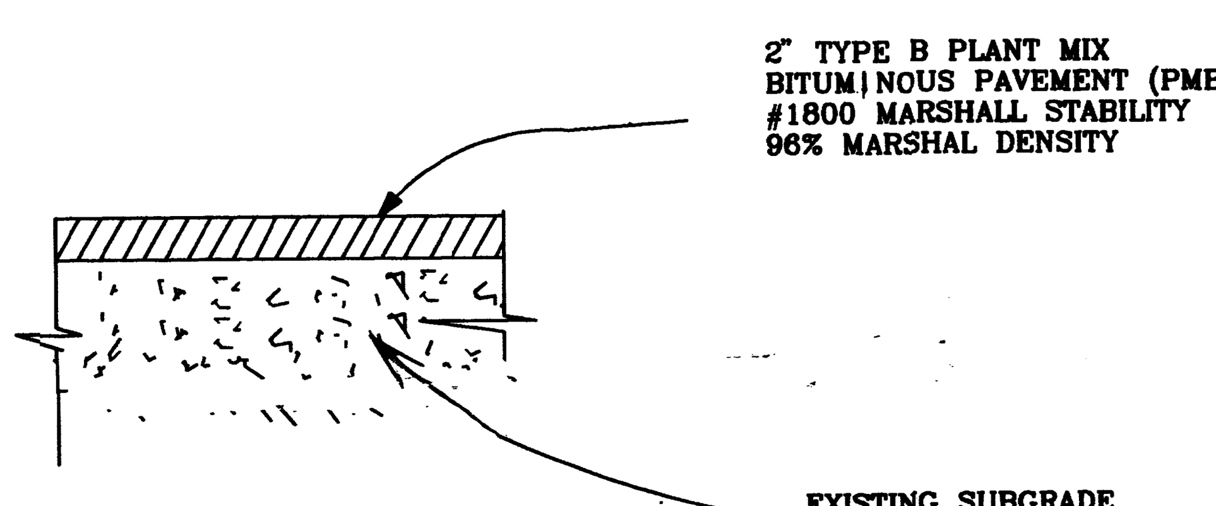
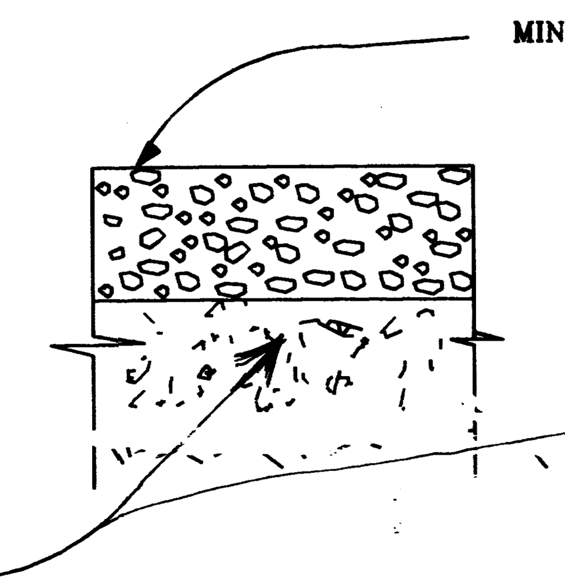


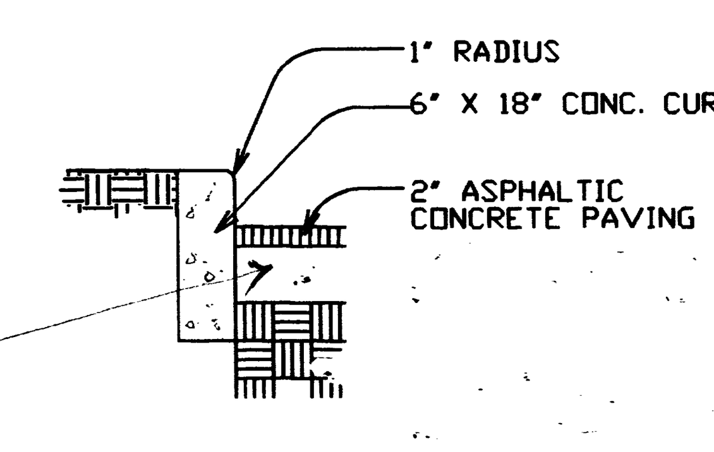
SPILLWAY SECTION
NTS



PROPOSED ASPHALT PAVEMENT
NTS



PROPOSED GRAVEL PARKING
NTS



PROPOSED HEADER CURB
NTS

DRAINAGE AND GRADING PLAN FOR LOT 2, VOLCANO BUSINESS PARK

LEGAL DESCRIPTION: LOT 2, VOLCANO BUSINESS PARK

ADDRESS: 3021 TODOS SANTOS NW

FLOODPLAIN INFORMATION: The property is located on Zone X, outside the 500-year floodplain in accordance with FIRM Panel 35001CO 326 D, dated September 20, 1996.

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CALCULATIONS: The aforementioned report provides calculations that determine the existing and developed on-site hydrology using the AHYMO computer program, downstream capacity, ponding sizing and routing, and spillway design.

RECEIVED AUG 2 6 2004 HYDROLOGY SECTION

REGISTERED PROFESSIONAL ENGINEER STATE OF NEW MEXICO NO. 4895 CELIA S. TOMLINSON

Celia S Tomlinson 3/6/97

LOT 2, VOLCANO BUSINESS PARK TODOS SANTOS ST. NW

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C:\DRAINAGE\LT2VLCNO/CGAR/1:20 2/3/97

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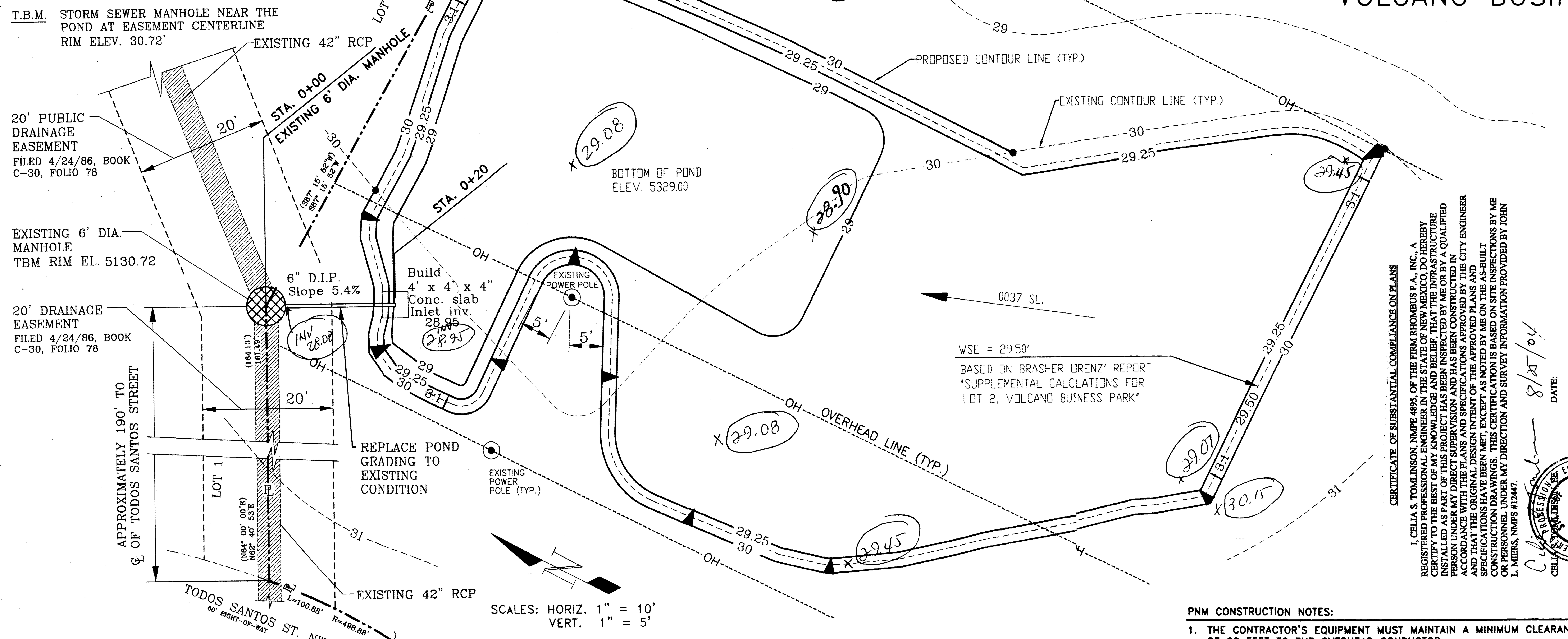

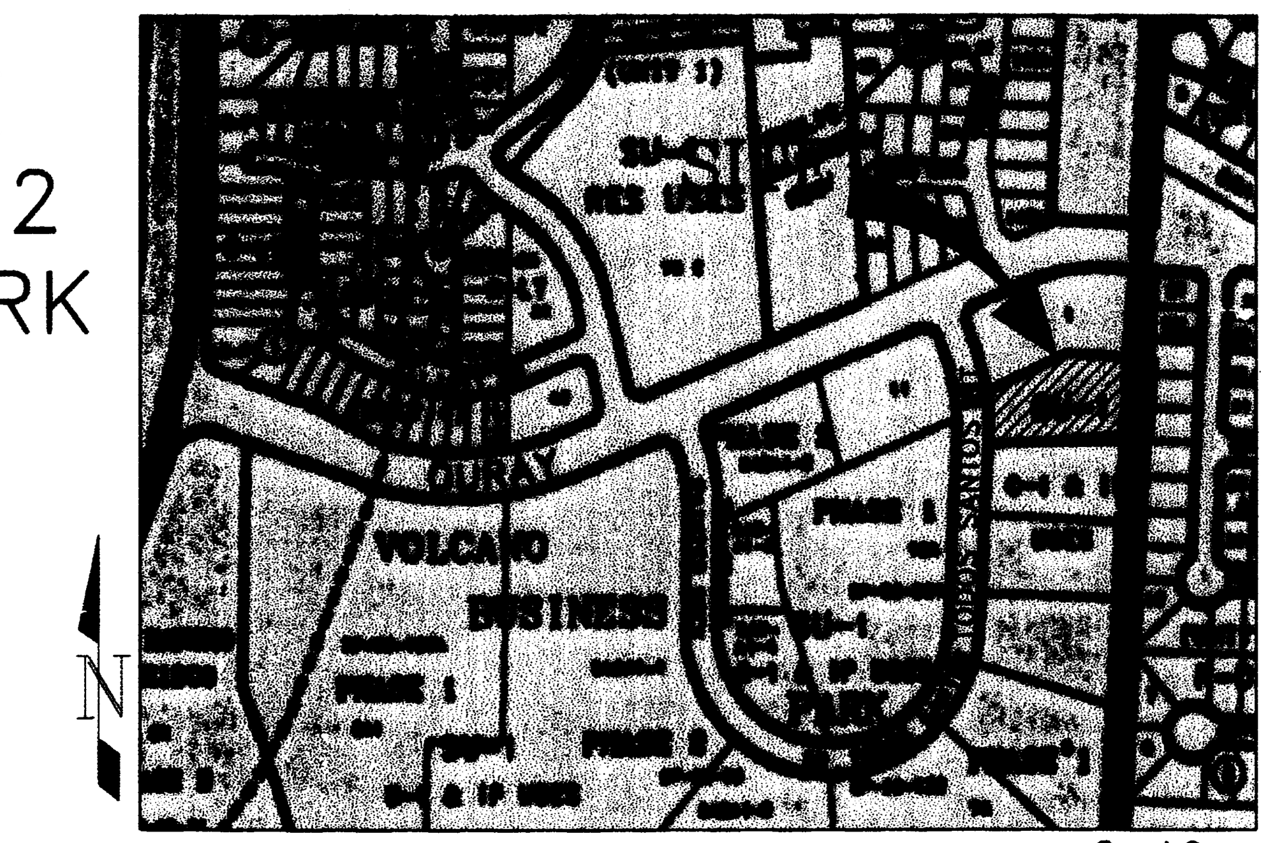

VICINITY MAP NOT TO SCALE G-10

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

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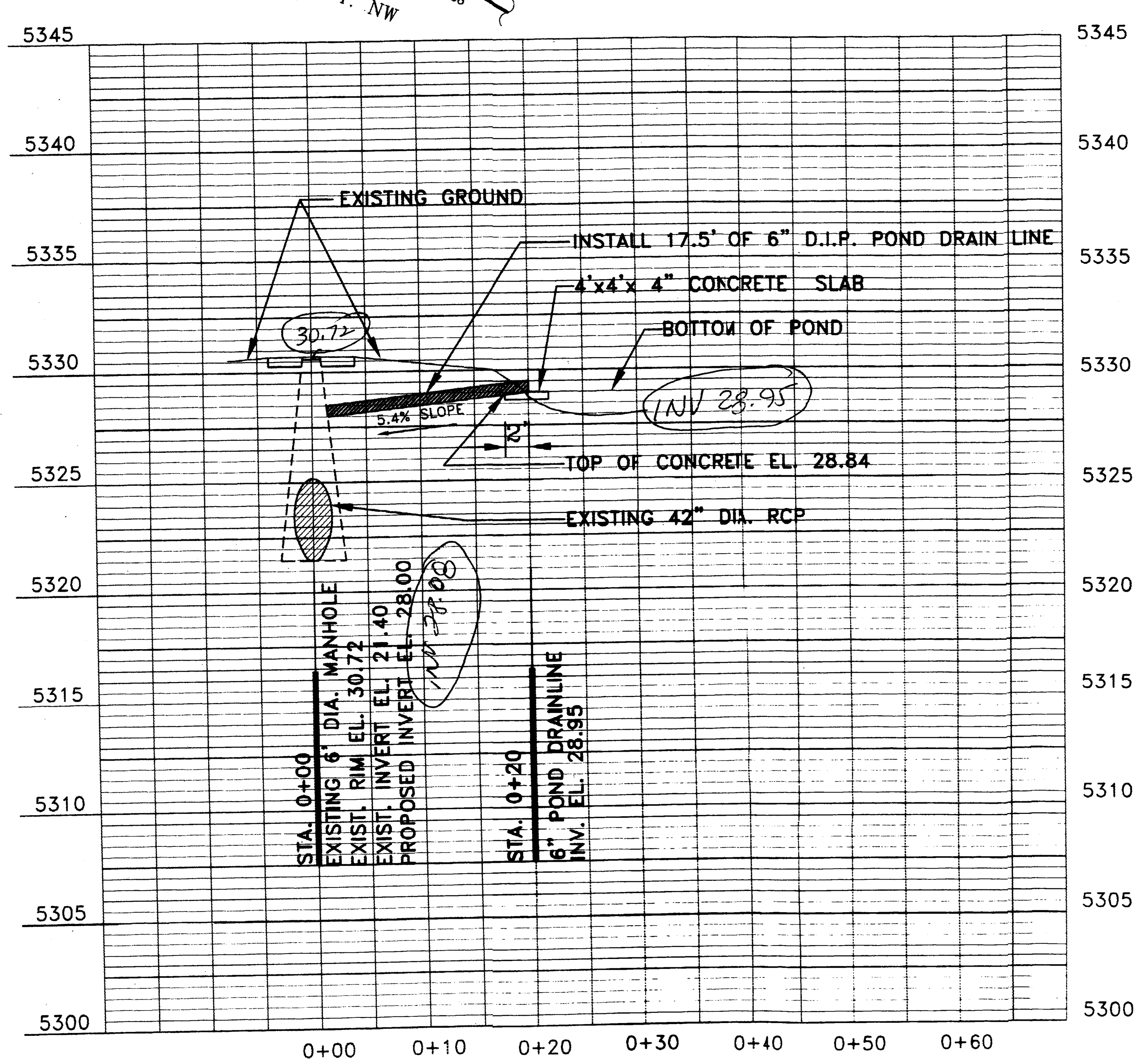
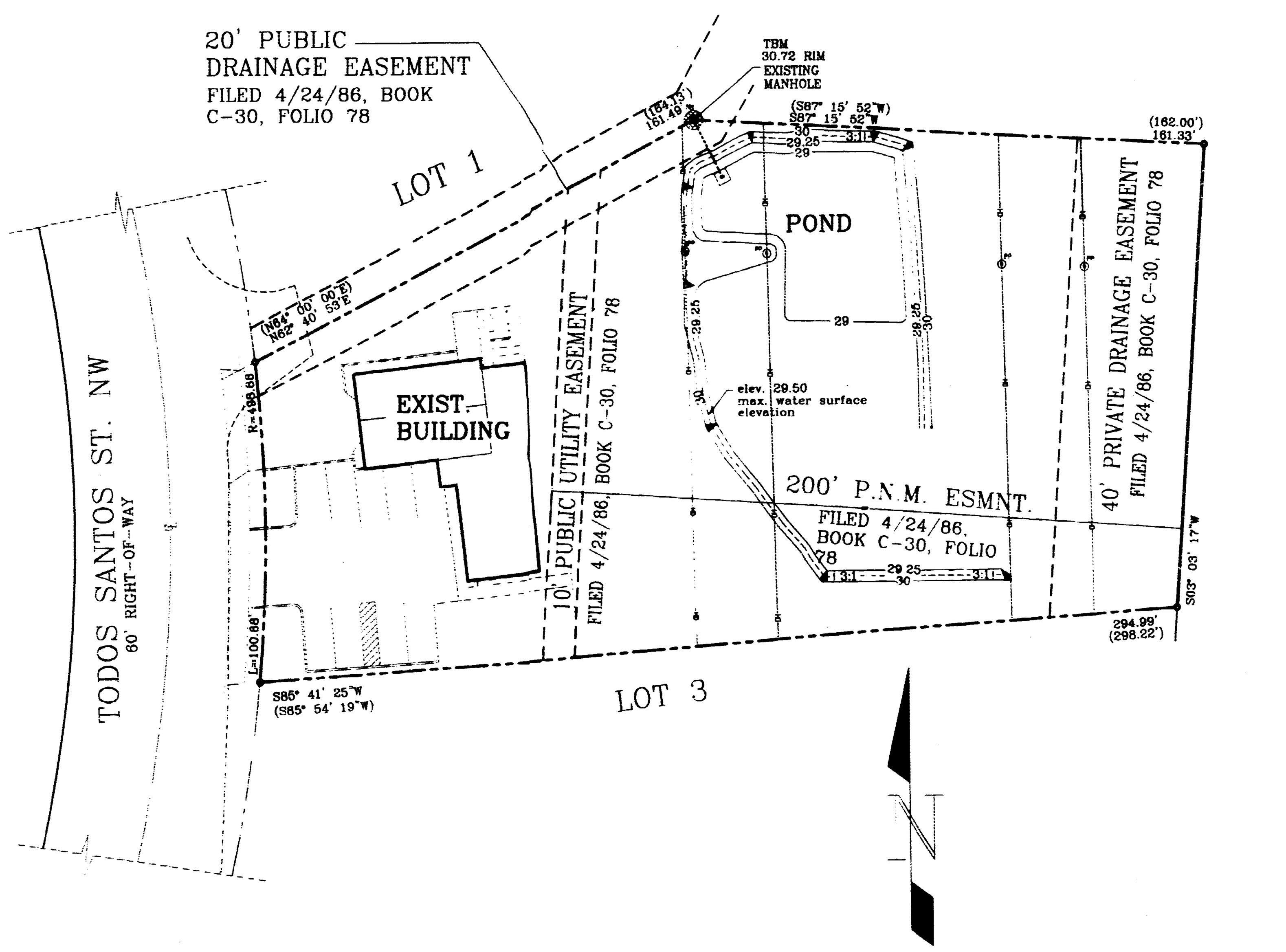
1. THE CONTRACTOR'S EQUIPMENT MUST MAINTAIN A MINIMUM CLEARANCE OF 20 FEET TO THE OVERHEAD CONDUCTOR.
2. NO DISTURBANCE OF THE SOIL WITHIN 5 FEET OF ANY WOOD POLE.





SITE DIAGRAM NOT TO SCALE

NOTE: MAINTENANCE OF THE STORM SEWER FROM THE POND TO THE MANHOLE IS THE RESPONSIBILITY OF THE OWNER OF LOT 2, PER PRIVATE FACILITY COVENANT.

RECEIVED AUG 2 6 2004 HYDROLOGY SECTION

RHOMBUS P.A., INC.
FACILITIES ENGINEERS & ENVIRONMENTAL CONSULTANTS
2620 San Mateo NE SUITE B
Albuquerque, NM 87110
TEL. (505) 881-6690 FAX (505) 881-6896

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE

ENGINEER'S STAMP AND SIGNATURE	APPROVALS	ENGINEER	DATE
	DRC Chairman	[signature]	3-15-04
	Transportation	N/A	3/12/04
	Water/Wastewater	N/A	
	Hydrology	Bradly L. Bingham	3/8/04
	C.I.P.		
	Constr. Coord.	[signature]	3-15-04

************ APPROVED FOR CONSTRUCTION

[signature] 7-09-04
CITY ENGINEER DATE

City Project No. 565481

Sheet 1 of 1

PLOT: 1"=20'