

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 17, 2024

Joseph Simons, RA  
Simons Architecture PC  
P.O.P. Box 67408  
Albuquerque, NM 87107

**Re: Burger King  
3221 Coors Blvd. NW  
Traffic Circulation Layout  
Architect's Stamp 4-10-24 (G11D003D)**

Dear Mr. Simons,

The TCL submittal received 5-16-24 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

If you have any questions, please contact me at [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or (505) 924-3986.

Sincerely,

*Curtis A Cherne*

Curtis Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** BurgerKing Lomas **Building Permit #:** BP-2024-13352 **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT Q2, TOWN OF ATRISCO GRANT NORTHEAST UNIT  
**City Address:** 3221 Coors Blvd., NW Albuquerque, NM 87120

**Applicant:** Tom McCollum **Contact:** \_\_\_\_\_  
**Address:** 11000 Bermuda Dunes  
**Phone#:** 505-681-7474 **Fax#:** \_\_\_\_\_ **E-mail:** tmgmtmmm@aol.com

**Other Contact:** Simons Architecture PC **Contact:** Joe Simons  
**Address:** P.O. Box 67408, Albuquerque, NM 87107  
**Phone#:** 505-480-4796 **Fax#:** \_\_\_\_\_ **E-mail:** joe@simonsarchitecture.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

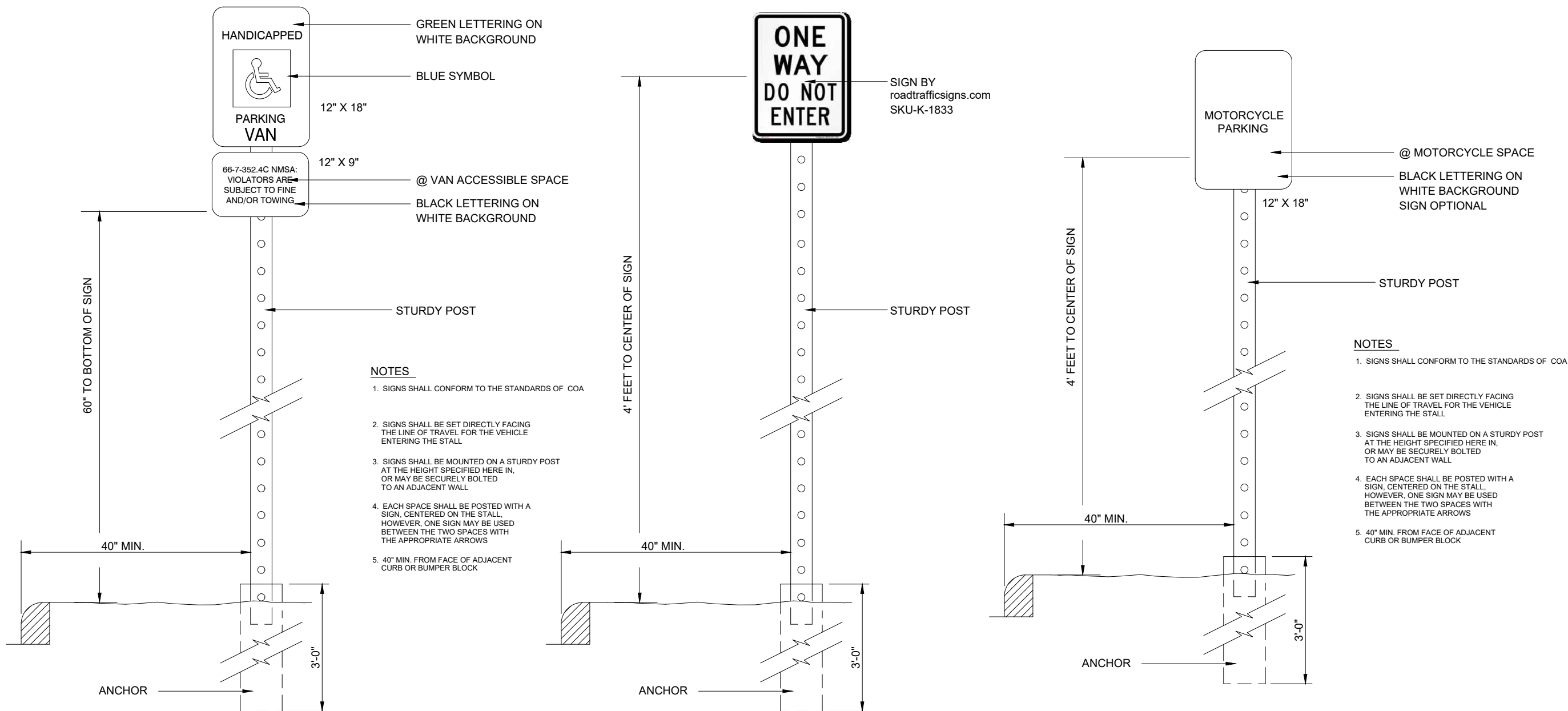
**DATE SUBMITTED:** 4.11.24 **By:** Joe Simons, Simons Architecture PC

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

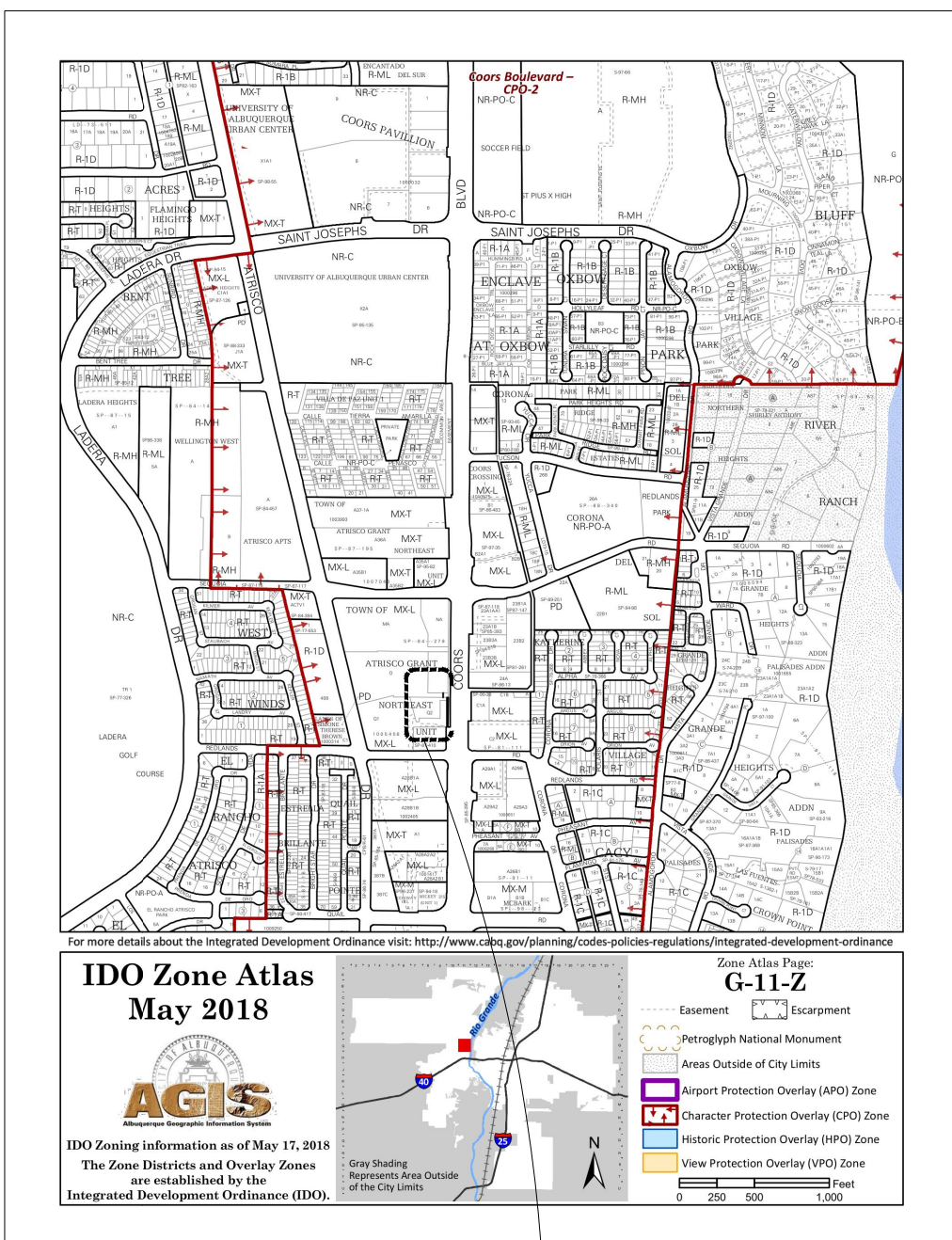




**TRAFFIC CIRCULATION LAYOUT APPROVED**

*Curtis A. Chesse* 5-17-24

Signed Date



# VICINITY MAP

## LEGAL DESCRIPTION

LOT Q2, TOWN OF ATRISCO GRANT NORTHEAST UNIT  
ALBUQUERQUE, NEW MEXICO 87120 BERNALILLO COUNTY

## SITE DATA

ZONING: MX-M  
ZONE ATLAS: G11  
SITE SIZE: 27,269 SQ. FT. (.626 AC.)  
BUILDING SIZE / % OF SITE: 2,336 SQ. FT. / 8.56%

## PARKING CALCULATIONS

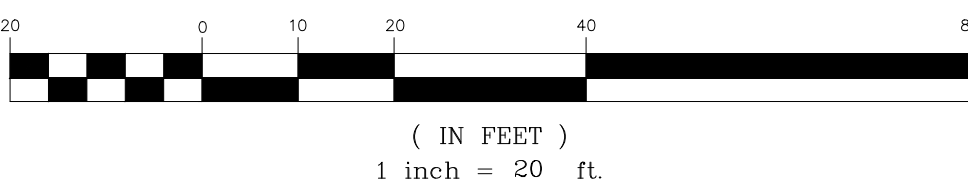
EXISTING AND NEW BUILDING  
BUILDING AREA: 2,336 S.F.  
PARKING CALCULATIONS: 8 SPACES / 1000 S.F. 19

TOTAL STANDARD PARKING PROVIDED = 20 SPACES  
TOTAL COMPACT PARKING PROVIDED = 0 SPACES  
TOTAL H.C. PARKING REQUIRED = 2 SPACES  
TOTAL H.C. PARKING PROVIDED = 4 SPACES  
TOTAL MOTORCYCLE SPACES REQUIRED = 1 SPACE  
TOTAL MOTORCYCLE SPACES PROVIDED = 1 SPACE  
TOTAL PARKING PROVIDED = 24 SPACES  
1 BICYCLE RACK S REQUIRED  
BIKE SPACES REQUIRED = 3 SPACES  
BIKE SPACES PROVIDED = 3 SPACES

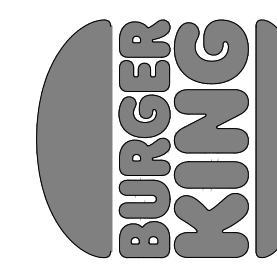
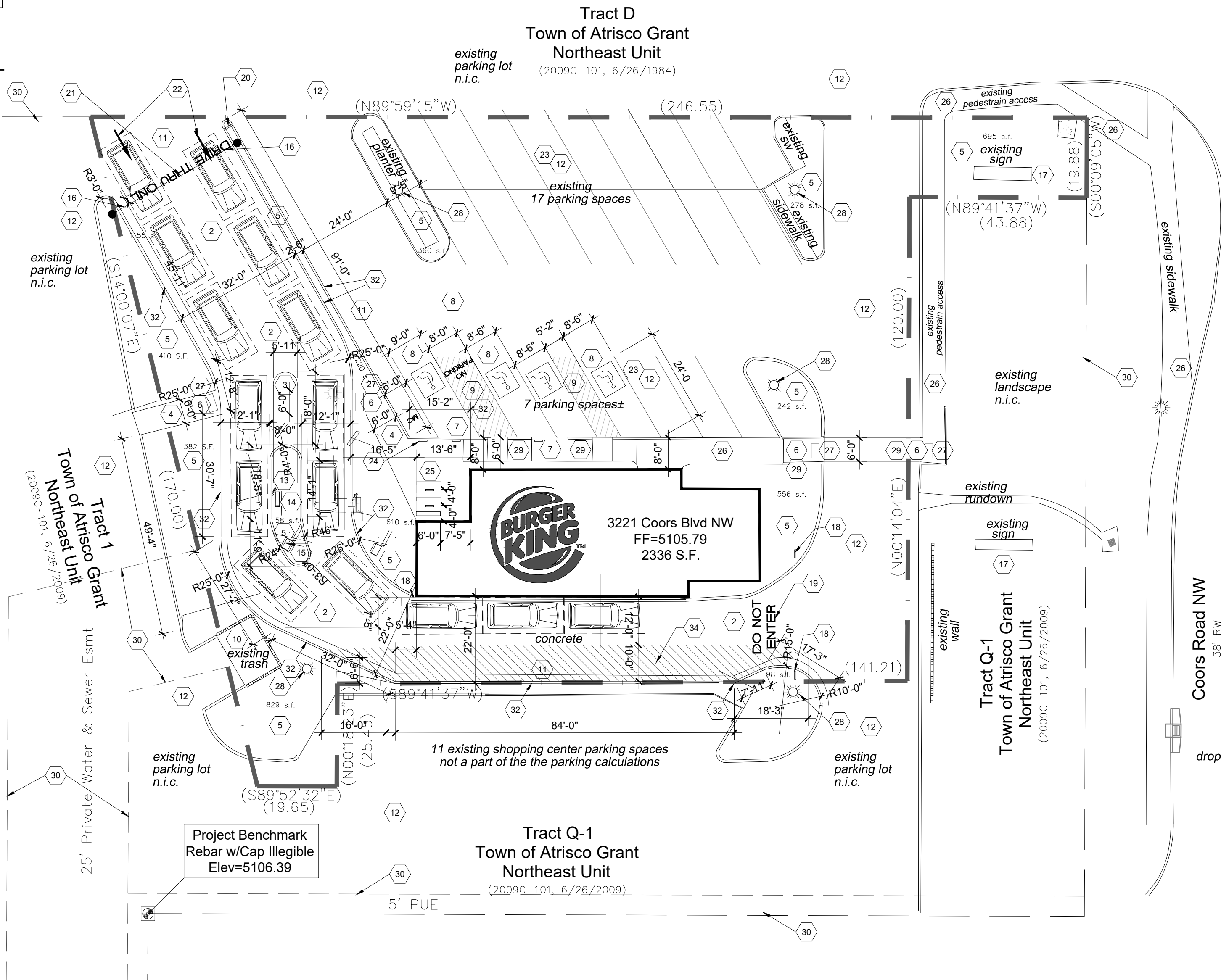
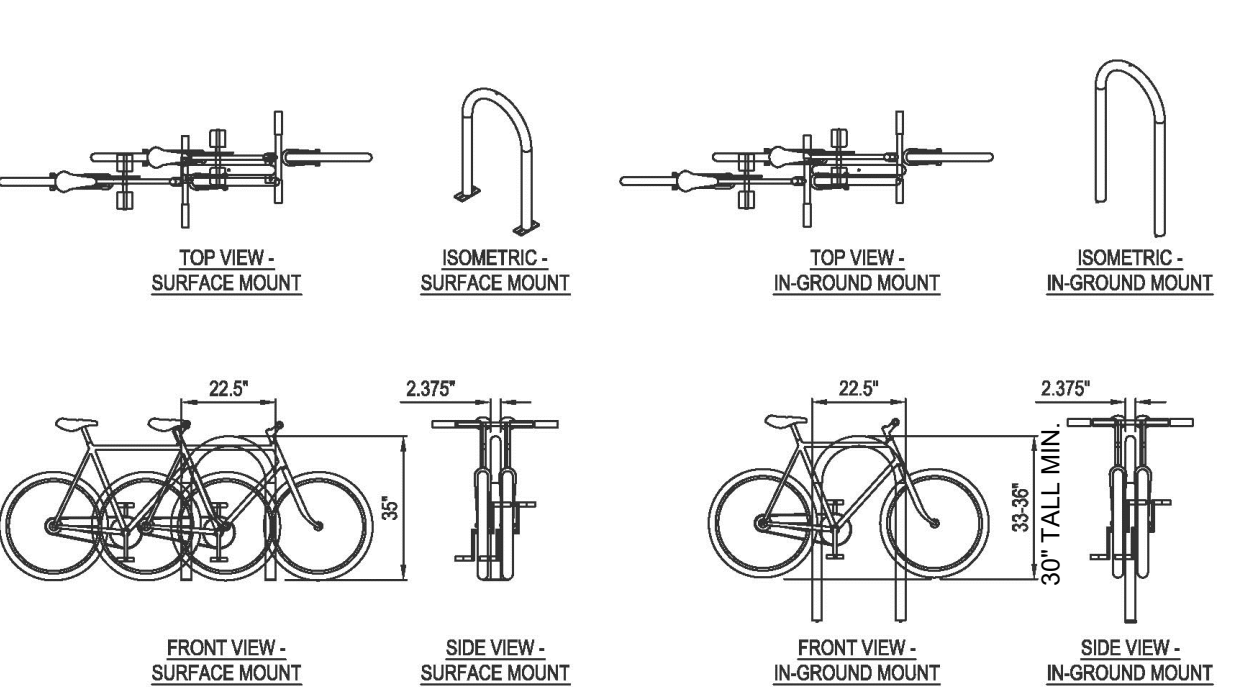
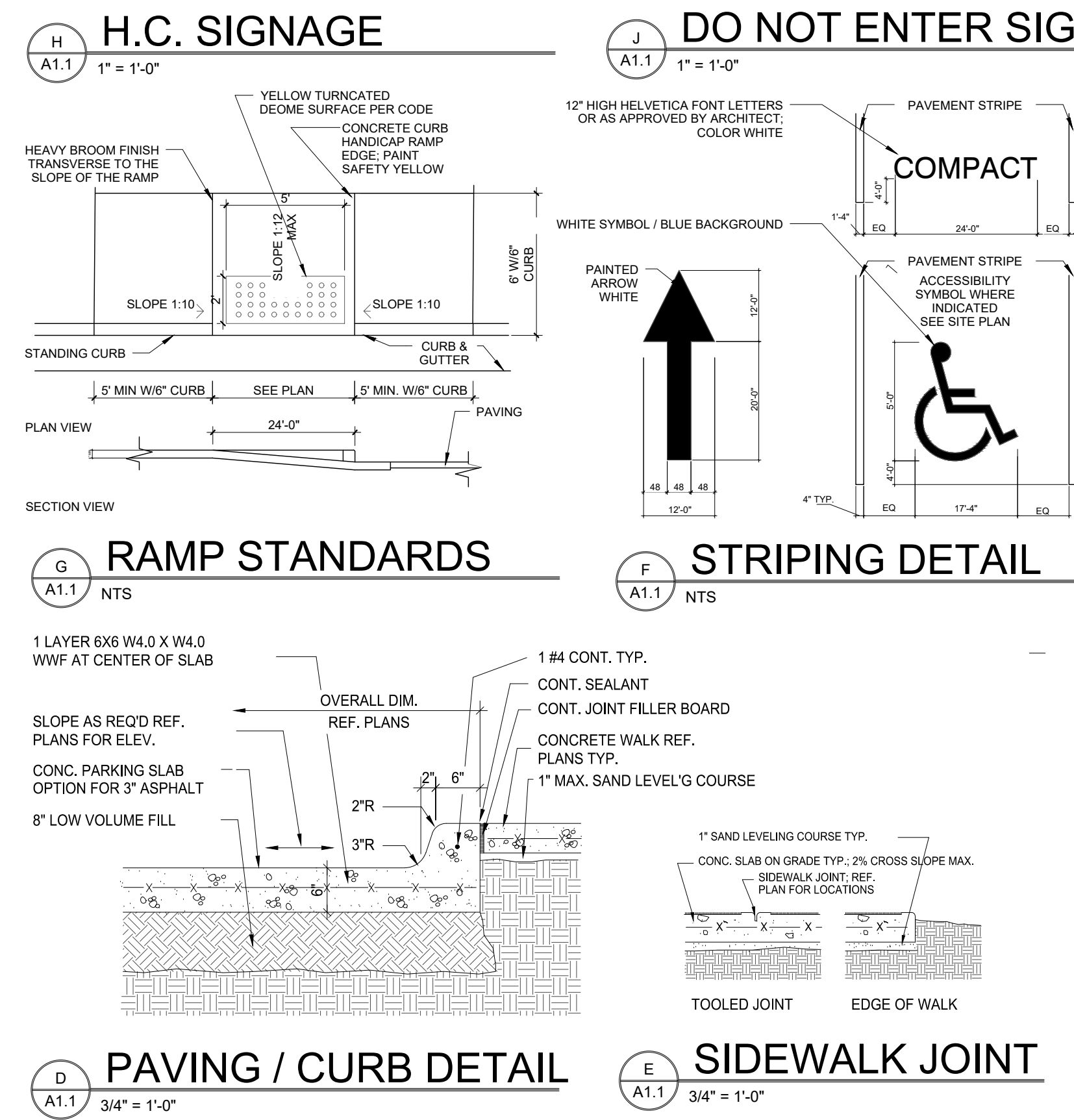
## KEYED NOTES

1. EXISTING MONUMENT SIGN
2. ASPHALT PAVING, REF. DETAIL; PATCH TO EXISTING
3. CURB, REF. DETAIL; PATCH AT EXIST.; LANDSCAPE INSIDE CURB AREA
4. SIDEWALK, REF. DETAIL; CONNECT TO EXISTING
5. LANDSCAPE AREA, REF. A1.2
6. STRIPED PEDESTRIAN ACCESS & TRUNCATED MATS - PROVIDE FULL WIDTH 1'-12" MAX. RAMPS AT BOTH CURBS.
7. ADA COMPLIANT PARKING SIGNAGE PER COA STANDARDS AND DETAIL A/A1.1
8. RE-PAINT EXISTING SYMBOL, WHITE SYMBOL / BLUE BACKGROUND, REF. F/A1.1
9. RE-PAINT EXISTING ACCESSIBLE AISLE BLUE STRIPES AND DETAIL F/A1.1
10. EXISTING DUMPSTER.
11. PATCH PAVING @ CONNECTION; FIELD VERIFY
12. THIS AREA IS NOT IN CONTRACT
13. PREVIEW MENU
14. SPEAKER / ORDER PYLON
15. MENU PYLON
16. MAX HEIGHT PYLON
17. EXISTING MONUMENT SIGNAGE.
18. SIGNAGE "DO NOT ENTER" REF. DETAIL; PROVIDE AND INSTALL "STOP" SIGN ON REVERSE SIDE OF THIS SIGN
19. PAINTED LETTERS 18" HIGH READS "ONE WAY DO NOT ENTER"
20. SIGNAGE SIM TO ONE WAY SIGN EXCEPT TO READ "DRIVE THRU ONLY"
21. PAINTED LETTERS 18" HIGH READS "DRIVE THRU ONLY"
22. PAINTED DIRECTIONAL ARROWS 10' LONG OR COMPARABLE PATTERN.
23. EXISTING PARKING STRIPING; RE-PAINT AND NEW STRIPING TO BE WHITE.
24. MOTORCYCLE SIGNAGE; REF. DETAIL AND PAINT "MC" AS SHOWN
25. 2 BIKE RACKS; 3 PARKING SPACES, REF. L/A1.1
26. ALL BROKEN OR CRACKED SIDEWALK, CURBS, AND GUTTER BUILT TO COA STANDARD DETAIL 2430 & 2415A.
27. INSTALL 24" X 36" TRUNCATED DOME ADA MAT AT EXISTING CURB RAMP THIS LOCATION.
28. EXISTING LIGHT POLES.
29. EXISTING CURBS AND ADA RAMPS REPLACE ANY BROKEN CURBS AND COLORED PAVING AT ADA CROSS WALK. VERIFY IF ALL ADA RAMPS MEET CURRENT STANDARDS AND IF THEY DO NOT REPLACE PER G11.1.
30. EXISTING EASEMENT LINE @ DASHED
31. EXISTING GAS METER
32. VAN ACCESSIBLE AISLE AND 2 FLANKING SPACES, REF. A/A1.1 AND NOTE WHERE VAN LANGUAGE IS ADDED FOR THESE SPACES.
33. NEW CURB TO THIS LOCATION.
34. WHITE STRIPING, 4" WIDE 16" MIN. O.C.

## GRAPHIC SCALE

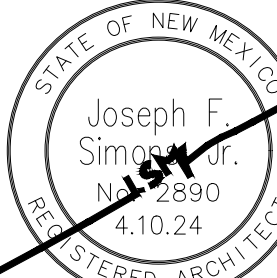


## TRAFFIC CIRCULATION LAYOUT



BURGER KING CORP./FRANCHISEE

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p.o. box 6708  
abt, n.m. 87193-7008  
pr 505.480.4796  
jfs@simonsarchitecture.com



**BURGER KING RESTAURANT**  
3221 COORS BLVD NW  
ALBUQUERQUE, NM 87120

A1.1