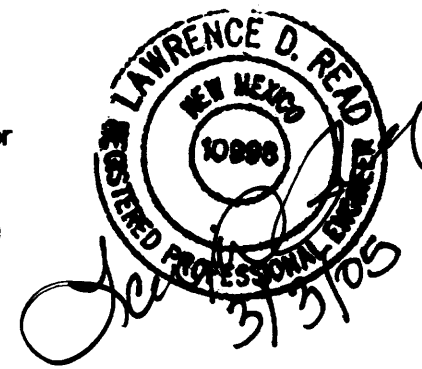


# DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 10/21/03. The record information edited onto the original design document has been obtained by Tony Harris, NMPS 11463, of the firm Harris Surveying. I further certify that I have personally visited the project site on 2/26/2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

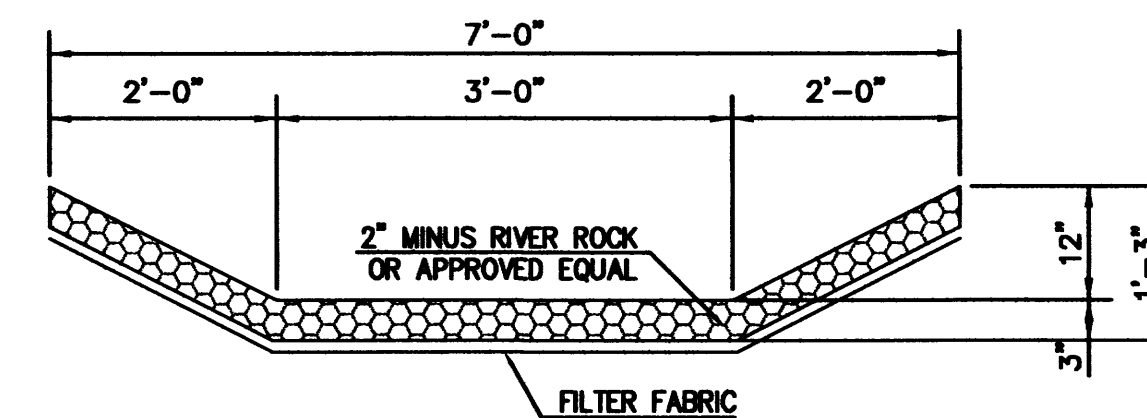
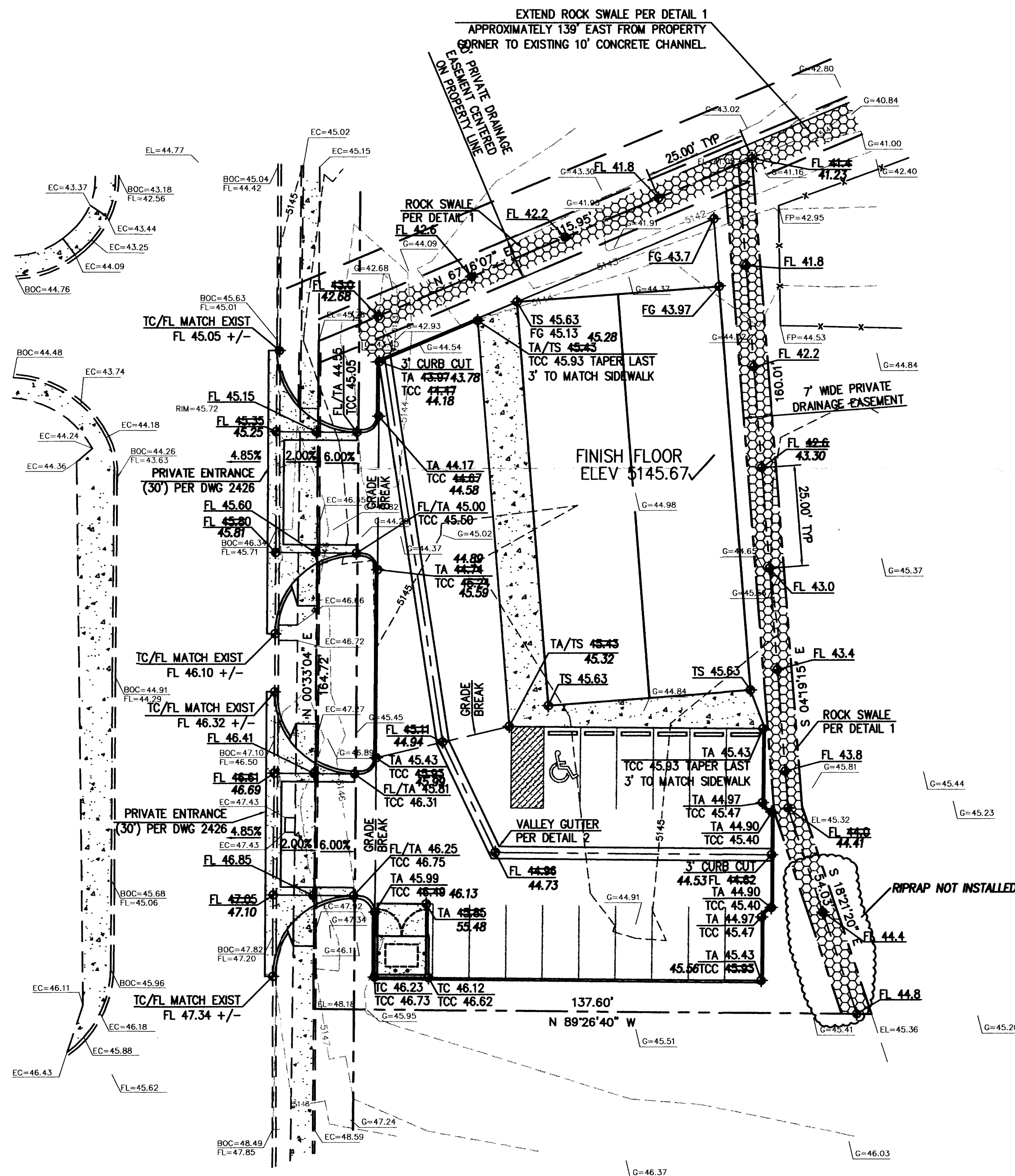
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



TC=73.30  
FC=73.00 73.21 VERIFIED SPOT ELEVATION

FG 71.30 EARTH SPOT ELEVATION  
MATCHES DESIGN

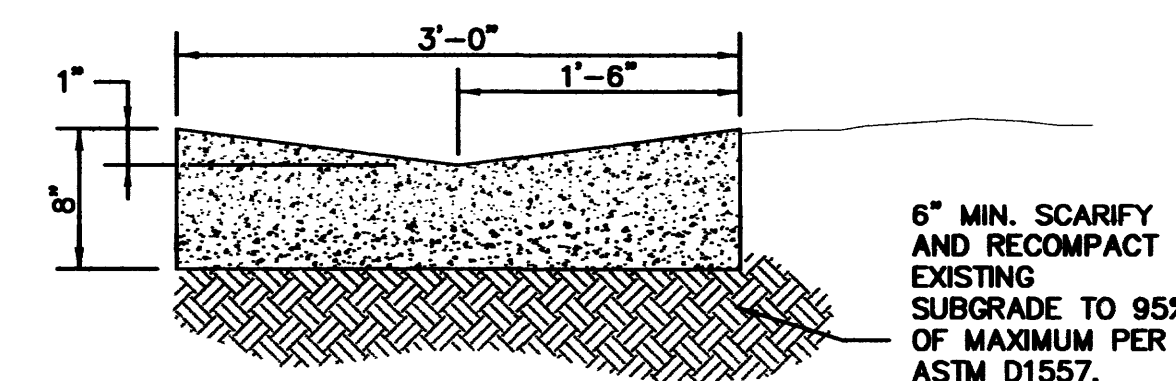
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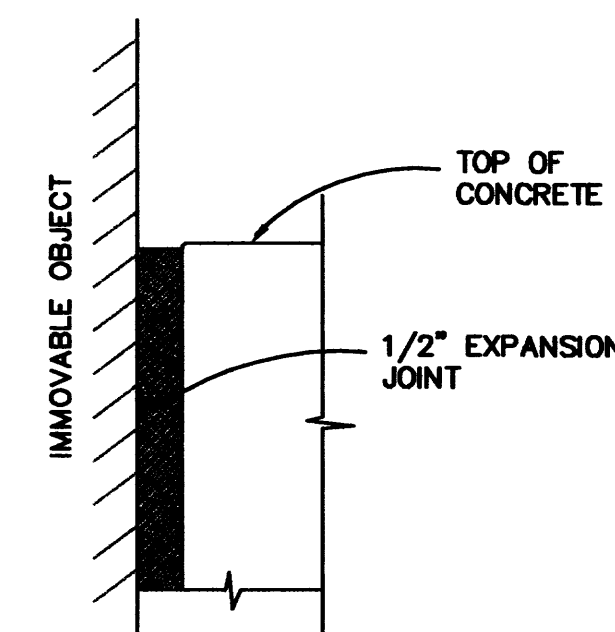
1 ROCK SWALE  
N. T. S.

## CONSTRUCTION NOTES:

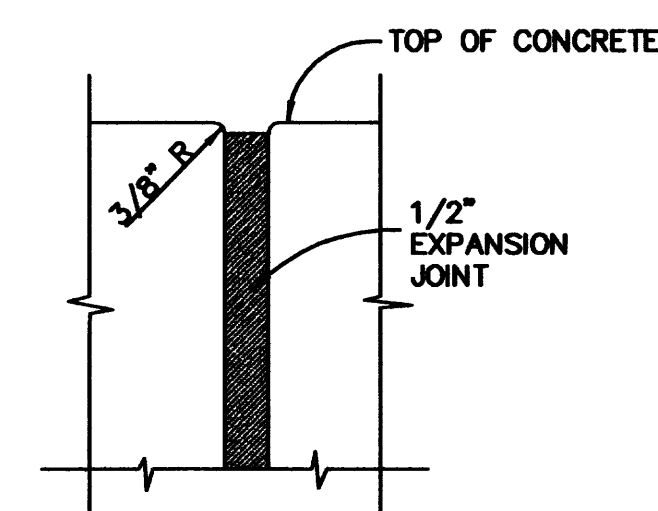
1. PROVIDE 1/2" EXPANSION JOINTS AT 36" O.C. AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



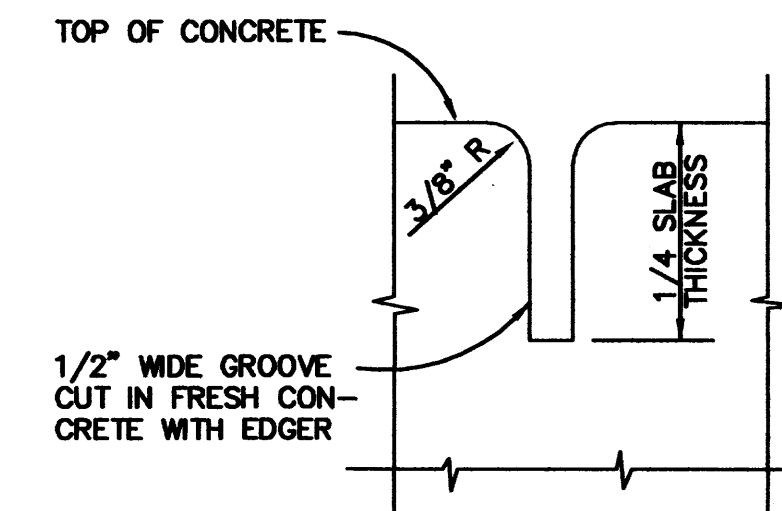
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N. T. S.



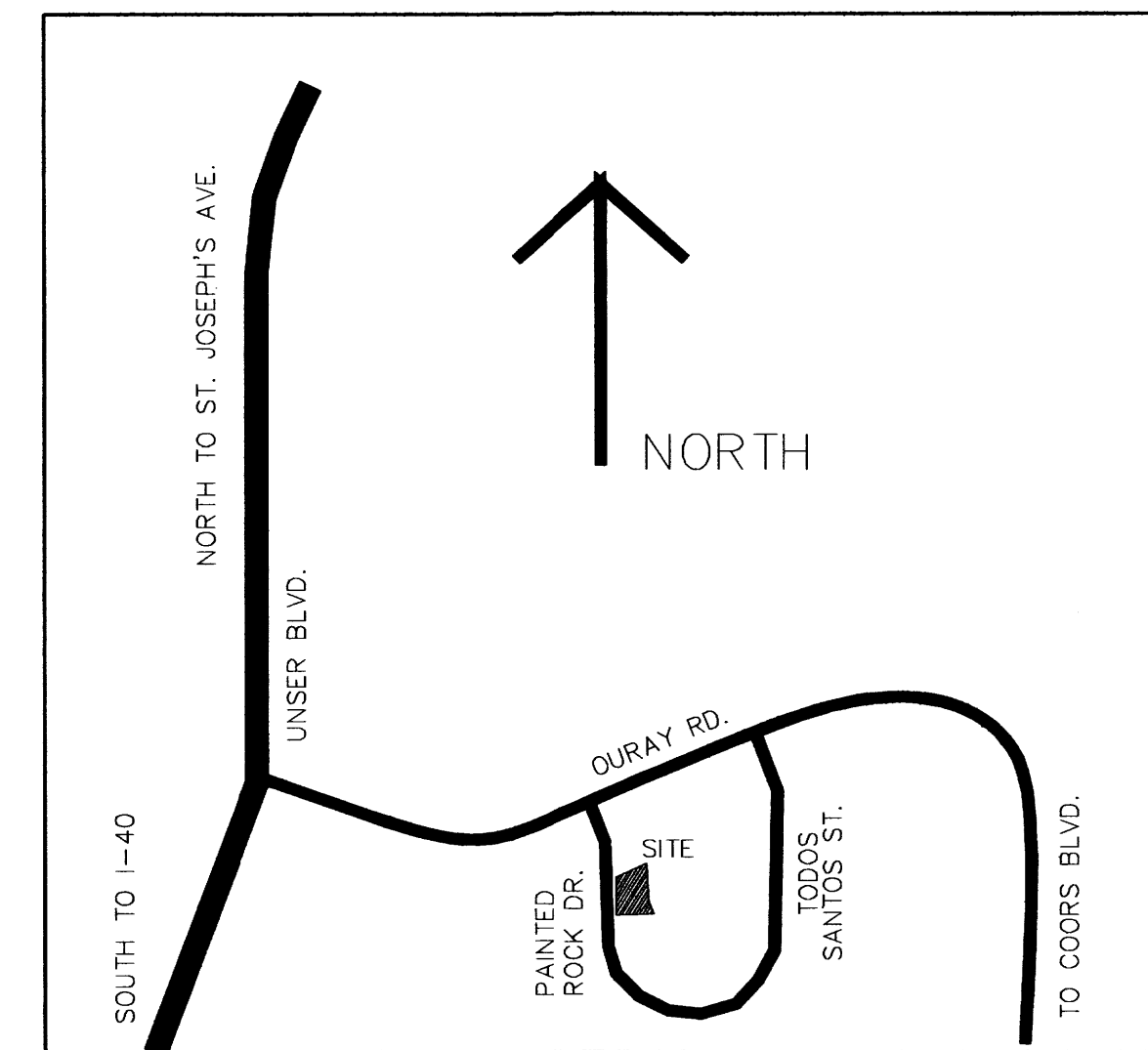
3 EXPANSION JOINT AT  
IMMOVABLE OBJECT  
N. T. S.



4 EXPANSION JOINT DETAIL  
N. T. S.



5 CONTRACTION JOINT DETAIL  
N. T. S.



VICINITY MAP G-10

## LEGAL DESCRIPTION

TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

## ACS BENCHMARK

ACS MONUMENT "1-H10", BEING AN ACS MONUMENT, WITH AN  
ELEVATION OF 5142.73.

## SURVEY NOTES

FIELD SURVEY BY:  
HARRIS SURVEYING, INC.  
2412-D MONROE ST., NE  
ALBUQUERQUE, NM 87110

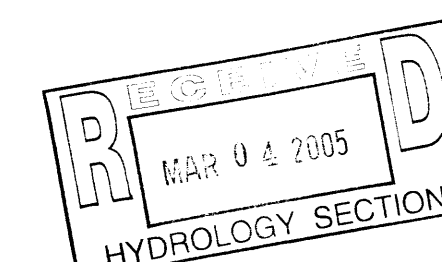
SURVEY DATE: MARCH, 2003  
PHONE: (505) 888-8056  
FAX: (505) 888-9645

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON  
INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY  
COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR  
THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE  
RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND  
ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO  
CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE  
OWNER AS SUCH.

## FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED  
FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL  
NO. 35001C0326 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN IN  
THE DRAINAGE REPORT.



LARRY READ & ASSOCIATES  
Civil Engineers

4800-C Juan Tabo, NE  
Albuquerque, New Mexico 87111  
(505) 237-8421

ALLRITE ROOFING SYSTEMS CO.

Office / Warehouse Building  
3040 Painted Rock Dr. NW

Volcano Business Park - Phase 1  
Albuquerque, New Mexico



SHEET TITLE:  
GRADING PLAN

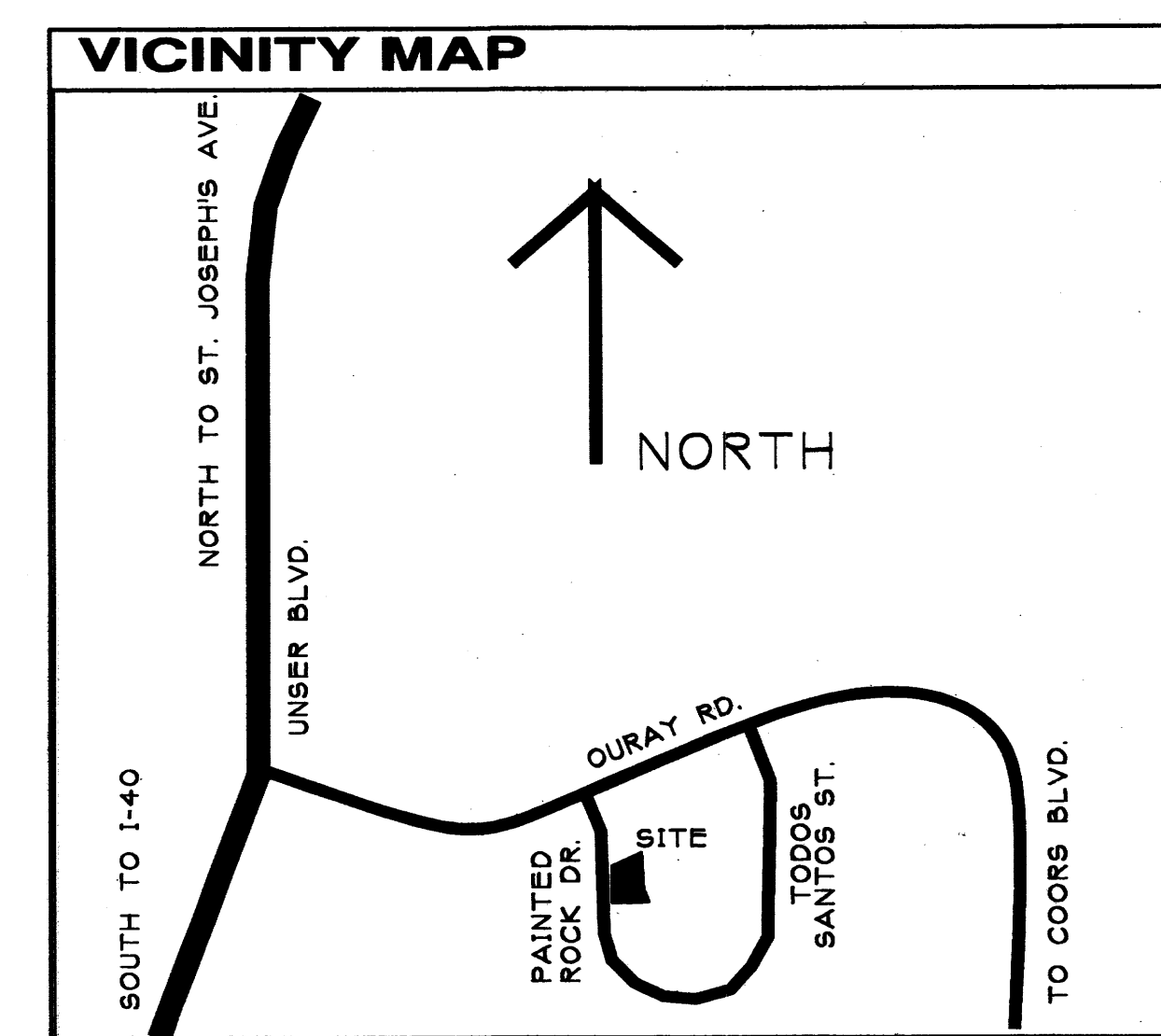
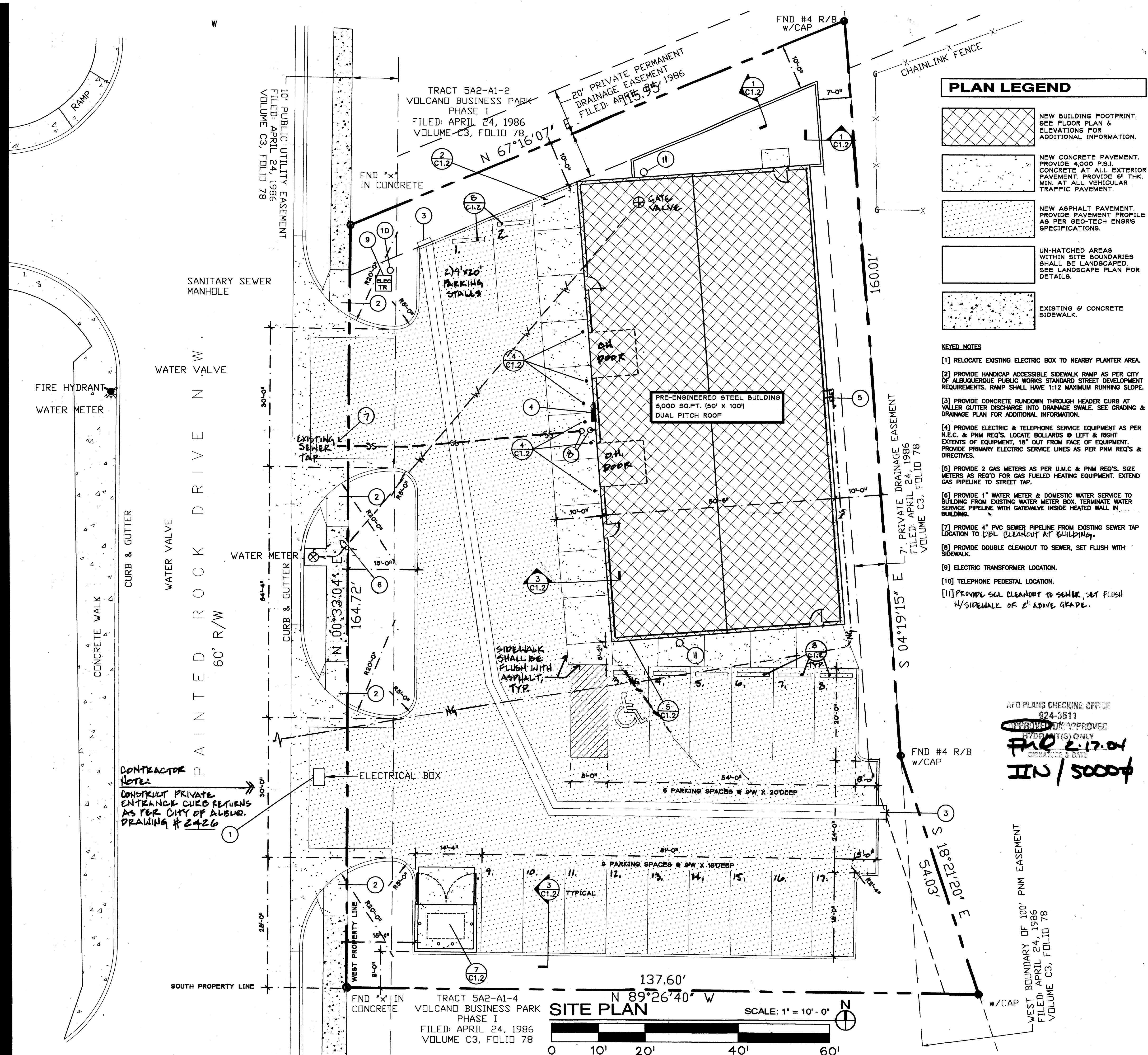
JOB NUMBER:  
0308

DATE:  
9-25-03

REVISIONS:	DATE:

SHEET:  
C-2.2  
OF





PROJECT DATA
LEGAL DESCRIPTION: TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
ZONE ATLAS: G-10-Z ZONE CLASSIFICATION: SU-1, C1 & IP
APPROVED SITE DEVELOPMENT MASTER PLAN: DRB CASE NO. Z-80-87-6
LOT AREA: .510 AC (22,210 SQ.FT.) BUILDING AREA: 5,000 SQ.FT. (50' X 100' BLDG) NET LOT AREA: 17,210 SQ.FT. REQUIRED LANDSCAPE AREA, 15% = 2,582 SQ.FT. PROVIDED LANDSCAPE AREA = 5,213 SQ.FT.
OFFSTREET PARKING REQUIREMENTS- BASED ON POSSIBLE OFFICE/WAREHOUSE OCCUPANCIES: OFFICE X WAREHOUSE X REQUIRED PARKING STALLS 50X=2,500 SQ.FT. 50X=2,500 SQ.FT. 14 STALLS REQ'D 40X=2,000 SQ.FT. 60X=3,000 SQ.FT. 12 STALLS REQ'D
PROVIDED PARKING STALLS = 15 STALLS, INCLUDES 1 REQ'D VAN ACCESSIBLE STALL
REQUIRED & PROVIDED BICYCLE PARKING = 2 SPACES
SITE LIGHTING: SHALL BE PROVIDED BY BUILDING MOUNTED WALL FIXTURES.
SIGNAGE: SHALL BE PROVIDED BY BUILDING MOUNTED SIGNS AS PER ZONING CODE.

PROJECT NO. 1003243	APPLICATION NO.
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [X] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL:</b>	
<i>[Signature]</i> TRAFFIC ENGINEERING TRANSPORTATION DIVISION	2-20-04 DATE:
<i>[Signature]</i> UTILITY DEVELOPMENT DIVISION	2-18-04 DATE:
<i>[Signature]</i> PARKS RECREATION	2/18/04 DATE:
<i>[Signature]</i> CITY ENGINEER	2/18/04 DATE:
N/A	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL SECTION)	DATE:
<i>[Signature]</i> SOLID WASTE MANAGEMENT	2-17-04 DATE:
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPT.	2/20/04 DATE:

**DORMAN and BREEN**

LAURENCE BREEN A.I.A.  
SANTA FE, NM 505-982-9196

RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-298-5940

**ALLRITE ROOFING SYSTEMS CO.**

Office / Warehouse Building  
3040 Painted Rock Dr. NW

Volcano Business Park - Phase 1  
Albuquerque, New Mexico

STATE OF NEW MEXICO  
LAURENCE BREEN  
1382  
REGISTERED ARCHITECT

SHEET TITLE:  
SITE PLAN  
CONCEPTUAL  
UTILITY LAYOUT

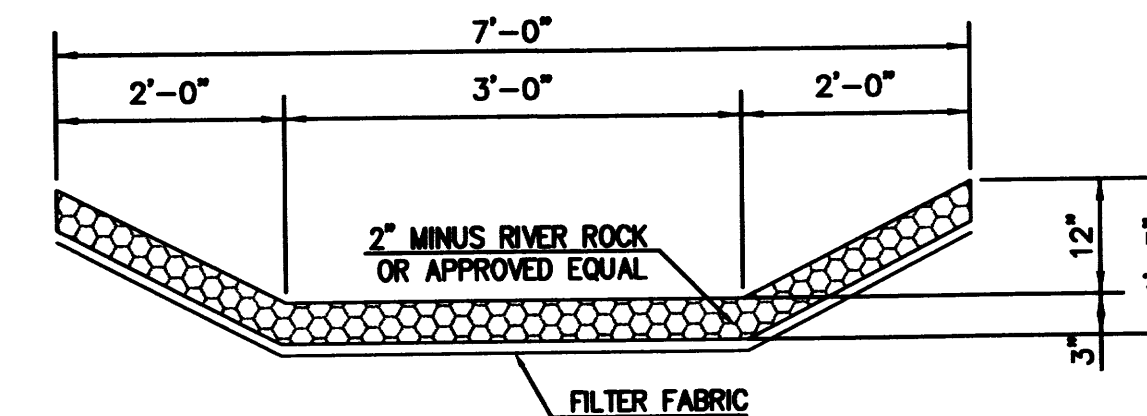
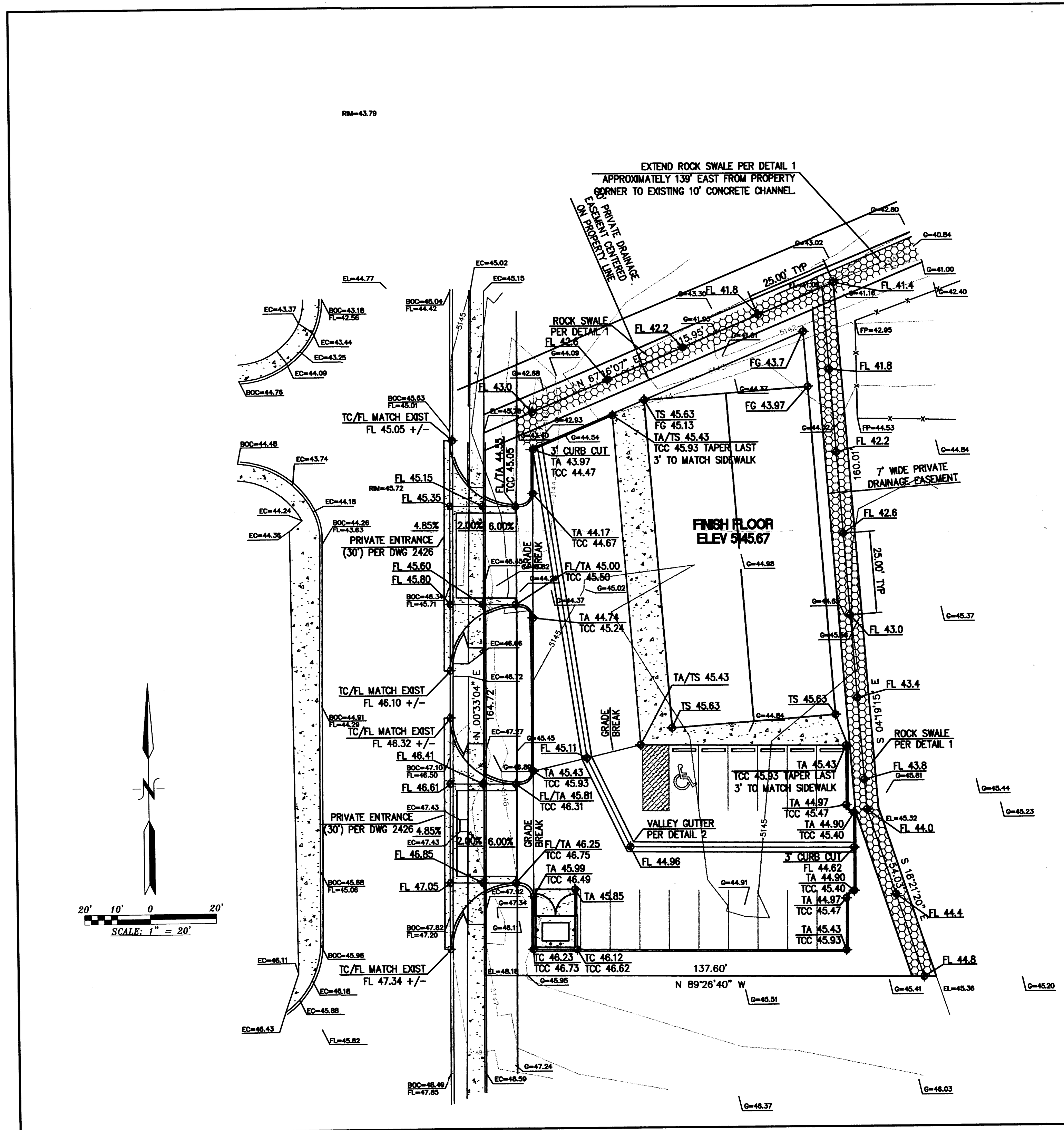
JOB NUMBER:  
0308

DATE:  
2/10/04

REVISIONS:  
DRB APPROVAL SET 2/10/04

SHEET:  
C-1.1  
2 OF 29

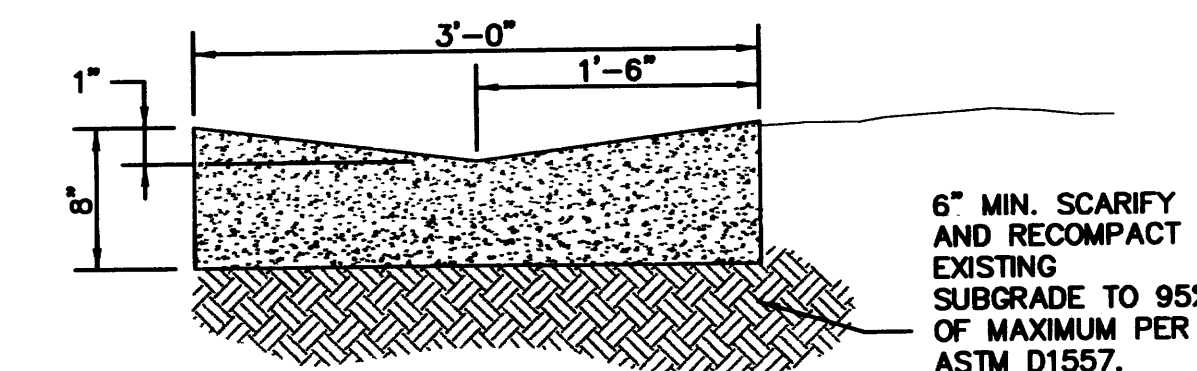




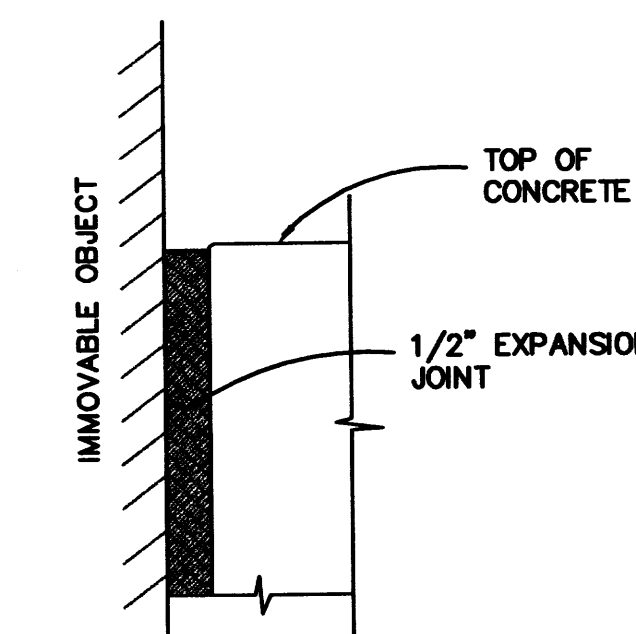
1 ROCK SWALE  
N. T. S.

CONSTRUCTION NOTES:

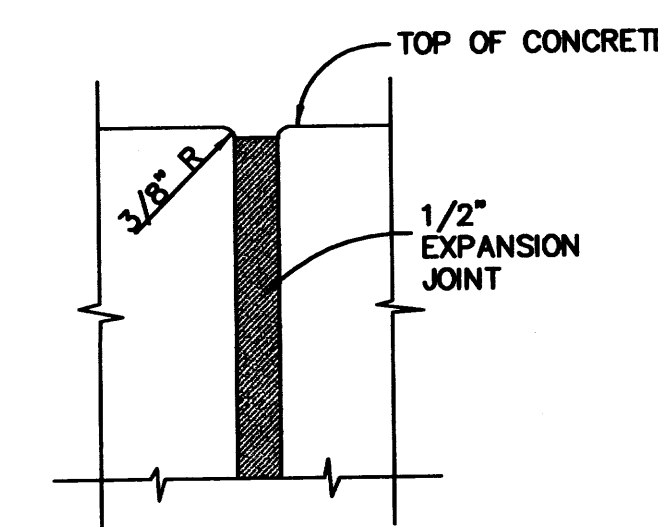
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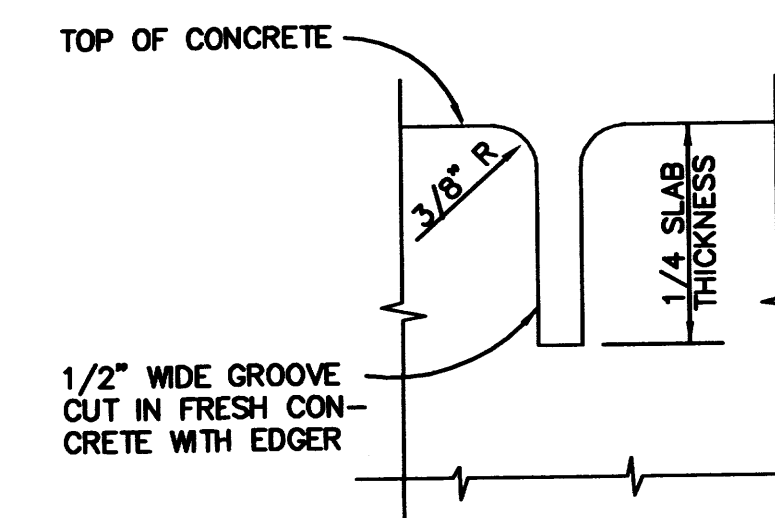
2 CONCRETE VALLEY GUTTER  
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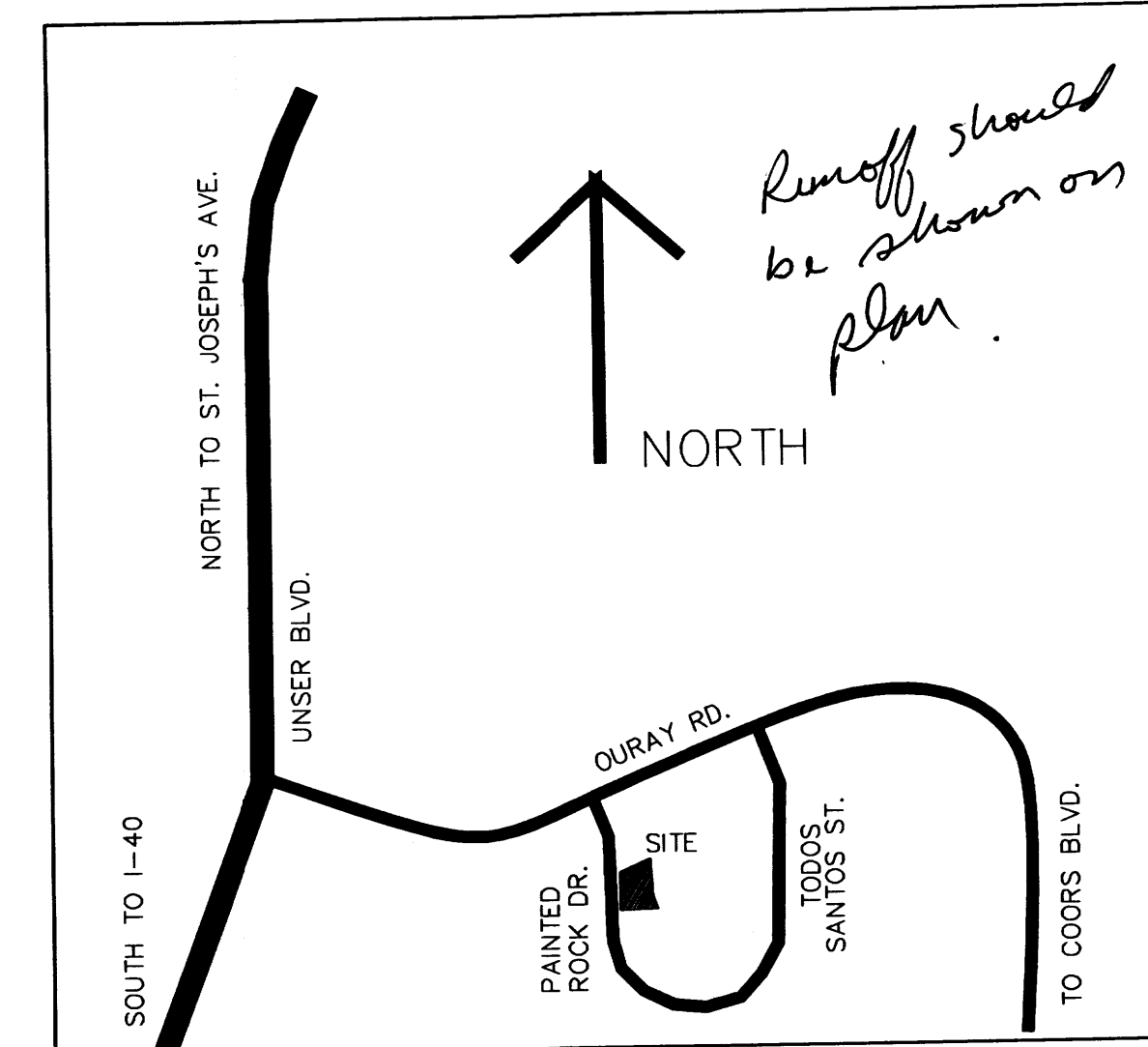
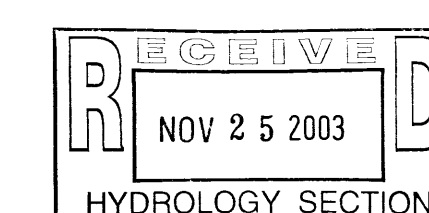
3 EXPANSION JOINT AT IMMOVABLE OBJECT  
N. T. S.



4 EXPANSION JOINT DETAIL  
N. T. S.



5 CONTRACTION JOINT DETAIL  
N. T. S.



VICINITY MAP G-10

LEGAL DESCRIPTION

TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

ACS MONUMENT "1-H10", BEING AN ACS MONUMENT, WITH AN  
ELEVATION OF 5142.73.

SURVEY NOTES

FIELD SURVEY BY: HARRIS SURVEYING, INC. SURVEY DATE: MARCH, 2003  
2412-D MONROE ST., NE PHONE: (505) 889-8056  
ALBUQUERQUE, NM 87110 FAX: (505) 889-9645

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

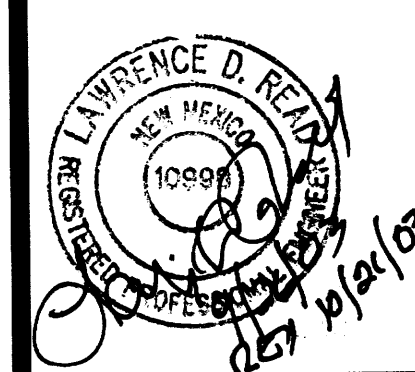
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THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0326 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN IN THE DRAINAGE REPORT.

LARRY READ & ASSOCIATES  
Civil Engineers  
4800-C Juan Tabo, NE  
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Office / Warehouse Building  
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Volcano Business Park - Phase 1  
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SHEET TITLE:  
GRADING PLAN

JOB NUMBER:  
0308  
DATE:  
9-25-03

REVISIONS:	DATE:

SHEET:  
C-2.2  
OF

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC., WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

ABBREVIATIONS

A = AIR LINE	FG = FINISHED GRADE	R/W = RIGHT-OF-WAY
AD = AREA DRAIN	FH = FIRE HYDRANT	S = SLOPE
AIP = ABANDONED IN PLACE	FL = FLOW LINE	SAS = SANITARY SEWER
BLDG = BUILDING	G = GAS PIPE	SD = STORM DRAIN
BM = BENCHMARK	GM = GAS METER	STA = STATION
CATV = CABLE TELEVISION LINE	GV = GATE VALVE	STD = STANDARD
CIP = CAST IRON PIPE	HI PT = HIGH POINT	SW = SIDEWALK
CMP = CORRUGATED METAL PIPE	INV = INVERT ELEVATION	T = TELEPHONE
CMPA = CORRUGATED METAL PIPE ARCH	LF = LINEAL FEET	TA = TOP OF ASPHALT PAVEMENT
CO = CLEANOUT	LP = LIGHT POLE	TAC = TOP OF ASPHALT CURB
COA = CITY OF ALBUQUERQUE	L/S = LANDSCAPING	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CONC = CONCRETE	MH = MANHOLE	TCC = TOP OF CONCRETE CURB
CL = CENTERLINE	NG = NATURAL GROUND	TG = TOP OF GRATE
DIA = DIAMETER	OE = OVERHEAD ELECTRIC LINE	TS = TOP OF SIDEWALK
DIP = DUCTILE IRON PIPE	OT = OVERHEAD TELEPHONE LINE	TW = TOP OF WALL
DTL = DETAIL	PB = ELECTRICAL PULL BOX	TYP = TYPICAL
DWG = DRAWING	PCC = PORTLAND CEMENT CONCRETE	TB = TELEPHONE BOX
E = ELECTRIC LINE	PP = POWER POLE	UE = UNDERGROUND ELECTRIC
ELEC. = ELECTRIC	PROP = PROPOSED	UT = UNDERGROUND TELEPHONE
ELEV = ELEVATION	PVC = POLYVINYL CHLORIDE PIPE	W = WATER
EX = EXISTING	RCP = REINFORCED CONCRETE PIPE	WM = WATER METER
FF = FINISHED FLOOR ELEVATION	RD = ROOF DRAIN	WV = WATER VALVE

LEGEND

(S 83°39'25" W) RECORD BEARING AND DISTANCES	→ DOWN CUT	GM GAS METER	□ EX SD INLET
N 00°07'27" W MEASURED BEARING AND DISTANCES	○ LP LIGHT POLE	□ EX FIRE HYDRANT	■ PROP SD INLET
● FOUND AND USED MONUMENT	□ YARD LIGHT	● PROP FIRE HYDRANT	CONCRETE
— # — EX WOOD FENCE	UG UNDERGROUND	□ EX WATER VALVE	□ EX SIGN
— # — EX RAILROAD RETAINING WALL	— W-S-G-E — UTILITY (WATER, SEWER, ELEC., GAS, ETC.)	□ PROP WATER VALVE	○ EX WATER METER
× G 89.5 EX SPOT ELEV.	— — — FIBER OPTIC COMMUNICATION 4" CONDUIT	○ EX SD MANHOLE	■ PROP WATER METER
◆ FL 09.3 PROP SPOT ELEV.	□ UTILITY RIER	○ PROP SD MANHOLE	○ PLANTER
— 5160 — EX CONTOUR LINE	○ PP FLAG POLE	○ EX SAS MANHOLE	○ PROPOSED TREE
○ POWER POLE	○ V VENT	● PROP SAS MANHOLE	● EXIST. TREE

LARRY READ & ASSOCIATES  
Civil Engineers  
4800 C Juan Tabo, NE  
Albuquerque, New Mexico 87111  
(505) 237-8421

ALLRITE ROOFING SYSTEMS CO.  
Office / Warehouse Building  
3040 Painted Rock Dr. NW  
Volcano Business Park — Phase 1  
Albuquerque, New Mexico



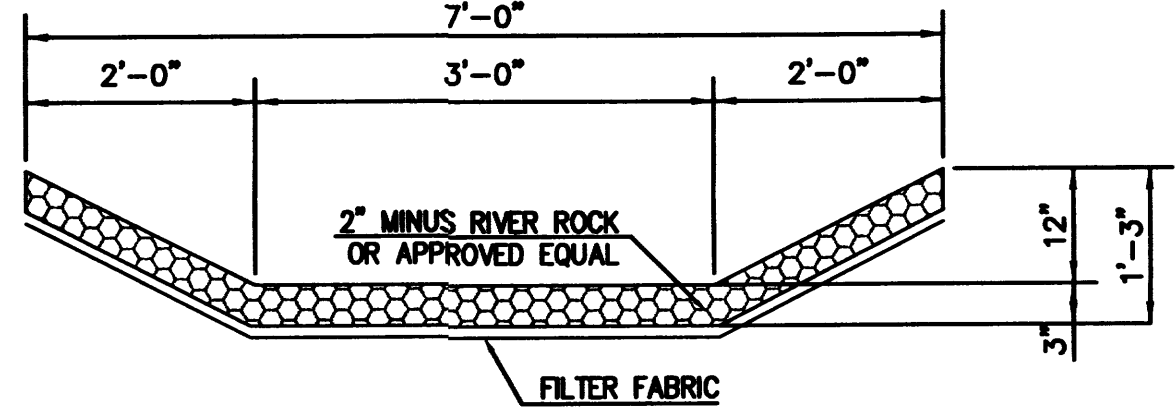
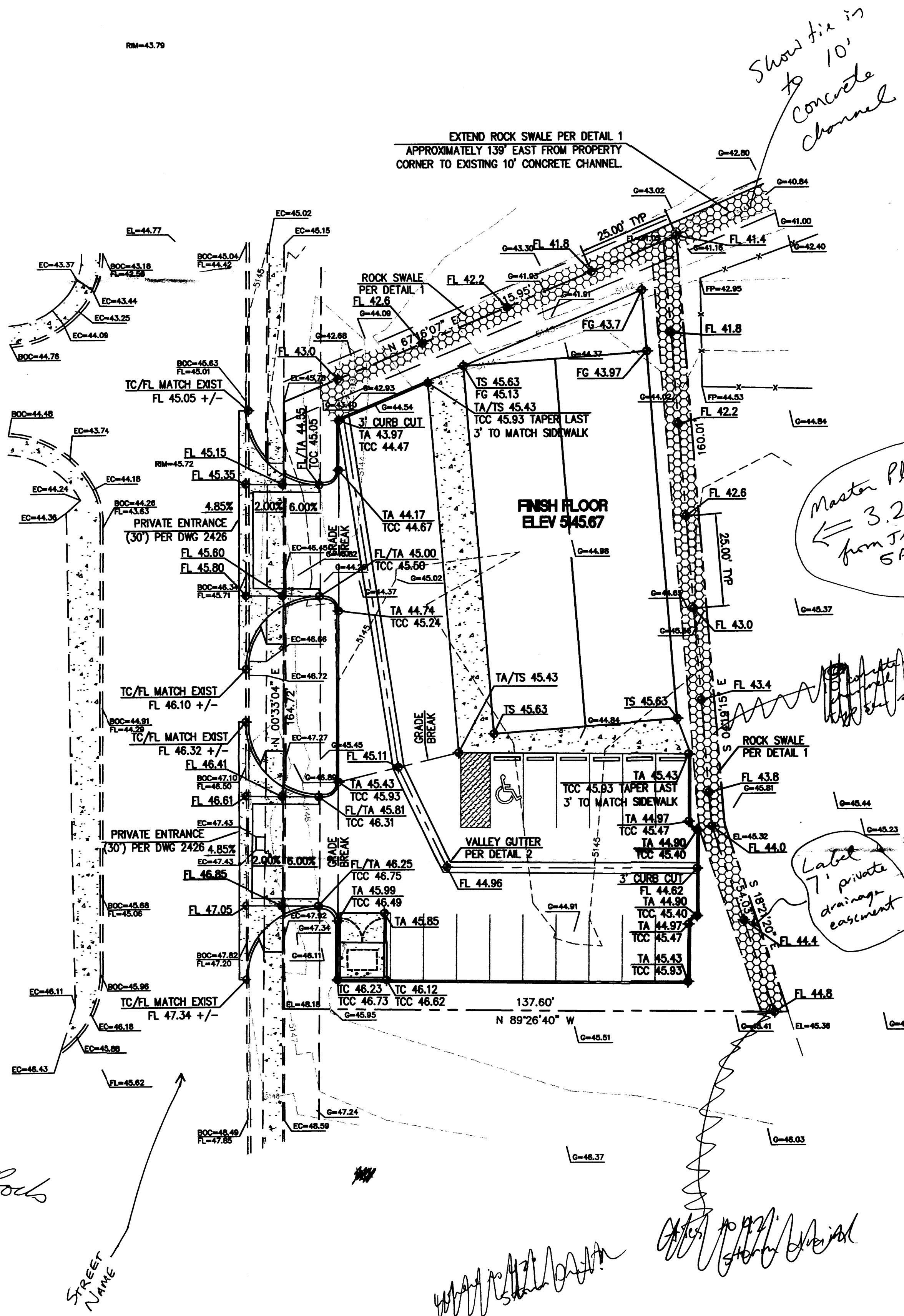
SHEET TITLE:  
CIVIL GENERAL NOTES

JOB NUMBER: 0308	DATE: 9-25-03
REVISIONS:	DATE:

SHEET:  
C-2.1  
OF

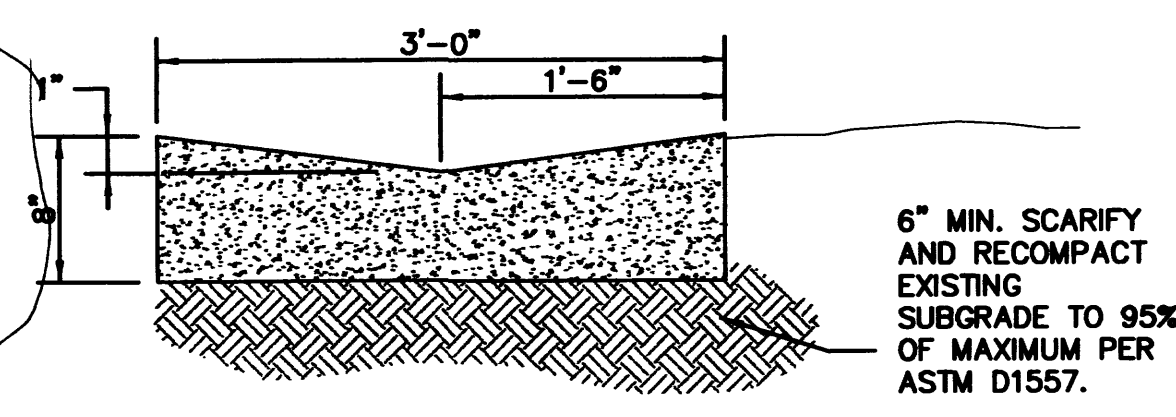
R + B  
DORMAN and BREEN  
RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940  
LAURENCE BREEN A.I.A.  
SANTA FE, NM 505-982-9191



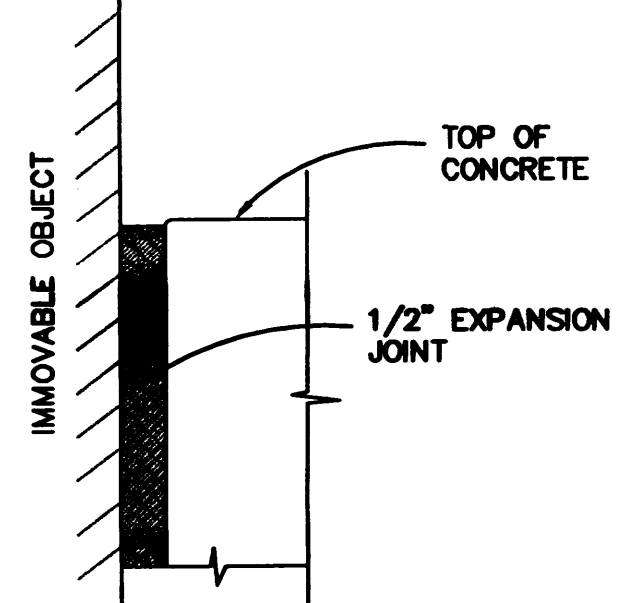


1 ROCK SWALE  
N. T. S.

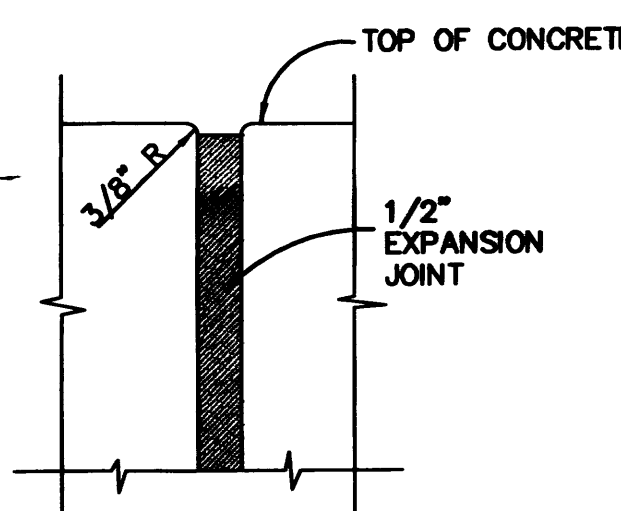
- CONSTRUCTION NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT PERPENDICULAR CURBS PER DETAIL THIS SHEET
  2. PROVIDE CONTRACTION JOINTS @ 6' O.C. PER DETAIL THIS SHEET



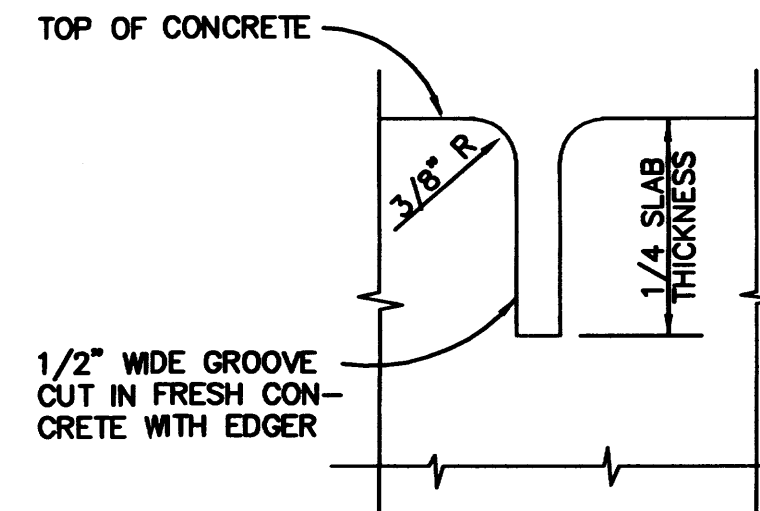
2 CONCRETE VALLEY GUTTER  
N. T. S.



3 EXPANSION JOINT AT IMMOVABLE OBJECT  
N. T. S.



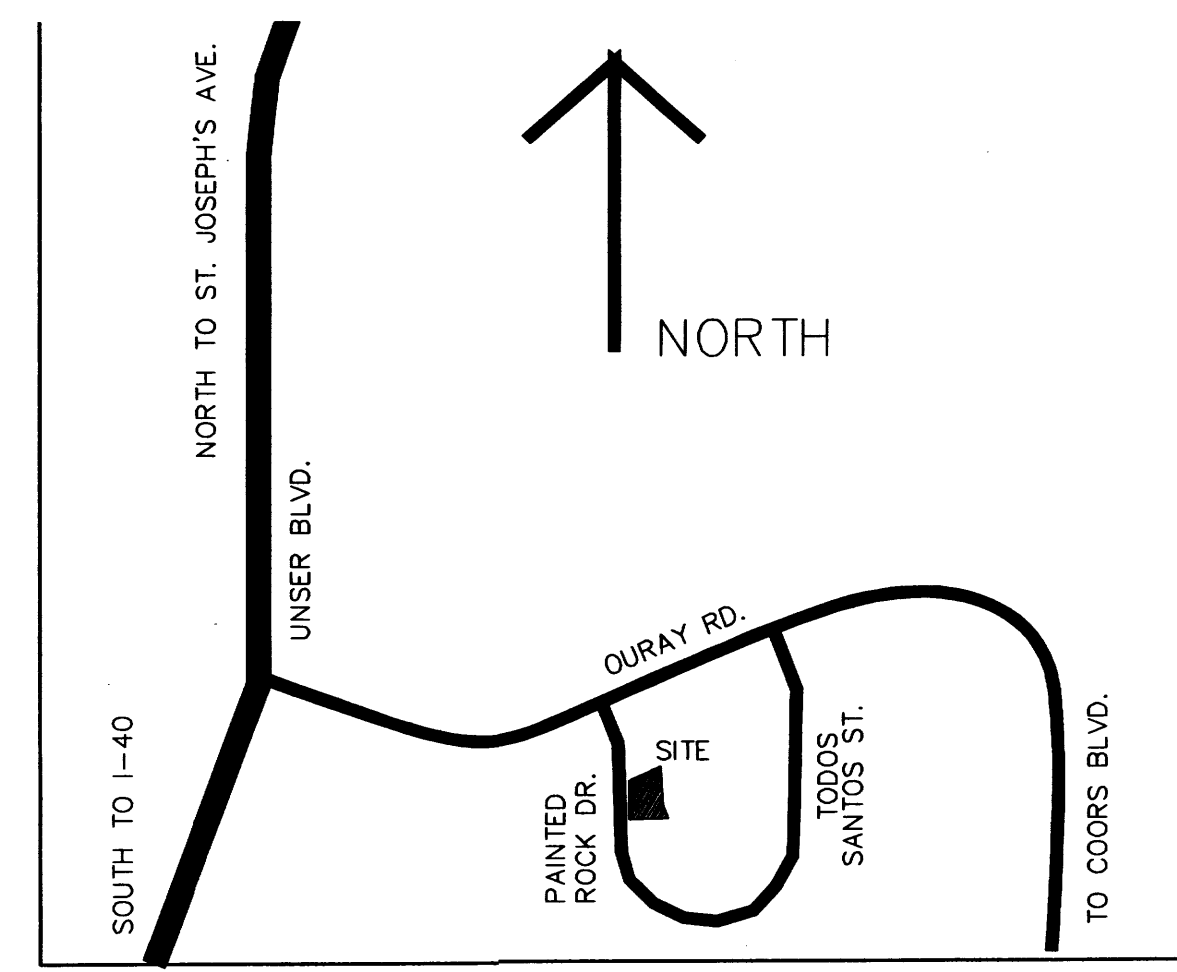
4 EXPANSION JOINT DETAIL  
N. T. S.



5 CONTRACTION JOINT DETAIL  
N. T. S.

From MASTER PLAN:  
Allowable Developed Discharge Rate  $\rightarrow 0.5$  cfs/acre  
Area = 0.510 acres  
Allowable Discharge  $\Rightarrow 0.255$  cfs

Where did you find data allowing free discharge? Is this in the master plan?



VICINITY MAP G-10

LEGAL DESCRIPTION

TRACT 5A2-A1-3, VOLCANO BUSINESS PARK - PHASE 1  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

ACS BENCHMARK

ACS MONUMENT "1-H10", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5142.73.

SURVEY NOTES

FIELD SURVEY BY: HARRIS SURVEYING, INC.  
2412-D MONROE ST., NE  
ALBUQUERQUE, NM 87110

SURVEY DATE: MARCH, 2003  
PHONE: (505) 889-8056  
FAX: (505) 889-9645

LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON INFORMATION SUPPLIED TO THE SURVEYOR BY THE APPROPRIATE UTILITY COMPANIES. SURVEYOR DOES NOT GUARANTEE THESE LOCATIONS NOR THE FACT THAT SOME UTILITIES MIGHT BE LEFT OUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.

THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

FLOODPLAIN

THE PROPERTY SHOWN HEREON DOES NOT LIE WITHIN ANY DESIGNATED FLOODPLAIN PER THE FLOOD INSURANCE RATE MAP OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMMUNITY-PANEL NO. 35001C0326 D; EFFECTIVE DATE SEPTEMBER 20, 1996 AS SHOWN IN THE DRAINAGE REPORT.

Address downstream capacity of the northern swale between Painted Rocks & Todos Santos

STREET NAME

**DORMAN and BREEN**  
LAURENCE BREEN A.I.A.  
RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 505-299-5940  
SANTA FE, NM 505-982-9191

ALLRITE ROOFING SYSTEMS CO.  
Office / Warehouse Building  
3040 Painted Rock Dr. NW  
Volcano Business Park - Phase 1  
Albuquerque, New Mexico



SHEET TITLE:  
GRADING PLAN

JOB NUMBER:  
0308

DATE:  
9-25-03

REVISIONS:

DATE:

SHEET:

C-2.2  
OF

LARRY READ & ASSOCIATES  
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4800-C Juan Tabo, NE  
Albuquerque, New Mexico 87111  
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