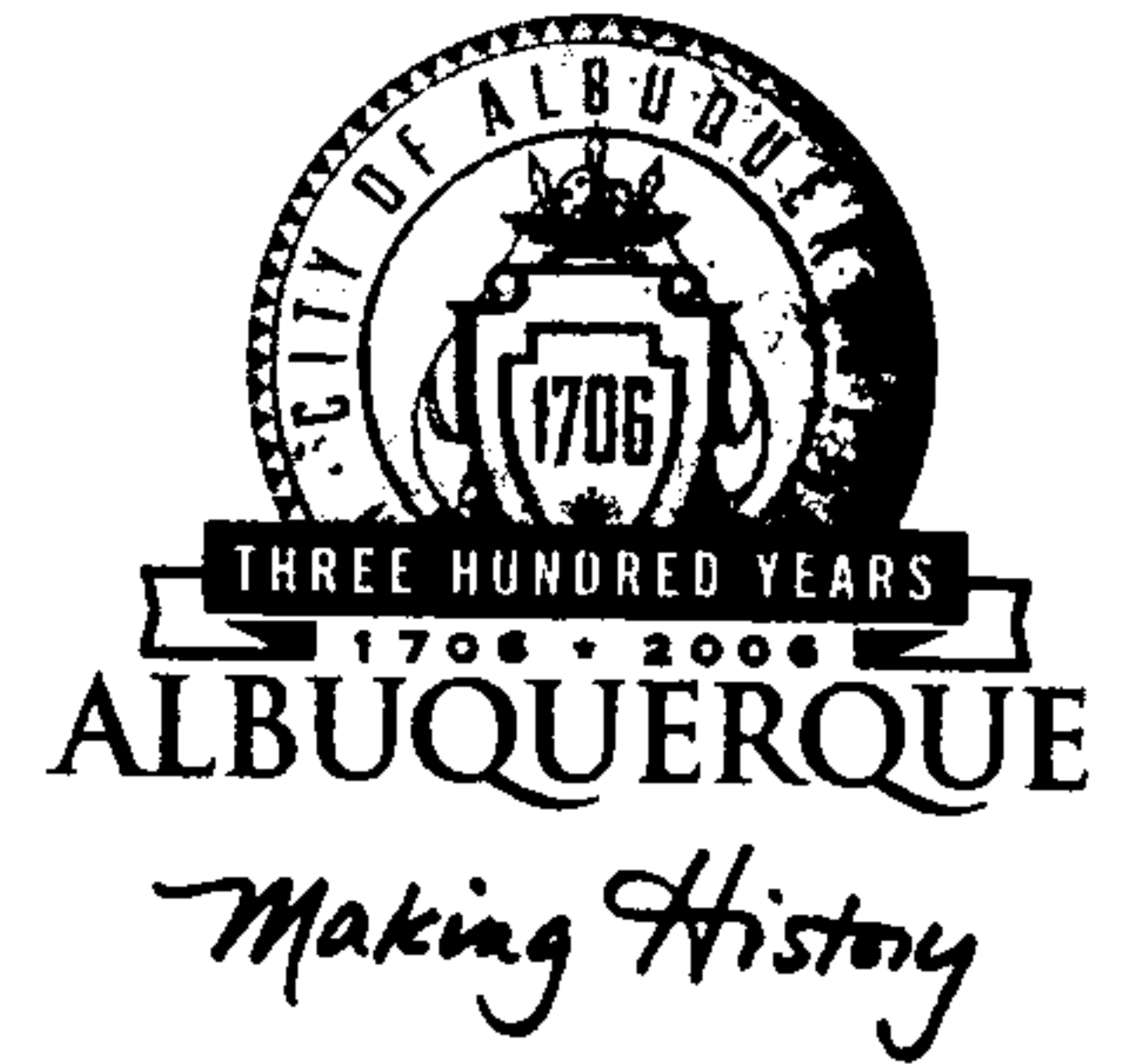


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

February 8, 2005

Gordon Hall, Registered Architect  
18 Trails Road East  
Placitas, NM 87043-9409

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Gonzales Bus.(Lot 4, Volcano Business Park, phase I), [G-10 / D29H]  
3020 Todos Santos St. NW  
Architect's Stamp Dated 02/06/05

Dear Mr. Hall:

P.O. Box 1293

The TCL / Letter of Certification submitted on February 4, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

PROJECT TITLE: GONZALEZ BUS FACILITY ZONE MAP: G-10/D2914  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 4 VOLCANO BUSINESS PARK  
 CITY ADDRESS: 3020 TODOS SANTOS N.W.

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: JO GONZALEZ CONTACT: JO  
 ADDRESS: \_\_\_\_\_ PHONE: 235-3955  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: GORDON HALL CONTACT: GORDON  
 ADDRESS: 18 TRAILS RD. EAST PHONE: 450-4707  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

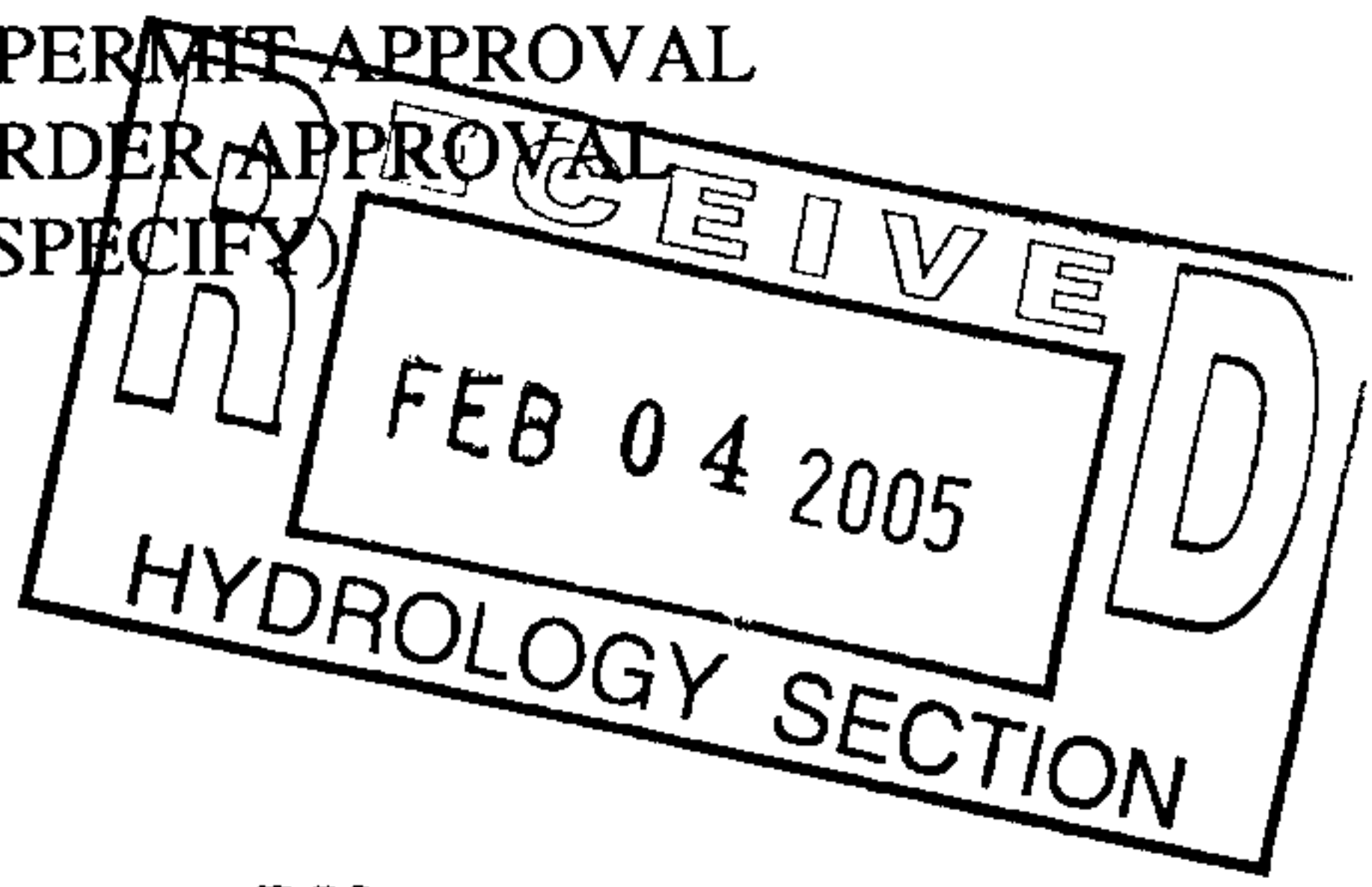
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: COMVIO INC CONTACT: Chris  
 ADDRESS: 25 SURVEY LANE PHONE: 248-7373  
 CITY, STATE: STANLEY ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
 \_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
 \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_\_ CONCEPTUAL G & D PLAN  
 \_\_\_\_\_ GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
 \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)  
 \_\_\_\_\_ CLOMR/LOMR  
— TRAFFIC CIRCULATION LAYOUT  
 \_\_\_\_\_ ENGINEER'S CERT (TCL)  
 \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)  
 \_\_\_\_\_ OTHER  
- Resub -

CHECK TYPE OF APPROVAL SOUGHT:  
 \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
 \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_\_ BUILDING PERMIT APPROVAL  
— CERTIFICATE OF OCCUPANCY  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
 \_\_\_\_\_ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED



DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# Gordon Hall Architect

18 Trails Road East  
450-4707  
ghall@tvi.edu

February 5, 2005

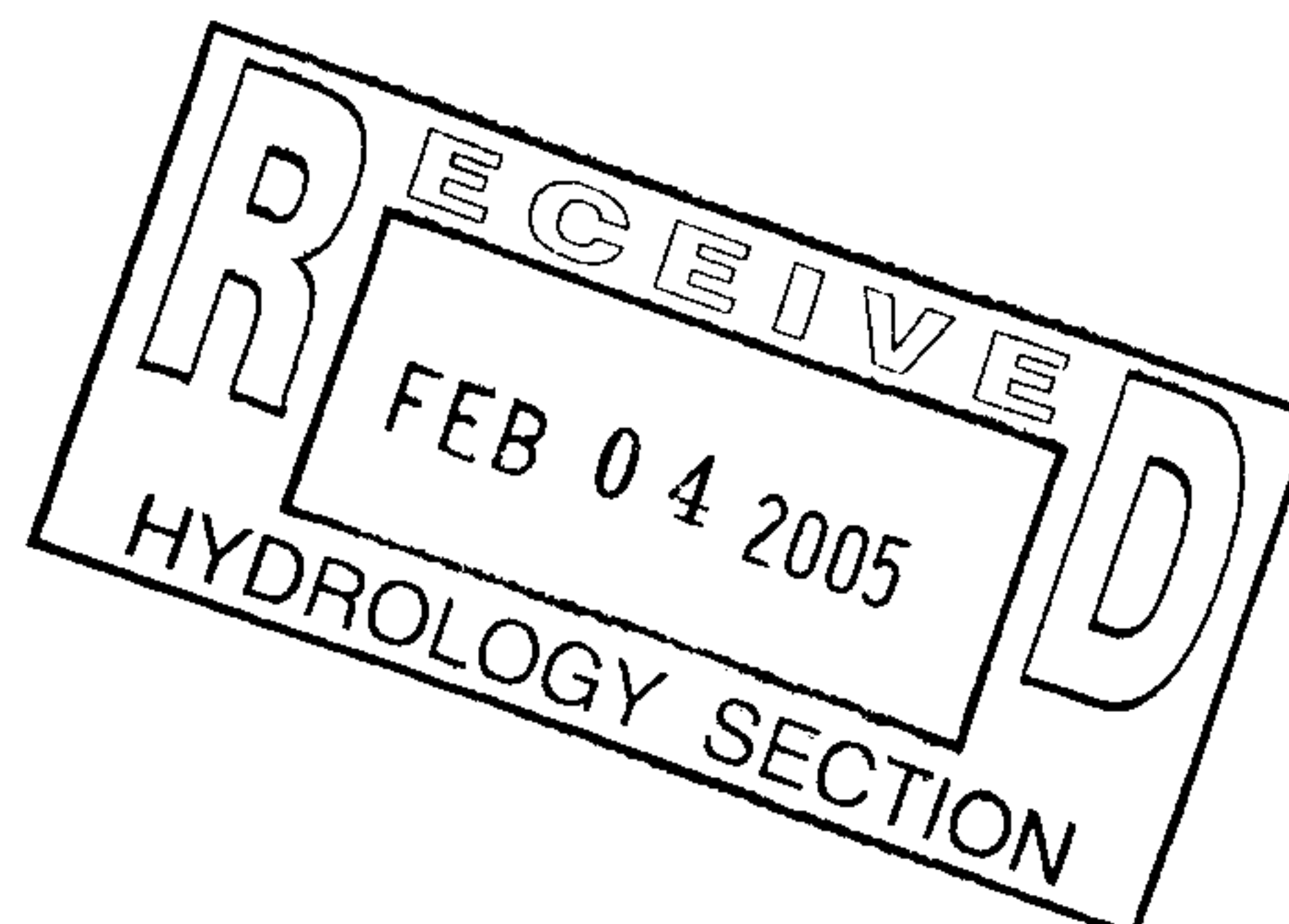
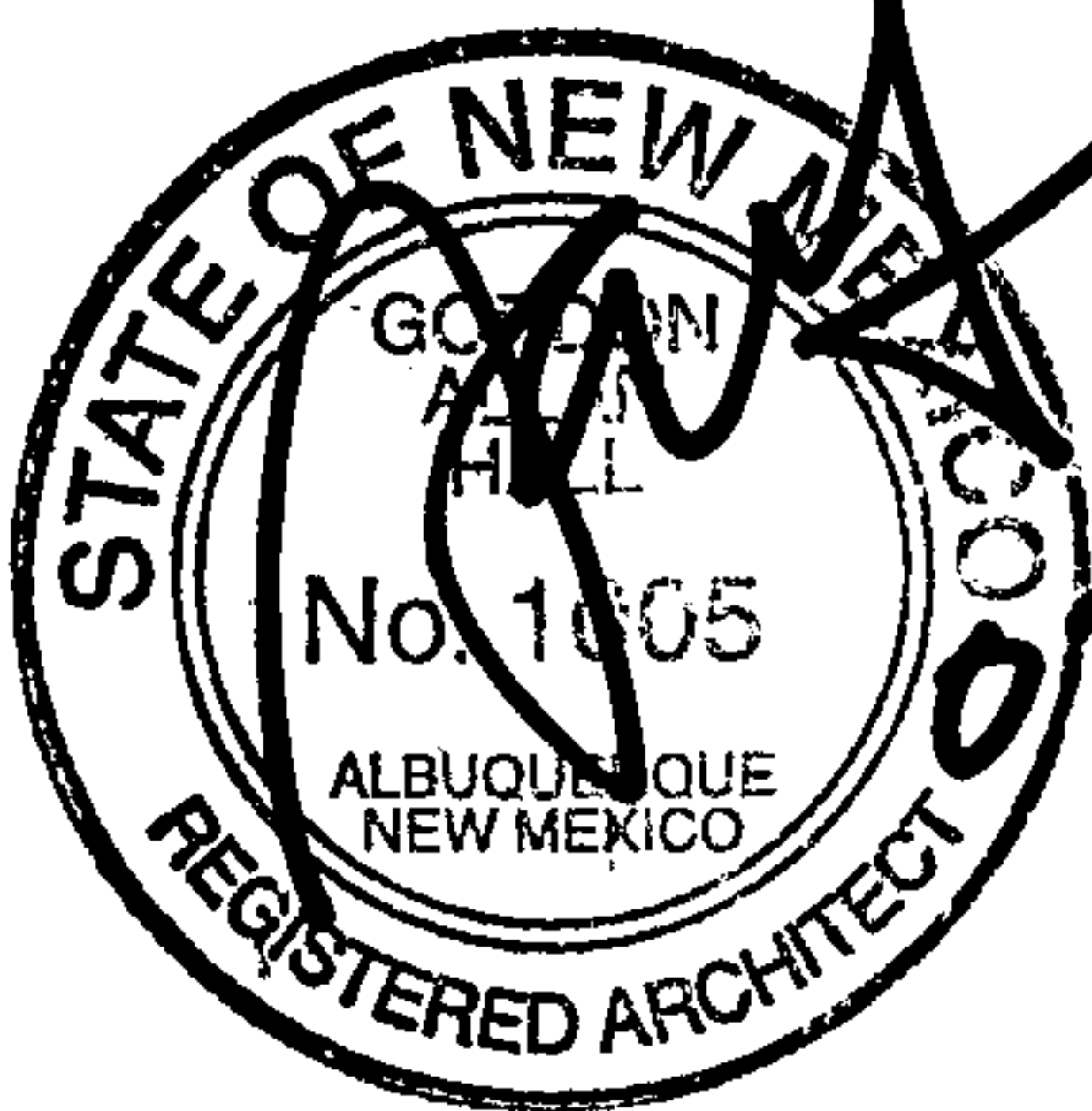
Re: Certification Submittal for Final Building Certificate of Occupancy for Gonzales Bus Main. (Lot 4 volcano Business Park Phase 1) G-10/D29H  
3020 Todos Santos St. NW  
City of Albuquerque

From: Gordon Hall Architect

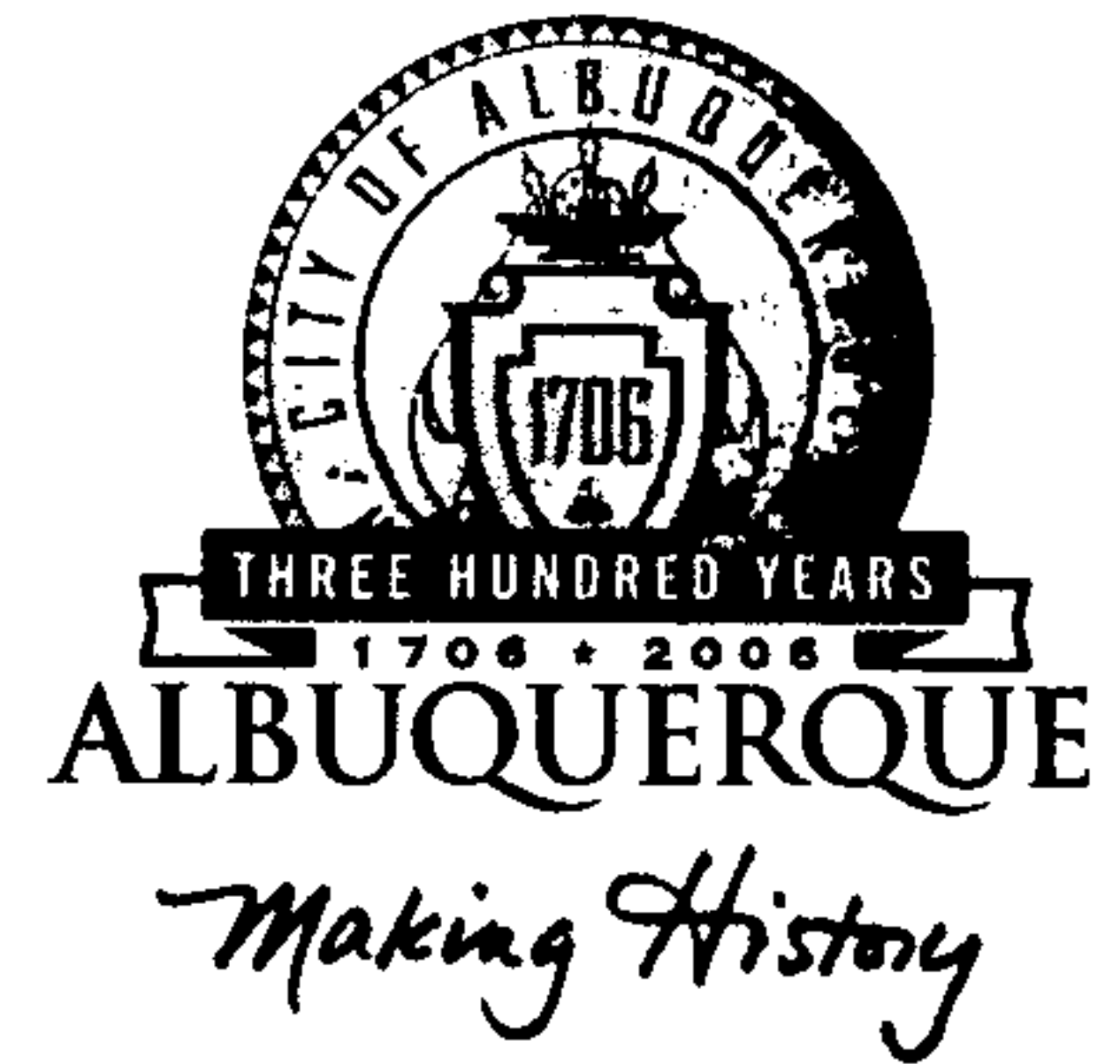
To: Nilo E. Salgado – Fernandez PE  
Senior Traffic Engineer  
Department of Building Services  
Planning Department

As per your request, I am submitting this letter stating that this project is in substantial compliance for Final Certificate of Occupancy and that all transportation department rules and regulations were followed as related to the above-mentioned facility and the approved DRB site plan. Please find attached a copy of the approved TCL (DRB Site Plan) that is in the approved plan set for building permit. This latest edition with any and all redlined comments are initialed and dated by me as Architect of Record. Also attached is the fully completed Drainage Information Sheet by others.

Gordon Hall Architect



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 31, 2005

Gordon Hall, Registered Architect  
Gordon Hall Architect  
18 Trails Road East  
Placitas, NM 87043-9409

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Gonzales Bus. Maint. (Lot 4, Volcano Business Park, phase i),  
G-10 / D29H]  
3020 Todos Santos St. NW  
Architect's Stamp Dated 01/26/05

Dear Mr. Hall:

P.O. Box 1293

The TCL / Letter of Certification submitted on January <sup>26</sup>31, 2005 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

Albuquerque

The approved TCL (or DRB Site Plan) needs to be submitted with the letter of certification (The words 'substantial compliance' needs to be part of your verbiage for certification) for Final C.O. and needs to be the exact copy of the approved TCL in the plan set approved for building permit. This will be the latest edition, which may have redlined comments, initialed and dated by the designer-of-record.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk



# Gordon Hall Architect

18 Trails Road East

450-4707

ghall@tvi.edu

PLacitas, NM

January 26, 2005

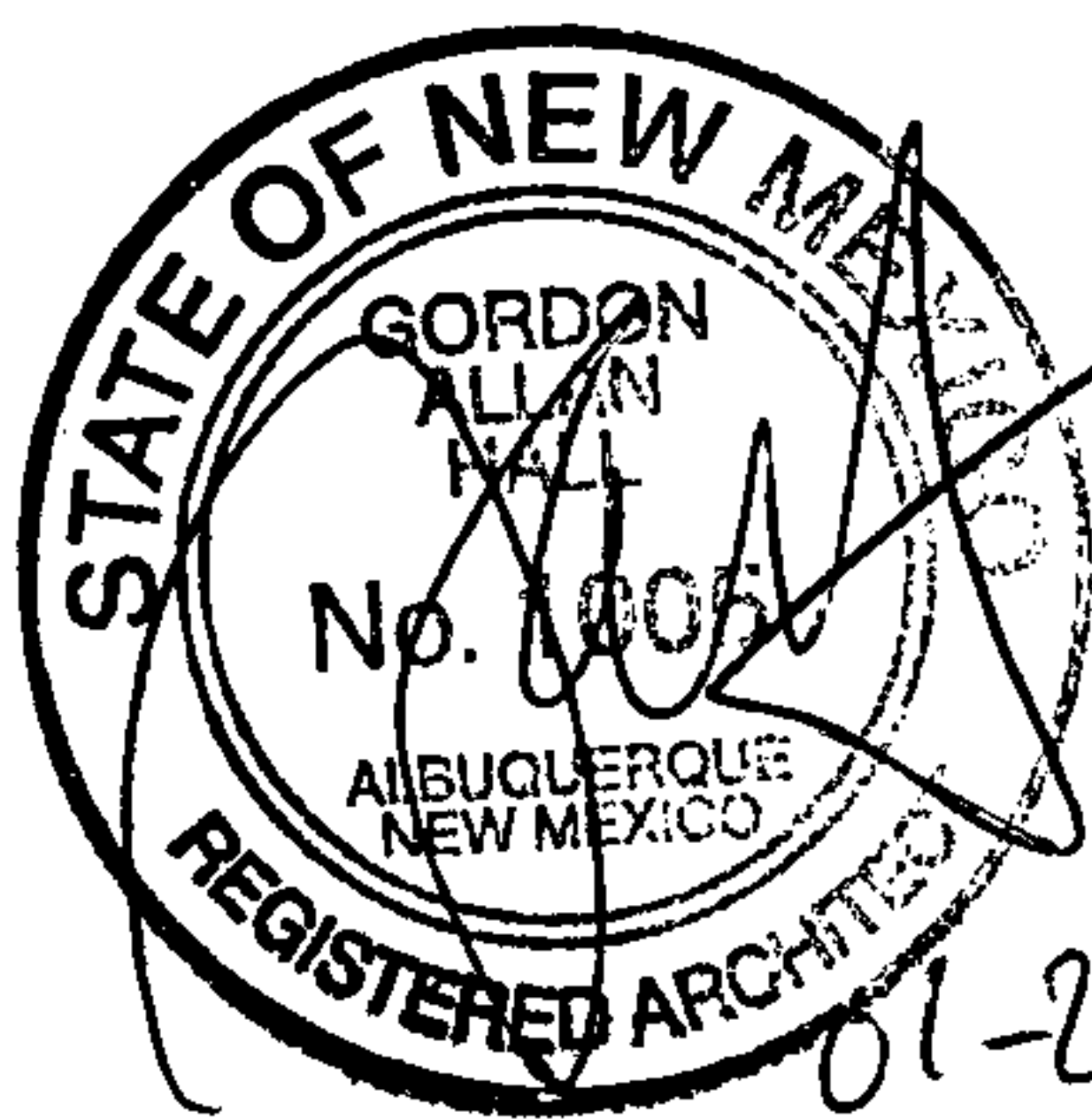
TO: Arlene Porpillo Dept of Transportation  
City of Albuquerque

From: Gordon Hall Architect

Re: Joe Sanchez Bus Maintenance Facility

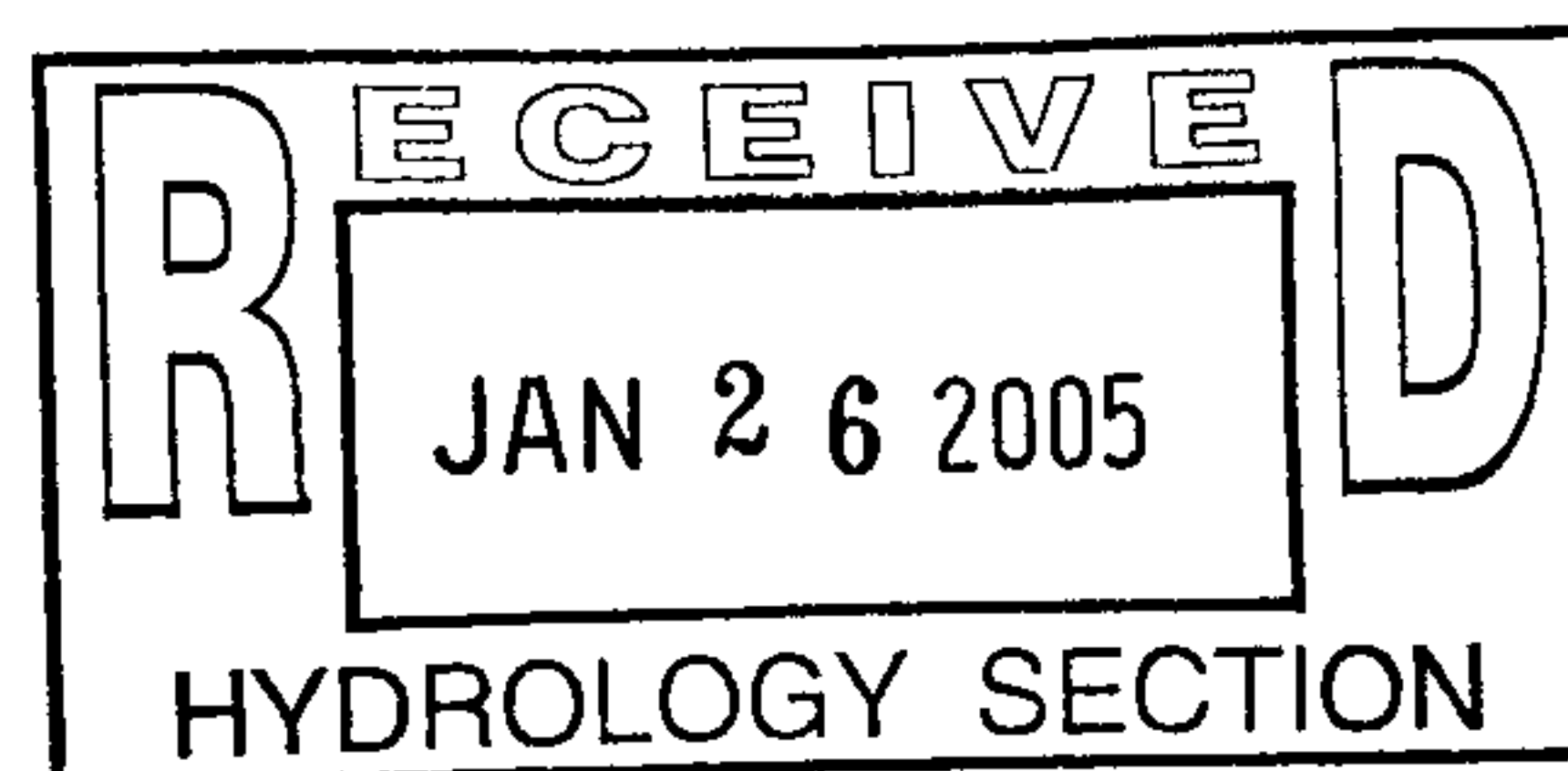
As per your request, I am submitting this letter stating that all transportation department rules and regulations were followed as related to the above-mentioned facility.

Gordon Hall Architect



need  
words  
substantial,  
compliance  
w/ approved  
site plan

Spoke w/ Gordon Hall  
and fax form  
letter for C.O.  
and requested that  
he certify letter  
w/ an attached  
approved Site Plan  
1:30pm 1/26/05



G-10/D29H?

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: GONZALES BUS MAINT ZONE MAP/DRG. FILE #: \_\_\_\_\_  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: \_\_\_\_\_  
CITY ADDRESS: 3020 TODOS SANTOS ST NW

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: JOE GONZALES  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: SAME  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: GORDON HALL  
ADDRESS: 18 TRAILS EAST  
CITY, STATE: PLACITAS NM

CONTACT: SAME  
PHONE: \_\_\_\_\_  
ZIP CODE: 87043-9409

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

### CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

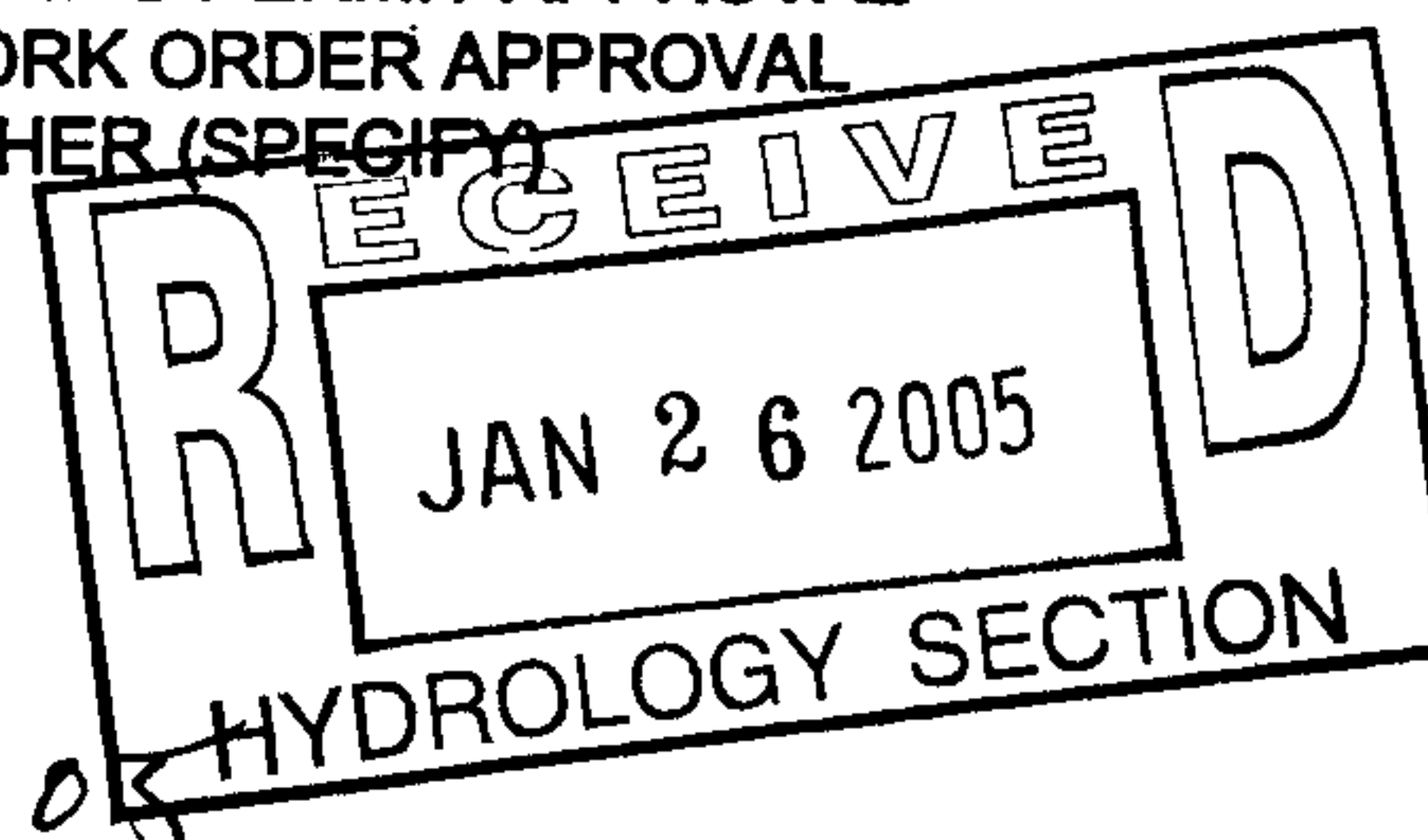
### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: 01-26-05



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# Gordon Hall Architect

18 Trails Road East  
450-4707  
ghall@tvi.edu

January 26, 2005

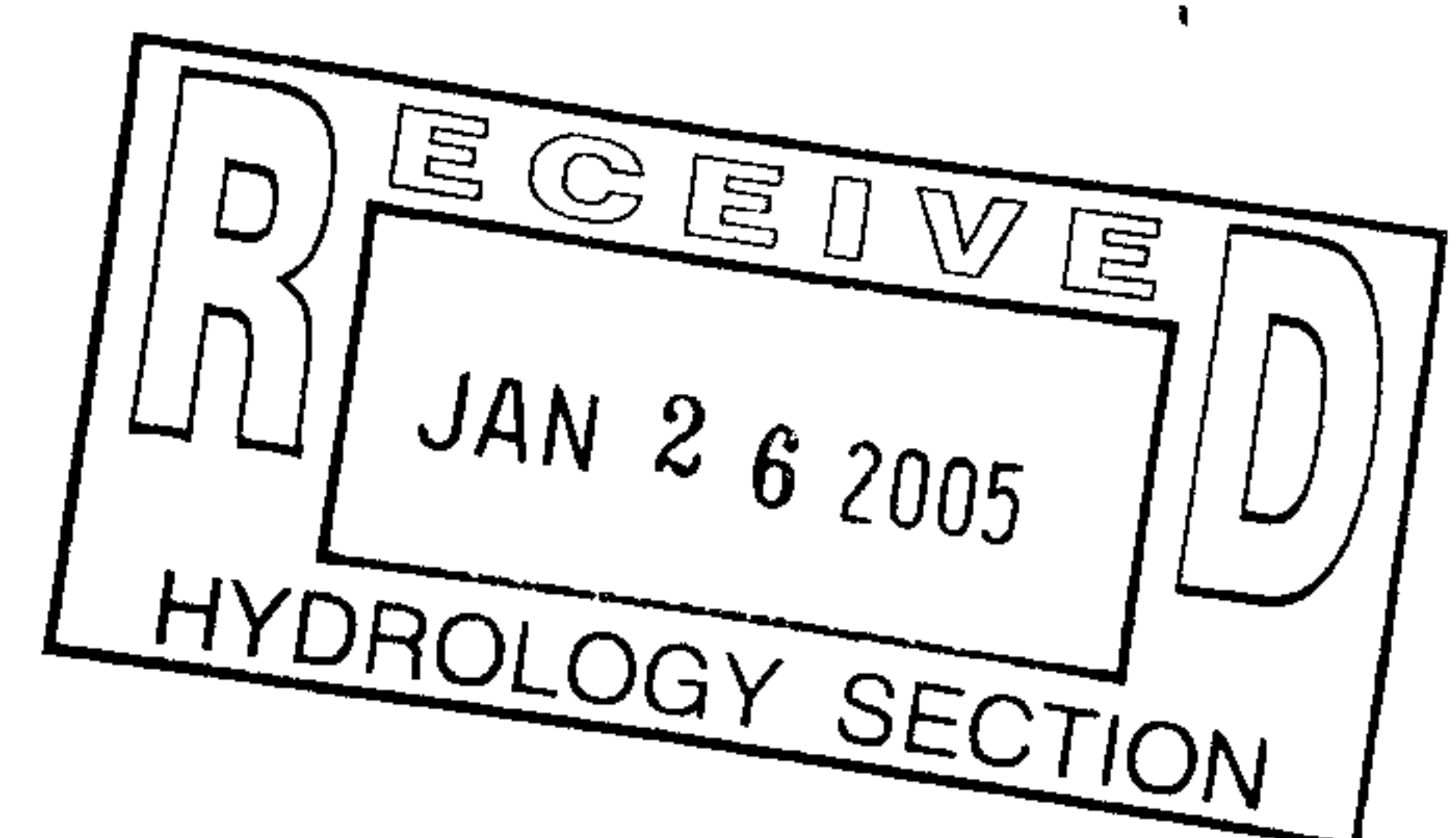
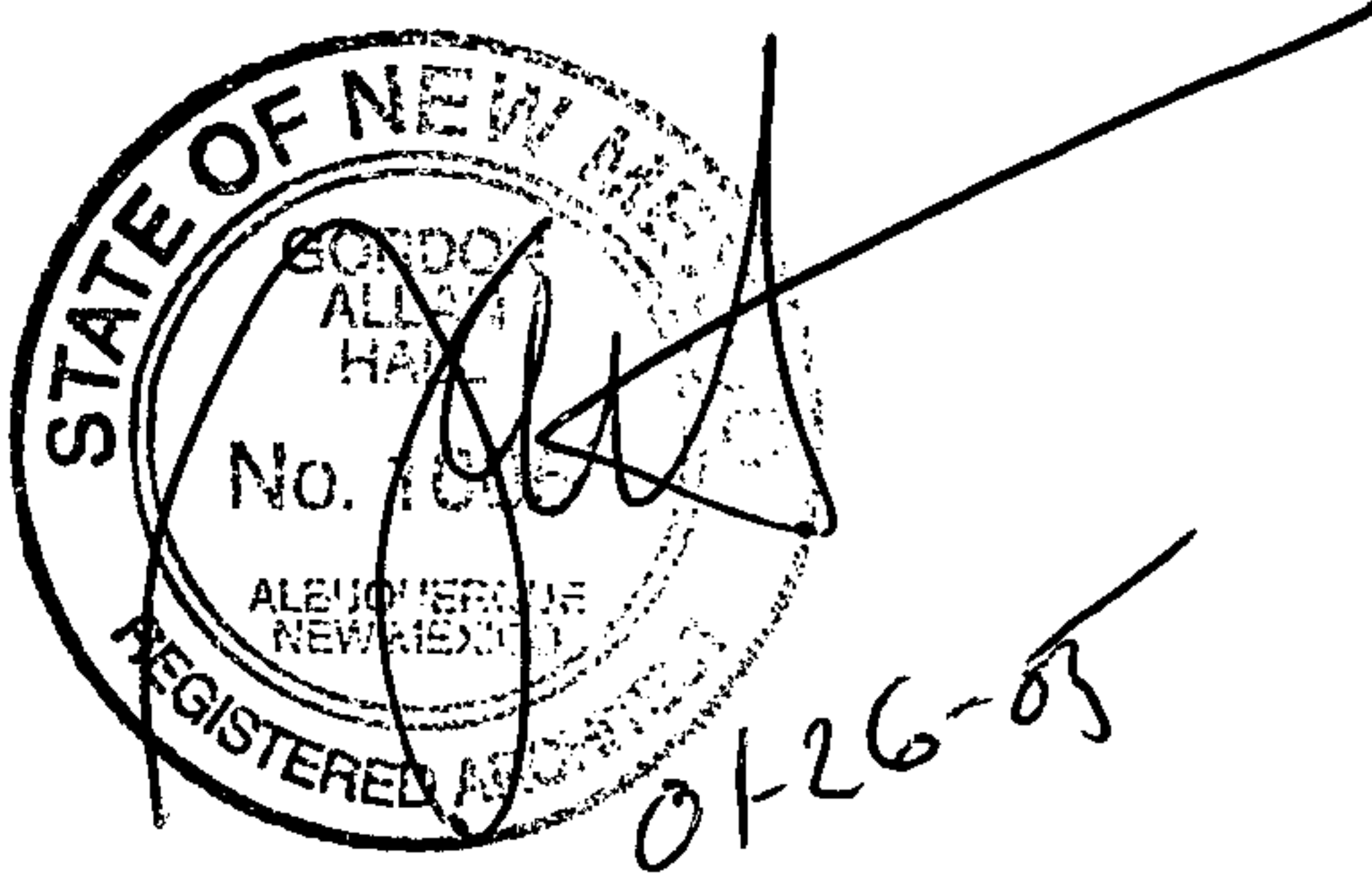
TO: Arlene Porpillo Dept of Transportation  
City of Albuquerque

From: Gordon Hall Architect

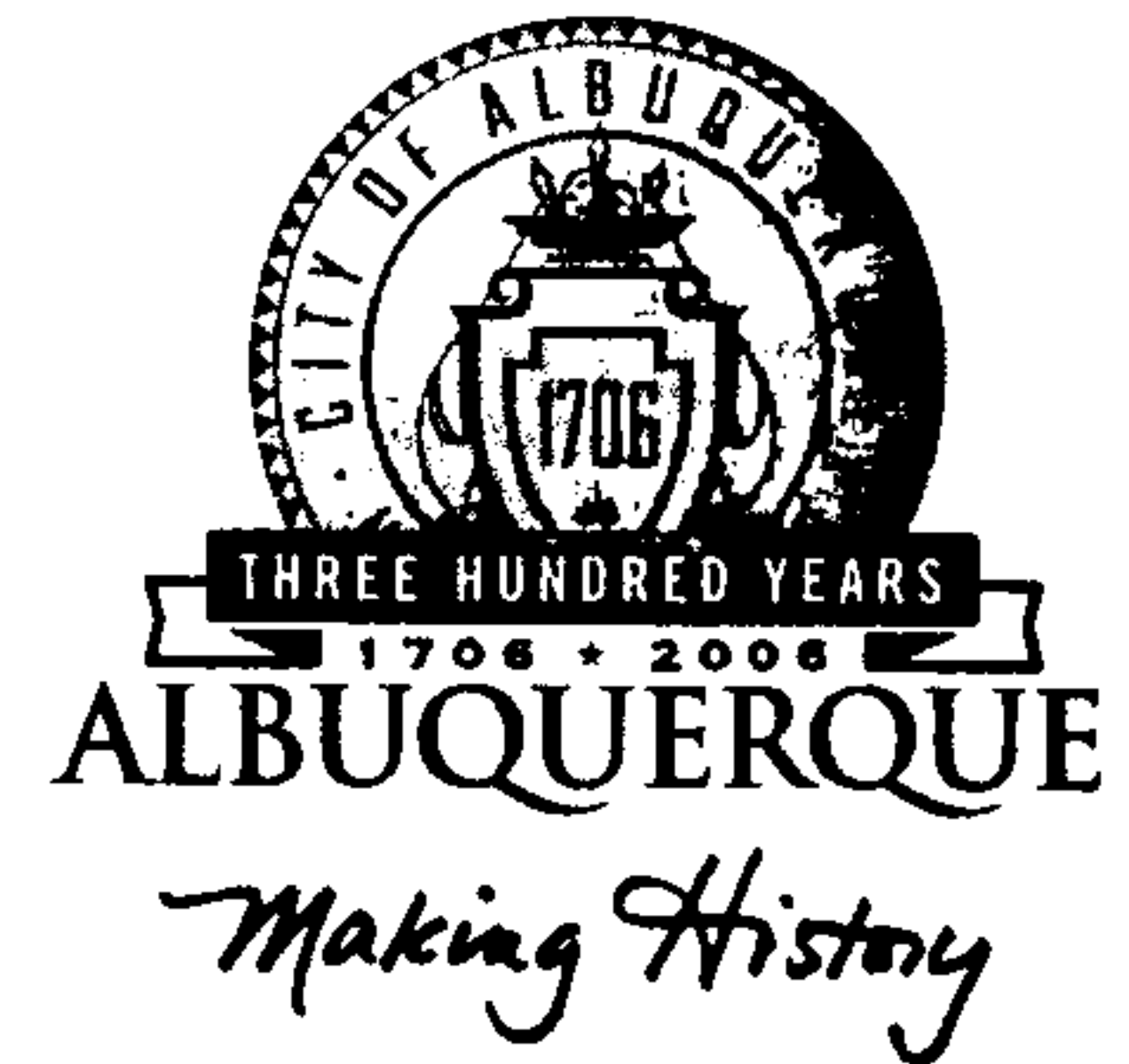
Re: Joe Sanchez Bus Maintenance Facility

As per your request, I am submitting this letter stating that all transportation department rules and regulations were followed as related to the above-mentioned facility.

Gordon Hall Architect



# CITY OF ALBUQUERQUE



February 4, 2005

Mr. Eufrazio Sabay, P.E.  
C/O - 8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: GONZALES BUSINESS MAINTENANCE**  
**3020 Todos Santos St. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 06/08/2004 (G-10/D029H)**  
**Certification dated 02/04/2005**

Dear Mr. Sabay,

P.O. Box 1293

Based upon the information provided in your submittal received 02/04/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
Bernie Montoya



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: GONZALES BUS FACILITY  
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # G10-D29H  
WORK ORDER#:

LEGAL DESCRIPTION: LOT 4 VOLCANO BUSINESS PARK  
CITY ADDRESS: 3020 TODOS SANTOS N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER: JOE GONZALES  
ADDRESS: 3020 TODOS SANTOS N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: JOE  
PHONE: 235-3955  
ZIP CODE:

ARCHITECT: GORDON HALL/ DAVIDI SANTISTEVAN  
ADDRESS:  
CITY, STATE: STANLEY, NEW MEXICO

CONTACT: DAVID  
PHONE: 883-1600  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: CORVIN ENTERPRISES, INC.  
ADDRESS: 25 SURREY LANE  
  
CITY, STATE: STANLEY, NEW MEXICO

CONTACT: CHRIS  
PHONE: 249-7373  
  
ZIP CODE: 87056

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION  
☐ PAVING PLAN  
☐ TCL  
☐ RESUBMITTAL

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES VERBAL WITH KRISTAL METRO  
☐ NO  
☐ COPY PROVIDED

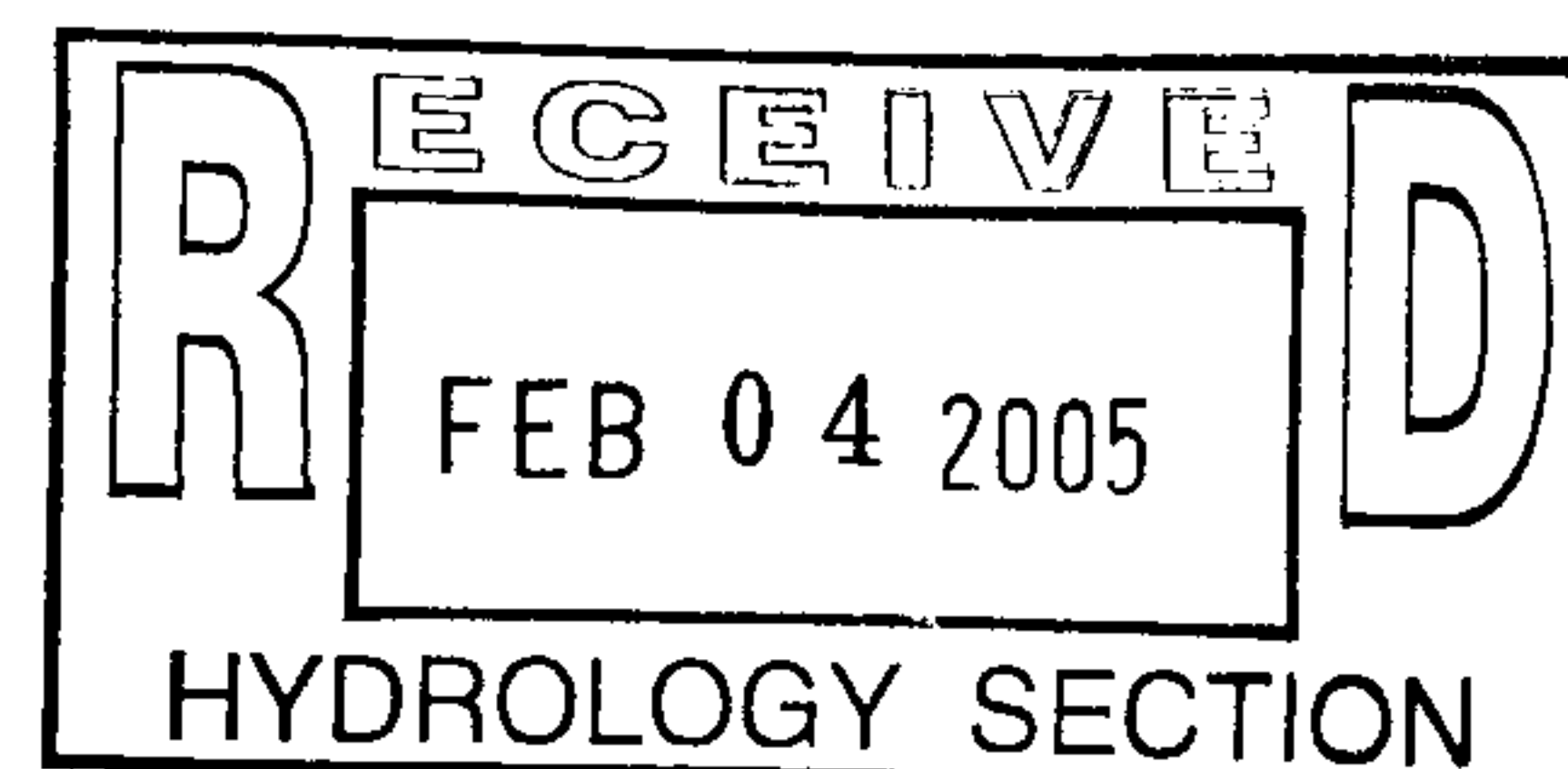
### CHECK TYPE OF APPROVAL SOUGHT:

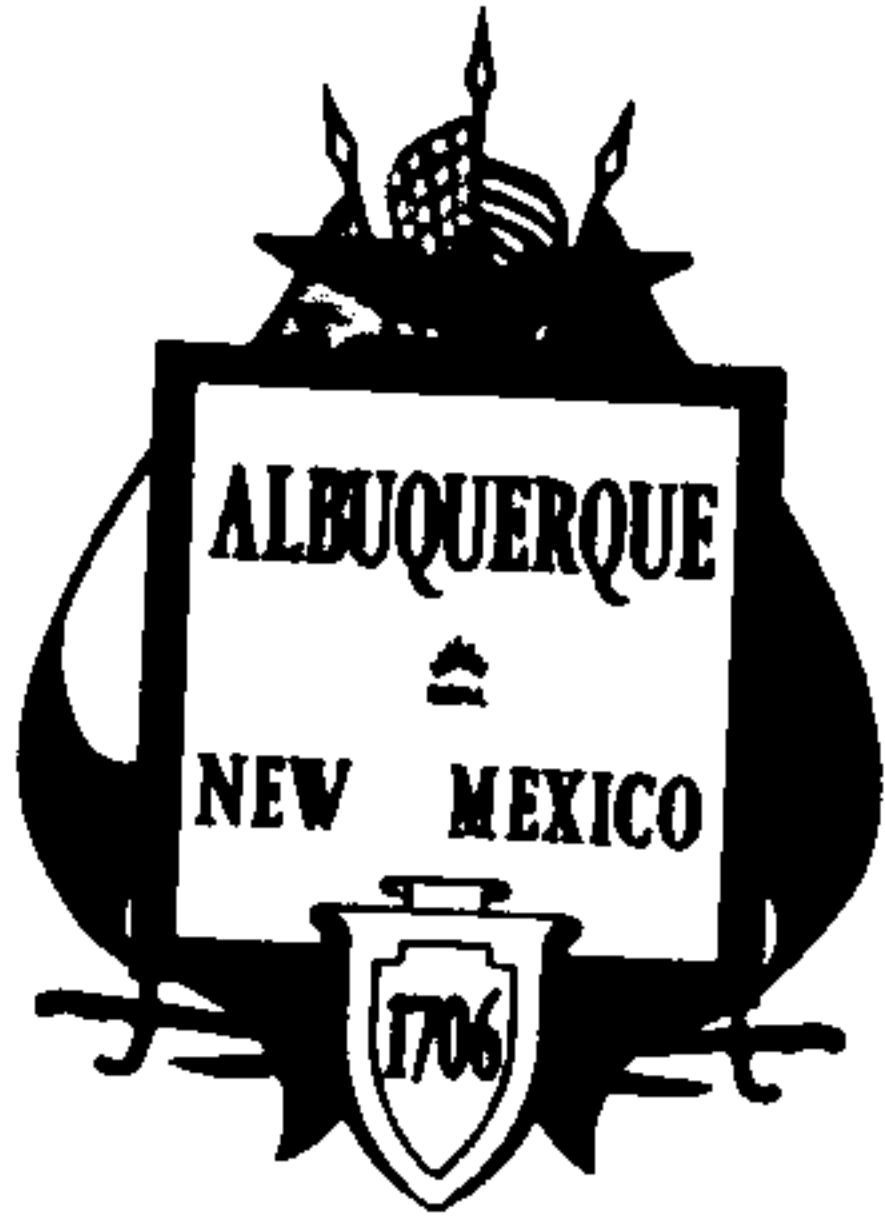
☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ X CERTIFICATE OF OCCUPANCY APPROVAL - Perm  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) SO19

DATE SUBMITTED: 2/4/2005 BY: BERNIE J. MONTOYA C.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





**City of Albuquerque**  
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 15, 2004

Eufracio Sabay, PE  
BJM Development  
8624 Casa Verde Ave NW  
Albuquerque, NM 87120

**RE: Lot 4, Volcano Business Park Grading and Drainage Plan  
Engineer Stamp dated 6-8-04 (G10/D29H)**

Dear Mr. Sabay:

Based on the information provided in your submittal received 6-9-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: Charles Caruso, DMD Storm Drainage Design  
File

# DRAINAGE INFORMATION SHEET

## BUS MAINTENANCE FACILITY

PROJECT TITLE: ~~NARVAEZ LAW OFFICES~~

DRB #:

PC#: N/A

ZONE MAP/DRG. FILE # G10-D29H

WORK ORDER#:

LEGAL DESCRIPTION: A PORTION OF LOTS 3, 4, AND 5 BLOCK A, JOHN MOORE REALTY CO. THIRD ADDN.  
CITY ADDRESS: 3020 TODOS SANTOS N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT

ADDRESS: 8624 CASA VERDE AVE. N.W.

CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOKA

PHONE: 250-7719

ZIP CODE: 87120

OWNER:

ADDRESS:

CITY, STATE: Albuquerque, New Mexico

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR:

N/A

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

N/A

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ PAVING PLAN
- ☐ TCL

☒ RESUBMITTAL

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES VERBAL WITH KRISTAL METRO
- ☐ NO
- ☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

DATE SUBMITTED:

6/9/2004

BY:

Bernie Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Rec'd 6/9/04



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 28, 2004

Eufracio Sabay, PE  
BJM Development Consultants  
8624 Casa Verde Ave NW  
Albuquerque, NM 87120

**Re: Lot 4, Volcano Business Park Grading and Drainage Plan**  
**Engineer Stamp 4-7-04 (G10/D29H)**

Dear Mr. Sabay,

Based upon information provided in your submittal dated 4-9-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Please better define the limits of pavement, gravel and landscaping per the DRB approved Site Development Plan.
- There are keynotes but no description of what they indicate.
- What are the slope and treatment of the channel side slopes? How will your runoff get to the channel without headcutting along the north property line?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 28, 2004

Eufracio Sabay, PE  
BJM Development Consultants  
8624 Casa Verde Ave NW  
Albuquerque, NM 87120

**Re: Lot 4, Volcano Business Park Grading and Drainage Plan**  
**Engineer Stamp 4-7-04 (G10/D29H)**

Dear Mr. Sabay,

Based upon information provided in your submittal dated 4-9-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- Please better define the limits of pavement, gravel and landscaping per the DRB approved Site Development Plan.
- There are keynotes but no description of what they indicate.
- What are the slope and treatment of the channel side slopes? How will your runoff get to the channel without headcutting along the north property line?

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: file

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: ~~AUTO MECHANIC SHOP FOR JOE GONZALES~~  
DRB #: PC#: N/A

ZONE MAP/DRG. FILE # G10/002914  
WORK ORDER#:

LEGAL DESCRIPTION: LOT 4 VOLCANO BUSINESS PARK PHASE 1  
CITY ADDRESS: 3020 TODOS SANTOS STREET N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER: JOE GONZALES  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: ULTRA DESIGNS INC.

ADDRESS: 3320 SAN MATEO BLVD. N.E.  
CITY, STATE: ALBUQUERQUE, N.M.

CONTACT: DAVID SANTISTEVAN

PHONE: 883-1600  
ZIP CODE: 87110

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ CLOMR/LOMR  
☐ OTHER

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

DATE SUBMITTED: \_\_\_\_\_

BY: \_\_\_\_\_

RECEIVED  
APR 09 2004  
HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

November 19, 2003

Mr. Carlos A. Montoya, PE  
City of Albuquerque, Hydrology Dept.  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: Allrite Roofing Systems, 3040 Painted Rock Dr. NW, Grading and Drainage Plan (G10/D29G)**

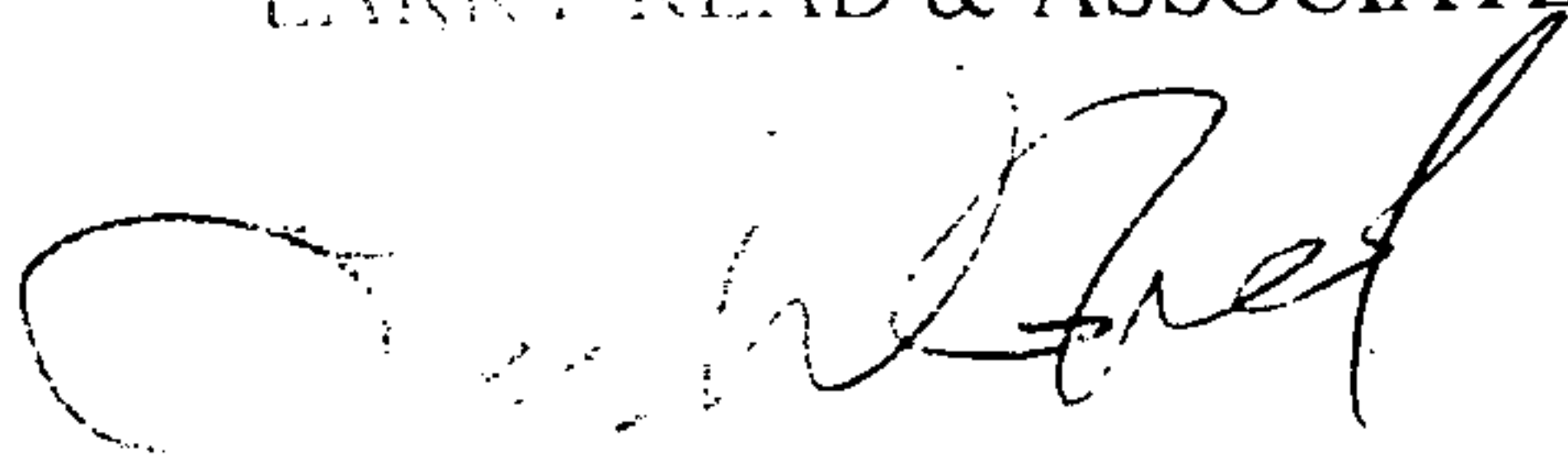
Dear Mr. Montoya:

Thank you for your review of the above referenced job and update to the Volcano Business Park Master Drainage Plan. The comments from your letter dated November 13, 2003 are addressed sequentially below.

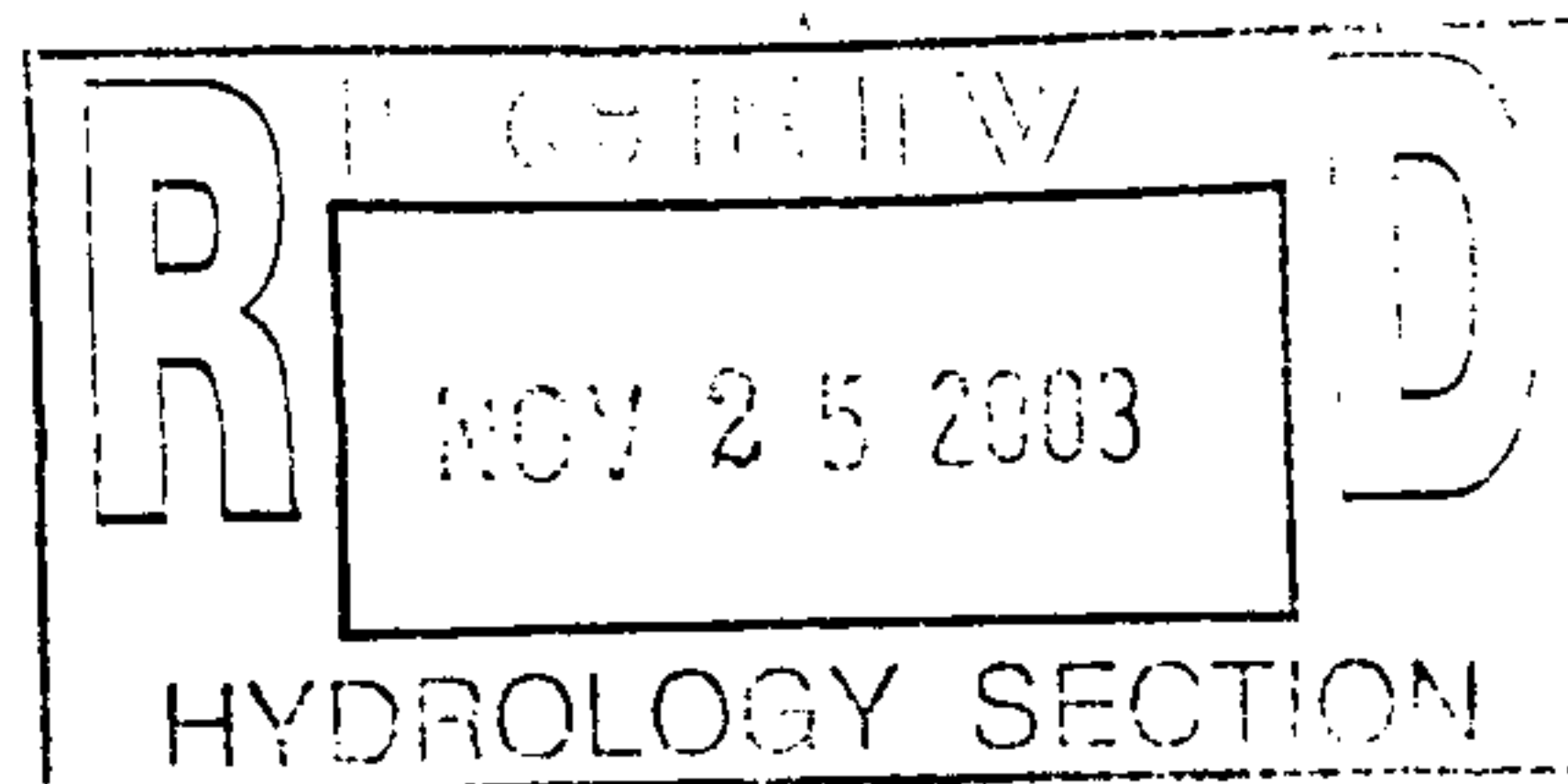
1. Appendix C contains the Manning's Equation calculations for the "Maximum Flow in Rock Swale." This section is for a trapezoidal channel with a 3' bottom width and 2:1 sides. The maximum developed flow in this rock swale occurs at the northeast corner of Tract 5A2-A1-3. At this point the combined free discharge from Tract 5A2-A1-2, Tract 5A2-A1-3, and Tract 5A2-A1-4 generates a runoff of 9.67-cfs (see "100-Year Hydrologic Calculations Proposed Conditions"). This runoff will have a flow depth of 0.77' in the rock swale. This rock swale discharges into a 10' wide (1' deep) concrete channel at 2.95%. Since the flow is contained in a 3' trapezoidal rock swale at 1.60%, it will easily be contained in the steeper 10' wide concrete channel.
2. Easement labels have been added to the Grading and Drainage Sheet.
3. There are private easements. Therefore, the individual property owners are responsible for the maintenance.
4. "100-Year Hydrologic Calculations" provide a quantitative analysis for each tract of land. The "Fully Developed Conditions" section of the report (Revised Master Drainage Study for Volcano Business Park Phases I and II, Albuquerque, NM and Site Specific Drainage for Tract 5A2-A1-3) page 4, identifies all the undeveloped lots (Tracts 5A2-A1-2 through 5A2-A1-4, Lot 1 and Lots 3 through 6). All of these sites are allowed free discharge.
5. A single channel section has been designed for all of the swales for ease of construction. As described above (Comment 1), the swales have been designed to carry the combined developed flow from all three tracts of land.

Please complete your review of this revised master drainage plan and grading plan for Tract 5A2-A1-3. We are glad to assist you further in this review if you have additional comments.

Sincerely,  
LARRY READ & ASSOCIATES, Inc.



Larry D. Read, P.E.



4800 Juan Tabo Blvd., NE Suite C Albuquerque, New Mexico 87111 (505) 237-8421 FAX (505) 237-8422



## EXISTING DRAINAGE CONDITIONS

Volcano Business Park has been partially developed under two different Master Drainage Plans. The first one was prepared by Easterling and Associates in 1985. This study Identified 112.7-acres west of Unser Boulevard which would be diverted to the north by Unser Boulevard and therefore, not allowed to enter the site. This area has since been developed and diverted to the Ouray Road Storm Drain according to this Master Plan. This study also identified 68.7 acres east of Unser Boulevard that would drain to a 42" rcp storm drain starting near the northeast corner of Volcano Business Park. This 68.7-acres was divided up into areas that had different allowable discharge rates depending on the type of development anticipated. A significant portion of the Volcano Business park even required onsite retention of the 100-year storm event. The overall criterion was an allowable discharge of 120-cfs to the 42" storm drain. This included 40 acres of offsite area west of the Volcano Business Park with an allowable discharge through the business park of 87.90-cfs. This runoff was split between two rundowns across Tract 5A2-A1-1.

Then, in 1991 Brasher and Lorenz, Inc. revised the Easterling and Associates Master Plan along with the development of the GE Modular site (Tract 5A2-A1-1 also identified as Tract 5A1B). At this time, the same allowable discharge of 87.90-cfs was anticipated to enter the business park but the allowable discharge rate of 0.43-cfs per acre was established for the park itself. This eliminated the retention pond requirement in order to meet current drainage standards but continued to meet the 42" storm drain capacity of 120-cfs. Tract 5A2-A1-1 was divided and drained into two detention ponds according to Drainage File G10/29F. In accordance with this discharge rate of 0.43-cfs per acre, Tract 5A2-A1-5 (Drainage File G10/29), Lot 2 (Drainage File G10/29E), Lot 7-A1 Drainage File G10/29D), Lot 11 (Drainage File G10/29C), and Lot 12-A (Drainage File G10/29B) have been developed with detention ponds.

The West Ridge Subdivision, prepared by Mark Goodwin and Associates, PA (Drainage File H9/D16) was approved in January 2003 as a development within the 40-acre offsite basin. This subdivision proposed diverting all the offsite area to the Ouray Road Storm Drain. This frees up the 87.9-cfs discharge to the 42" storm drain. **Appendix A** contains the West Ridge Subdivision Drainage Basin Map and ARYMO 100-Year Summary Output.

Due to discrepancies in the lot areas from the multiple reports and replats, the sum of the individual lot areas and the West Ridge Development do not match the original Easterling and Associates Master Plan. Therefore, we used lot areas as listed on the Bernalillo County arcIMS system, individual lot surveys, and the basin areas defined by the West Ridge Subdivision Report to establish the areas listed in the **100-YEAR HYDROLOGIC CALCULATIONS TABLE**. We have included an "Unidentified Basin" of 2.5860-acres in the Hydrologic Calculations table to account for the discrepancies in area. This basin was analyzed as 90% impervious to reflect either commercial development or roads in order to account for the maximum discharge to the 42" storm drain.

The sum of the discharge from the Volcano Business Park with individual lot detention ponds would be 43.90-cfs plus the offsite allowable discharge of 87.90-cfs for a total of 131.80-cfs. This would exceed the 42" storm drain capacity of 120-cfs. However, the 42" storm drain is located at the end of the



In July 2003, Brasher and Lorenz, Inc. submitted a new study (Drainage File G10/D29F) for the GE Modular Site. This included a 4.29-acre addition to the GE Modular Site. This additional area is "Basin 34" (3.1616-acres) of the West Ridge Subdivision. The West Ridge Subdivision report anticipated that this area will drain to the Ouray road Storm Drain. However, the 2003 Brasher and Lorenz, Inc. Report continues to drain this area through the Volcano Business Park property. Therefore, we have created a "Duplicate Area" basin to account for this runoff going to either system when the property is actually developed. The 2003 revised submittal takes into account the diversion of offsite runoff due to the West Ridge Subdivision improvements. The letter in **Appendix B** states that previously required ponds and storm drains are no longer needed, but, also states that a portion of the site drains to the existing ponds. Therefore, we have split Tract 5A2-A1-1 into three (basins). The north one (4.50-acres) drains to an existing detention pond at the north end of the site according to the 1997 report. Similarly, a 2.50-acre portion drains to the south detention pond and drains according to the 1997 study. The remaining 4.34-acres was analyzed for ponding under "Existing Allowable Conditions" and free discharge for "Proposed Conditions." This letter states that the net result due to the offsite diversion and development of the additional 4.29-acres decreases the demands on the 42" storm drain by approximately 37.2-cfs. Since we have a limited understanding of how the GE Modular site has changed between the 1997 study and the 2003 study, we are considering this 37.2-cfs decrease as one option for this master plan amendment and our calculations as the other criteria.

### **FULLY DEVELOPED CONDITIONS**

Due to the West Ridge Subdivision diversion, the demand on the 42" storm drain has been decreased by 37.2-cfs. The 100-YEAR HYDROLOGIC CALCULATIONS TABLE takes into account the lots within Volcano Business Park that have already been developed with detention ponds and the undeveloped lots. The undeveloped lots (Tracts 5A2-A1-2 through 5A2-A1-4, Lot 1, and Lots 3 through 6) will be developed to have free discharge at 90% impervious. When these parcels are developed and added to the existing discharge from the other lots and the free discharge from the 4.34-acre portion of Tract 5A2-A1-1, the total discharge to the 42" storm drain is only 96.60-cfs. This is below the allowable discharge of 120-cfs.

As a second check, the allowable discharge from the eight (8) undeveloped lots is 3.68-cfs according to the "Existing Allowable Conditions." The free discharge from these same eight lots, developed with 90% imperviousness, is 36.12-cfs. This is a net increase of 32.44-cfs, which is less than the Brasher and Lorenz, Inc. statement that the demand has been decreased by 37.2-cfs. Therefore, it is evident that the remaining lots can be developed with free discharge without exceeding the 120-cfs storm drain capacity.

### **TRACT 5A2-A1-3 DEVELOPED CONDITIONS**

Tract 5A2-A1-3 will be developed at this time according to this revised master plan. There is an existing 7' private drainage easement along the east edge of the property that will be maintained to accept the 3.22-cfs runoff from Tract 5A2-A1-4. The site will be graded to drain to the northeast corner of the site where it will drain into the existing 10' concrete channel which ties to the 42" storm drain.

Painted Rock Drive intercepts all the runoff from the west. Runoff from Tract 5A2-A1-2 will be directed to the 10' rundown at the northeast corner of this site. Therefore, the only offsite runoff will be

from Tracts 5A2-A1-2 and 5A2-A1-4 which will drain along the north and east edges of this property. Street capacity calculations and channel calculations for the combined runoff from these three (3) lots is included in Appendix C.



**100-YEAR HYDROLOGIC CALCULATIONS**

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)				
EXISTING ALLOWABLE CONDITIONS									
5A2-A1-1 (NORTH)	4.5000	PONDED AND DISCHRGD TO PAINTD ROCK DR. PER DRAINAGE PLAN G10/29F							1.95
5A2-A1-1 (SOUTH)	2.5000	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29F							1.08
5A2-A1-1 (FREE)	4.3400	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							1.87
5A2-A1-2	1.0178	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.44
5A2-A1-3	0.5099	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.22
5A2-A1-4	0.7624	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.33
5A2-A1-5	1.2721	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29							0.55
LOT 1	1.2952	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.56
LOT 2	0.9909	PONDED AND DISCHRGD TO 42" STORM DRAIN PER DRAINAGE PLAN G10/29E							1.41
LOT 3	1.0319	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.44
LOT 4	0.9900	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.43
LOT 5	1.1849	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.51
LOT 6	1.7675	PONDED AND DISCHRGD AT A RATE OF 0.43CFS/ACRE							0.76
LOT 7-A1	1.3784	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29D							5.70
LOT 11	1.0411	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29C							2.48
LOT 12-A	3.4213	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29B							4.90
PAINTED ROCK	0.7731	0.00	0.00	10.00	90.00	1.87	0.12		3.26
TODOS SANTOS	1.4463	0.00	0.00	10.00	90.00	1.87	0.23		6.10
UNIDENTIFIED	2.5860	0.00	0.00	10.00	90.00	1.87	0.40		10.91
SUBTOTAL	32.8088								43.90
DUPLICATE AREA	-3.1616	0.00	0.00	10.00	90.00	1.87	-0.49		-13.34
WEST RIDGE	39.0528	CHANNEL DRAINAGE THROUGH 5A2-A1-1 VIA NORTH AND SOUTH CH							87.90
TOTAL	68.7000								118.45
PROPOSED CONDITIONS									
5A2-A1-1 (NORTH)	4.5000	PONDED AND DISCHRGD TO PAINTD ROCK DR. PER DRAINAGE PLAN G10/29F							1.95
5A2-A1-1 (SOUTH)	2.5000	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29F							1.08
5A2-A1-1 (FREE)	4.3400	FREE DISCHARGE TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29F							22.13
5A2-A1-2	1.0178	0.00	0.00	10.00	90.00	1.87	0.16		4.30
5A2-A1-3	0.5099	0.00	0.00	10.00	90.00	1.87	0.08		2.15
5A2-A1-4	0.7624	0.00	0.00	10.00	90.00	1.87	0.12		3.22
5A2-A1-5	1.2721	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29							0.55
LOT 1	1.2952	0.00	0.00	10.00	90.00	1.87	0.20		5.47
LOT 2	0.9909	PONDED AND DISCHRGD TO 42" STORM DRAIN PER DRAINAGE PLAN G10/29E							1.41
LOT 3	1.0319	0.00	0.00	10.00	90.00	1.87	0.16	7.012	4.35
LOT 4	0.9900	0.00	0.00	10.00	90.00	1.87	-0.15	6.727	4.18
LOT 5	1.1849	0.00	0.00	10.00	90.00	1.87	0.18	8.052	5.00
LOT 6	1.7675	0.00	0.00	10.00	90.00	1.87	0.28	12.011	7.46
LOT 7-A1	1.3784	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29D							5.70
LOT 11	1.0411	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29C							2.48
LOT 12-A	3.4213	PONDED AND DISCHRGD TO TODAS SANTOS ST. PER DRAINAGE PLAN G10/29B							4.90
PAINTED ROCK	0.7731	0.00	0.00	10.00	90.00	1.87	0.12	5.253	3.26
TODOS SANTOS	1.4463	0.00	0.00	10.00	90.00	1.87	0.23	9.828	6.10
UNIDENTIFIED	2.5860	0.00	0.00	10.00	90.00	1.87	0.40	17.573	10.91
SUBTOTAL	32.8088						2.08	90819.71	96.60
DUPLICATE AREA	-3.1616	0.00	0.00	10.00	90.00	1.87	-0.49	-21.484	13.34
WEST RIDGE	39.0528	PONDED AND DISCHRGD TO OURAY STORM DRAIN							0.00
TOTAL	68.7000								
EXCESS PRECIP.		0.44	0.67	0.99	1.97	E <sub>i</sub> (in)			
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q <sub>pi</sub> (cfs)			
WEIGHTED E (in) = (E <sub>A</sub> )(%A) + (E <sub>B</sub> )(%B) + (E <sub>C</sub> )(%C) + (E <sub>D</sub> )(%D)									
V <sub>6-HR</sub> (acre-ft) = (WEIGHTED E)(AREA)/12									
V <sub>10DAY</sub> (acre-ft) = V <sub>6-HR</sub> + (A <sub>D</sub> )(P <sub>10DAY</sub> - P <sub>6-HR</sub> )/12									
Q (cfs) = (Q <sub>PA</sub> )(A <sub>A</sub> ) + (Q <sub>PB</sub> )(A <sub>B</sub> ) + (Q <sub>PC</sub> )(A <sub>C</sub> ) + (Q <sub>PD</sub> )(A <sub>D</sub> )									
ZONE = 1									
P <sub>6-HR</sub> (in.) = 2.20									
P <sub>24-HR</sub> (in.) = 2.66									
P <sub>10DAY</sub> (in.) = 3.67									

ELEVATION OF 3147.13

