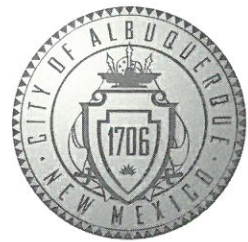


CITY OF ALBUQUERQUE



August 21, 2019

Jeffrey Wooten, PE
Wooten Engineering
1005 21st Street SE Suite 13
Rio Rancho, NM 87124

Re: Coors Plaza SW repairs
3200 Coors Blvd NW
Traffic Circulation Layout
Engineer's/Architect's Stamp 08/20/2019 (G11D006)

Dear Mr. Wooten,

The TCL submittal received 08-20-2019 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

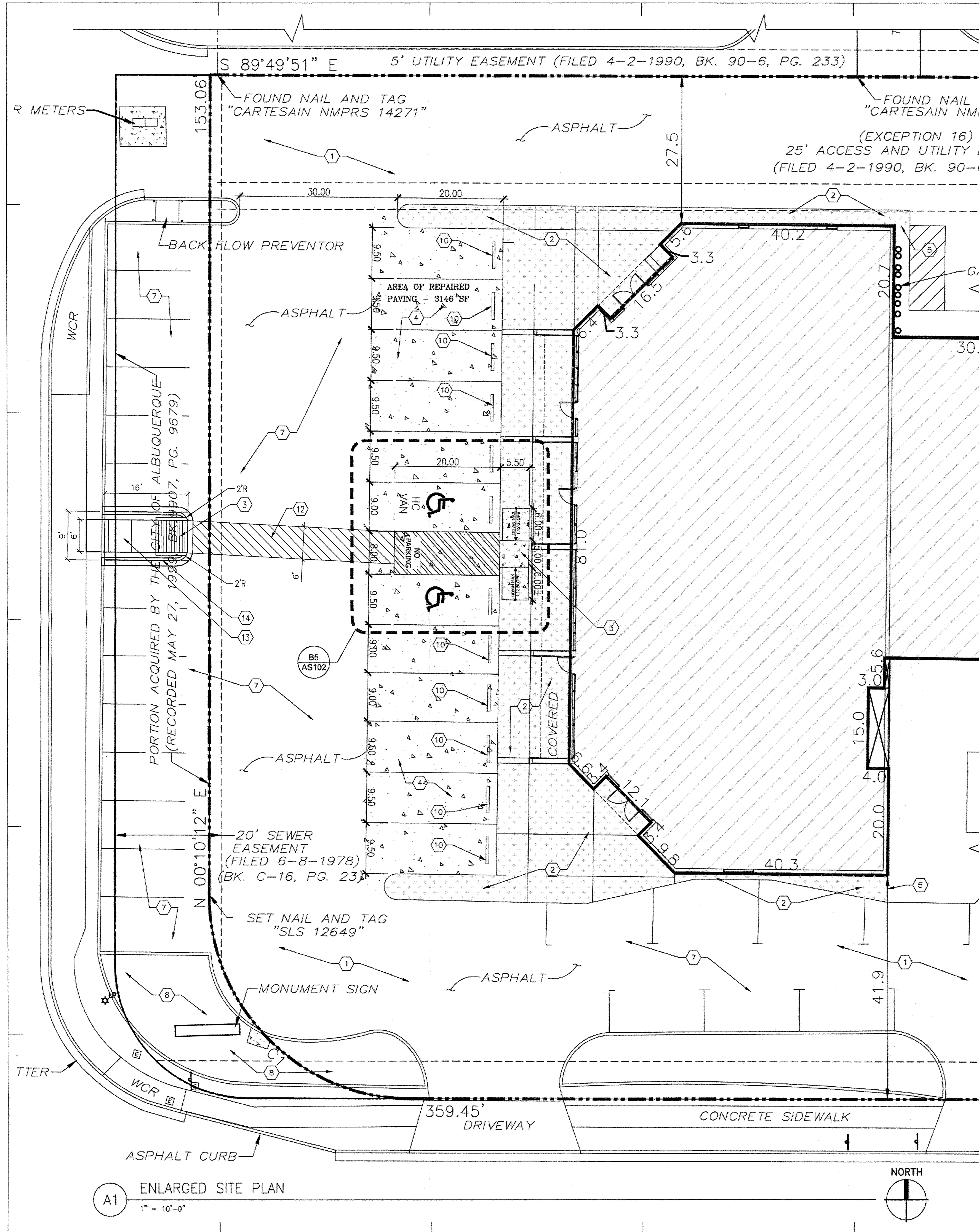
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

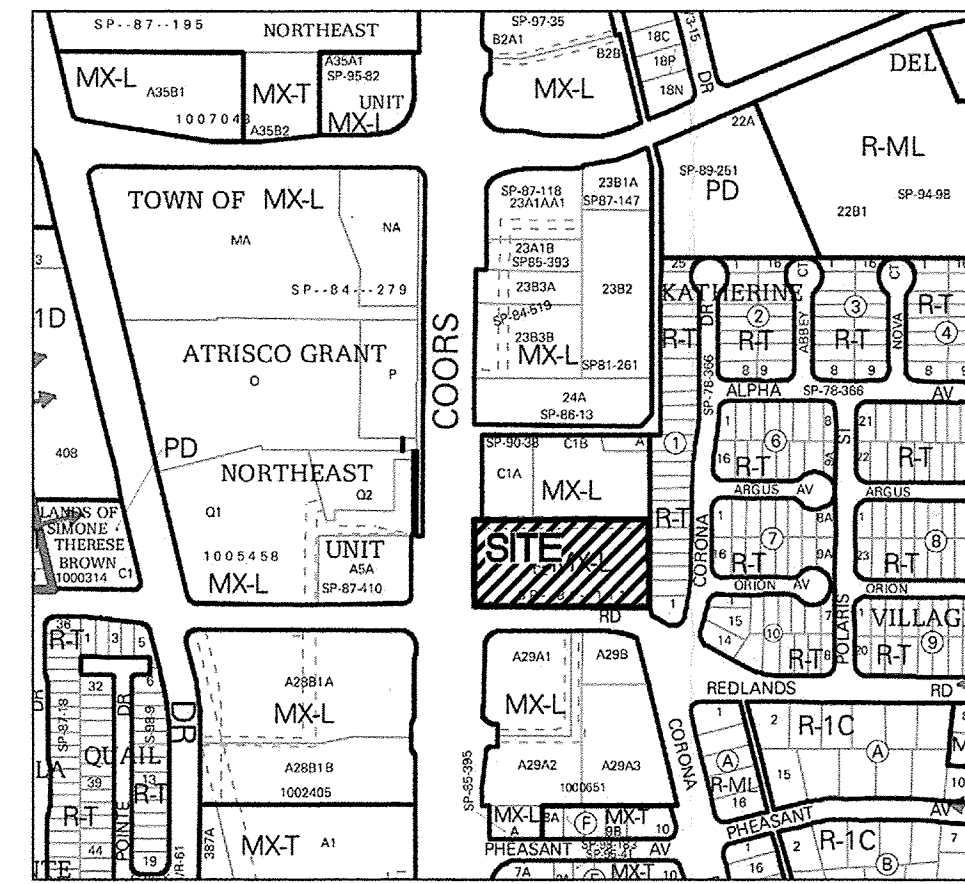
Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File

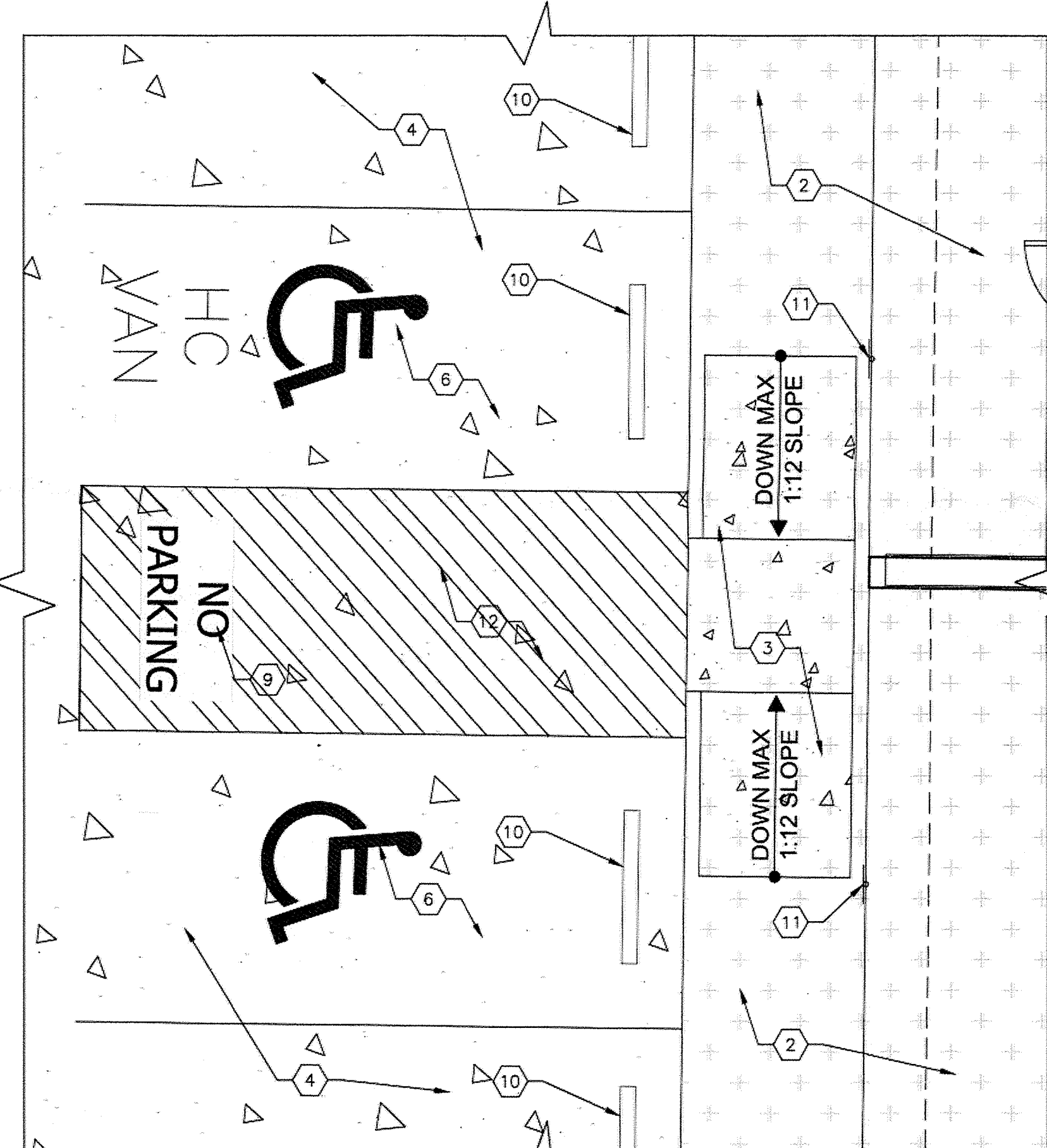


TRAFFIC CIRCULATION LAYOUT
APPROVED
[Signature] A. 21/19
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



VICINITY MAP - Zone Map C-11-Z
LEGAL DESCRIPTION:
Tract C-2, Land of Coronado Savings & Loan
Albuquerque, Bernalillo County, 1.7342 Acres.



B5 ENLARGED ADA PARKING PLAN
1/4" = 1'-0"

THE ADA ROUTE MUST COMPLY WITH ALL ADA STANDARDS. 2% MAXIMUM CROSS SLOPE SIDE TO SIDE AND 5% MAX SLOPE ALONG THE ADA ROUTE. 2% MAX SLOPE IN ANY DIRECTION WITHIN THE ADA ACCESSIBLE AISLE BETWEEN ADA SPACES.

SOLID WASTE NOTE
THE EXISTING TRASH ENCLOSURE IS LOCATED AT THE NORTHEAST CORNER OF THE SITE. THIS AREA IS NOT BEING MODIFIED AND THE CURRENT SOLID WASTE PICKUP WILL REMAIN IN EFFECT.



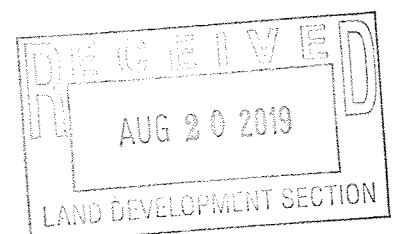
Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

GENERAL NOTES

- FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. IN THE EVENT THAT UNFORESEEN CONDITIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO BIDDING, ORDERING OR PROCEEDING WITH THE WORK
- ALL CONSTRUCTION SHALL CONFORM TO INDUSTRY AND MANUFACTURER'S STANDARDS AS A MINIMUM REQUIREMENT
- REFER TO SHEET AS101 FOR EXISTING CONDITIONS AND DEMOLITION NOTES
- SLOPE NEW SIDEWALK TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE FRONT FACADE
- PROVIDE LINE SPOTTING PRIOR TO ANY EXCAVATION AS NEEDED
- REFER TO AS501 FOR TYPICAL SITE DETAILS

KEYNOTES - NEW WORK

- EXISTING ASPHALT PAVING TO REMAIN; ALIGN FINISH OF NEW WORK WITH FINISH OF EXISTING PAVING FINISH
- NEW CONCRETE SIDEWALK TO REPLACE DETERIORATED CONCRETE; INSTALL 6" TALL CONCRETE CURB AND GUTTER, TYP. AT TRANSITIONS TO PARKING LOT OR DRIVEWAYS; ALIGN TOP OF NEW WORK WITH TOP OF EXISTING FINISHES WHERE EXISTING TO REMAIN
- INSTALL PARALLEL CURB RAMP PER NMDOT STD DWGS 608-001, SHEETS 1-12. DETECTABLE WARNING SURFACE (TRUNCATED DOMES) NOT REQUIRED FOR PRIVATE RAMPS.
- NEW ASPHALT PARKING PAVING; PROVIDE ALTERNATE PRICE FOR CONCRETE PAVING; PROVIDE STANDARD PARKING STALL PER DIMENSIONS INDICATED- INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES & PEDESTRIAN CROSSING. TWO COATS MINIMUM. PARKING LOT PAVING SHALL COMPLY WITH COA STANDARD DETAILS AND MINIMUM REQUIREMENTS FOR PARKING LOTS
- EDGE OF EXISTING CONCRETE SIDEWALK TO REMAIN; PROVIDE FLUSH JOINT BETWEEN EXISTING AND NEW FINISHES
- NEW ADA PARKING STALL: 4" WIDE STRIPING, MARKED WITH PAINTED ADA SYMBOL LOCATED AT END OF STALL AND FACING DIRECTION AS SHOWN; PAINT ALL STRIPING ADA BLUE; RE: D6/AS501 AND FOLLOW CITY REQUIREMENTS
- EXISTING ASPHALT PARKING LOT - OWNER OPTION TO PROVIDE CRACK REPAIR, GRIND & SEAL COAT, AND OR RE-PAINTING OF FADED STRIPING
- OWNER'S OPTION TO REMOVE SEDIMENT IN DRAINAGE AREA AND INSTALL NEW WEED BARRIER MEMBRANE AND LARGE COBBLE
- ADA ACCESSIBLE AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES REAR TIRE WOULD BE PLACED
- NEW 6" WIDE x 7'-0" LONG PRE-CAST CONC. WHEEL STOP; INSTALL MIN OF 2'-0" FROM FRONT EDGE ON SIDEWALK TO FRONT FACE OF STOP; ANCHOR TO PARKING LOT SURFACE
- NEW ADA PARKING SIGN; REFER TO DETAIL D3/AS501. ALL ADA PARKING SIGNS MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
- NEW ADA ACCESS AISLE: 4" WIDE STRIPING - SIZE AND LOCATION ENLARGED PLANS THIS SHEET; PAINT ADA BLUE
- INSTALL CONCRETE SIDEWALK PER COA STD DWG 2430.
- INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.



ARCHIS design LLC
P.O. BOX 90218 ALBUQUERQUE
NEW MEXICO 87199 (505) 948-8908

SIDEWALK REPAIRS
3200 COORS BLVD
ALBUQUERQUE, NEW MEXICO

Project No.
100218
Issue Date:
April 22, 2019

Revisions	Date

Sheet Title:
Traffic Circulation
Layout

Sheet No.
C-001