



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 22, 2001

Ronald R. Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**RE: Grading and Drainage Certification
Coronado Professional Plaza
(G-11/D006A1A) (3230 Coors Blvd NW)
Engineer's Stamp dated 8/22/2000
Engineering Certification dated 1/19/2001**

Dear Mr. Bohannon:

Based upon the information provided in your Engineers Certification submittal dated 1/19/2001, the above referenced site is approved for Certificate of Occupancy.

If I can be of further assistance, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Senior Civil Engineer, PWD

C: Vickie Chavez, COA
Teresa Martin, COA
file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Coronado Professional Plaza ZONE ATLAS/DRNG. FILE #: G-11/D6A1A

DRB #: _____ EPC #: Z-00128 00000 00135 WORK ORDER #: 6446.81

LEGAL DESCRIPTION: Tract C-1-B Land of Coronado Savings and Loan

CITY ADDRESS: 3230 Coors Blvd. NW

ENGINEERING FIRM: TIERRA WEST, LLC CONTACT: RONALD R. BOHANNAN

ADDRESS: 8509 Jefferson NE, ABQ, NM 87113 PHONE: (505) 858-3100

OWNER: Ben Ruiz CONTACT: Ben Ruiz

ADDRESS: 6625 Coors Blvd. NW 87128 PHONE: (505) 269-2978

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 8414-D Jefferson Street NE PHONE: (505) 856-5700

CONTRACTOR: Star Paving Co. CONTACT: Richard Chavez

ADDRESS: 3109 Gun Club Rd. SW 87195 PHONE: (505) 877-0380

TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT

_____ DRAINAGE PLAN

_____ CONCEPTUAL GRADING & DRAINAGE PLAN

_____ GRADING PLAN

_____ EROSION CONTROL PLAN

X ENGINEER'S CERTIFICATION

X OTHER (G & D As-builts)

PRE-DESIGN MEETING:

_____ YES

X NO

_____ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

_____ SKETCH PLAN APPROVAL

_____ PRELIMINARY PLAT APPROVAL

_____ S. DEV. PLAN FOR SUB'D. APPROVAL

_____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

_____ SECTOR PLAN APPROVAL

_____ FINAL PLAT APPROVAL

_____ FOUNDATION PERMIT APPROVAL

_____ BUILDING PERMIT APPROVAL

X CERTIFICATE OF OCCUPANCY APPROVAL

_____ GRADING PERMIT APPROVAL

_____ PAVING PERMIT APPROVAL

_____ S. A. D. DRAINAGE REPORT

_____ DRAINAGE REQUIREMENTS

OTHER (Release of Financial Guarantees) _____

DATE SUBMITTED December 27, 2000

BY: RONALD R. BOHANNAN

RECEIVED
JAN 19 2001
HYDROLOGY SECTION

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

e-mail: twdms@aol.com
1-800-245-3102

December 27, 2000

Mr. Bradley L. Bingham, PE
Hydrology Review Engineer
Albuquerque Public Works Department
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: Final Certification of Drainage for Certificate of Occupancy
Coronado Professional Plaza (Gin Mill Restaurant), 3230 Coors Boulevard, NW
Tract C-1-B Land of Coronado Savings and Loan, G11/D6A1A

Dear Brad:

Enclosed please find one copy of the as-built Grading and Drainage Plan and information sheet for the Gin Mill Restaurant located in the Coronado Professional Plaza. Star Paving Company has completed the on-site paving and curb and gutter. Landscaping for the site is complete. Outfall for the site is in place. Also enclosed is the required inspector signature on the approved grading and drainage plan for the SO-19 permit work in the ROW at Redlands Street. All work is in substantial compliance with the approved plans. As-built information was provided by Precision Surveys. We are, therefore, requesting Final Certification of Drainage for Certificate of Occupancy.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

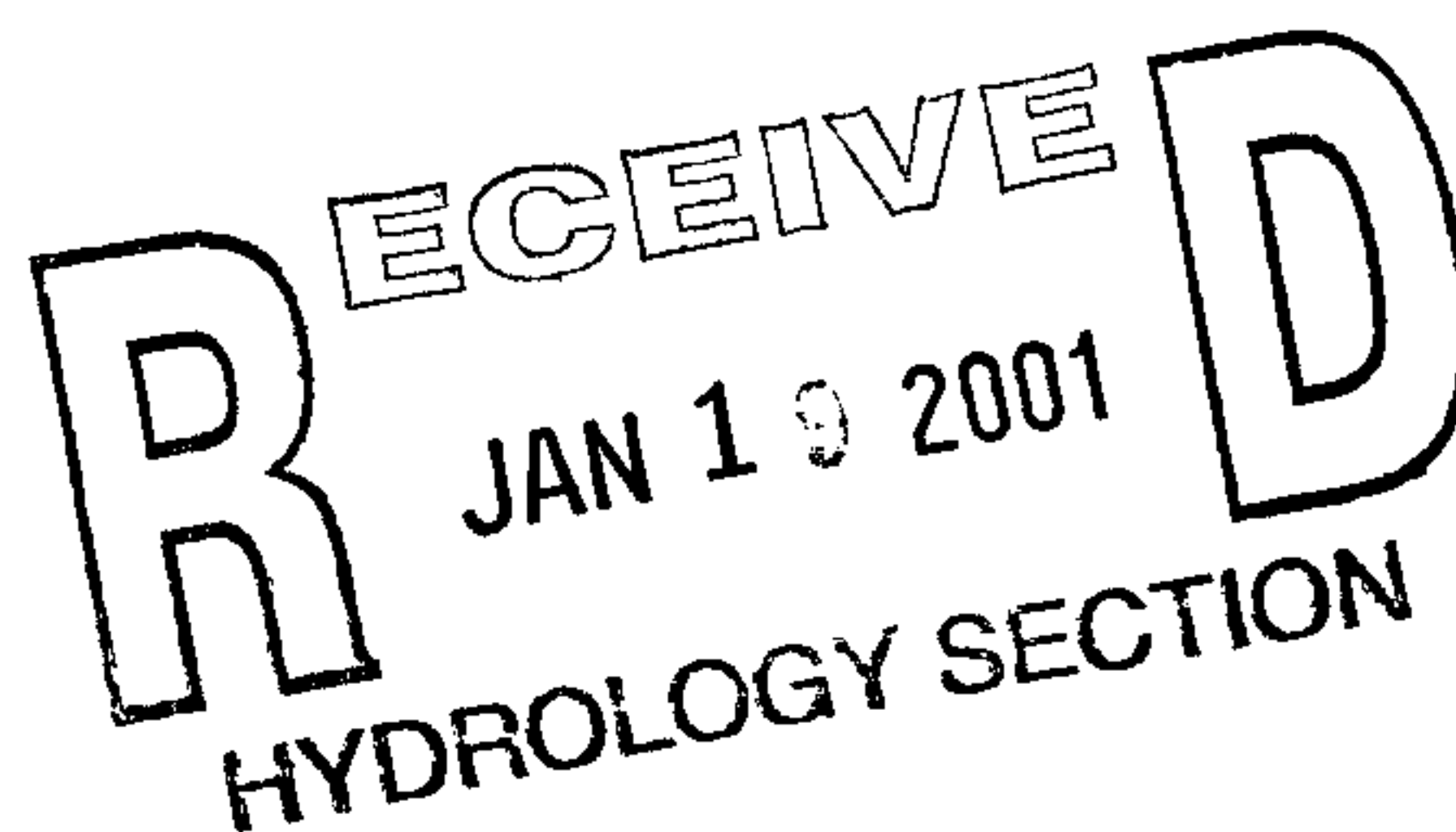


Ronald R. Bohannon, P. E.

Enclosure

cc: Ben Ruiz

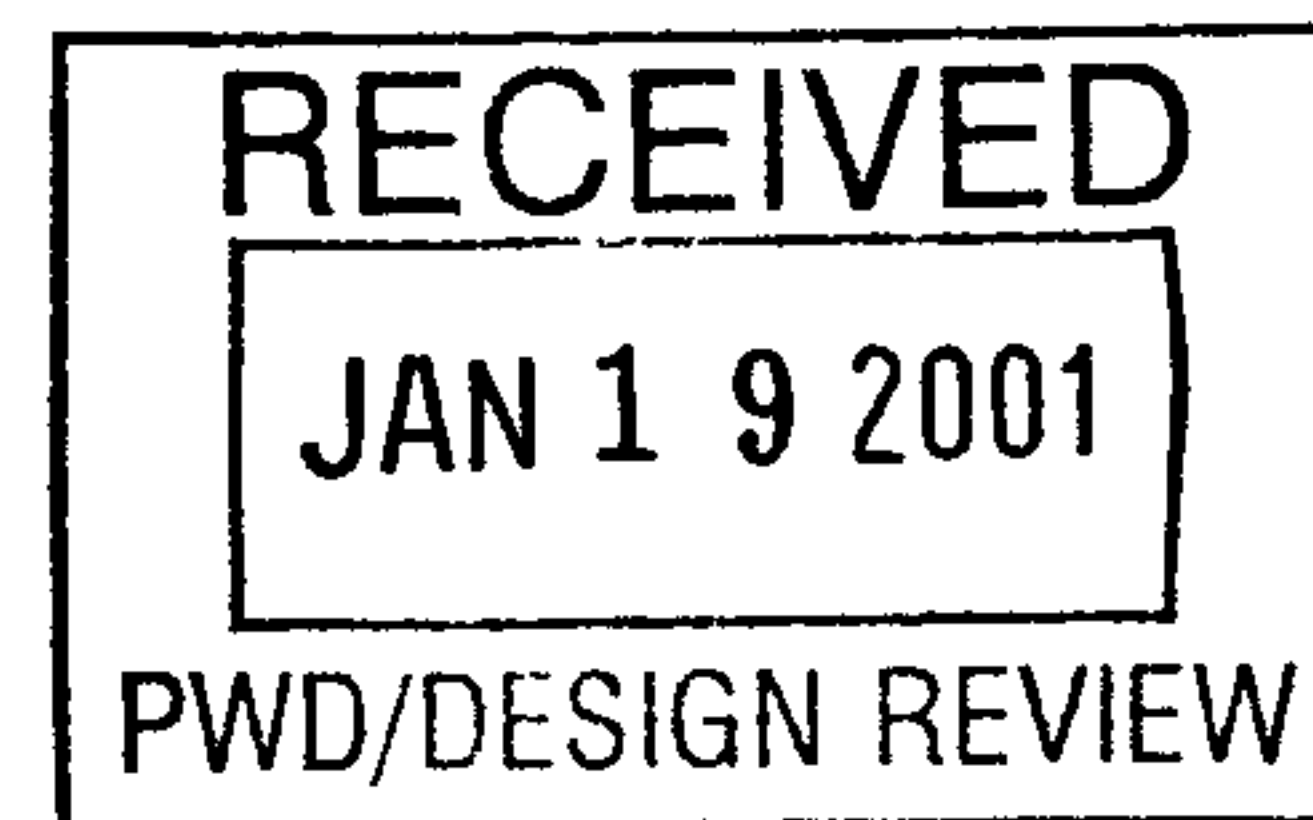
JN: 200005
RRB/rw



200005:H2oFinalMisc.III

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113



Mr. Bradley L. Bingham, P.E.
Albuquerque Public Works Dept.
P.O. Box 1293
Albuquerque, NM 87103

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Coronado Professional Plaza ZONE ATLAS/DRNG. FILE #: G-11 / D006A1A
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract C-1-B Coronado Professional Plaza

CITY ADDRESS: Northeast corner of Coors and Redlands

ENGINEERING FIR TIERRA WEST, LLC CONTACT: RONALD R. BOHANNAN OR SARA LAVY

ADDRESS: 8509 Jefferson NE, ABQ, NM 87113 PHONE: (505) 858-3100

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 8414-D Jefferson Street NE PHONE: (505)856-5700

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

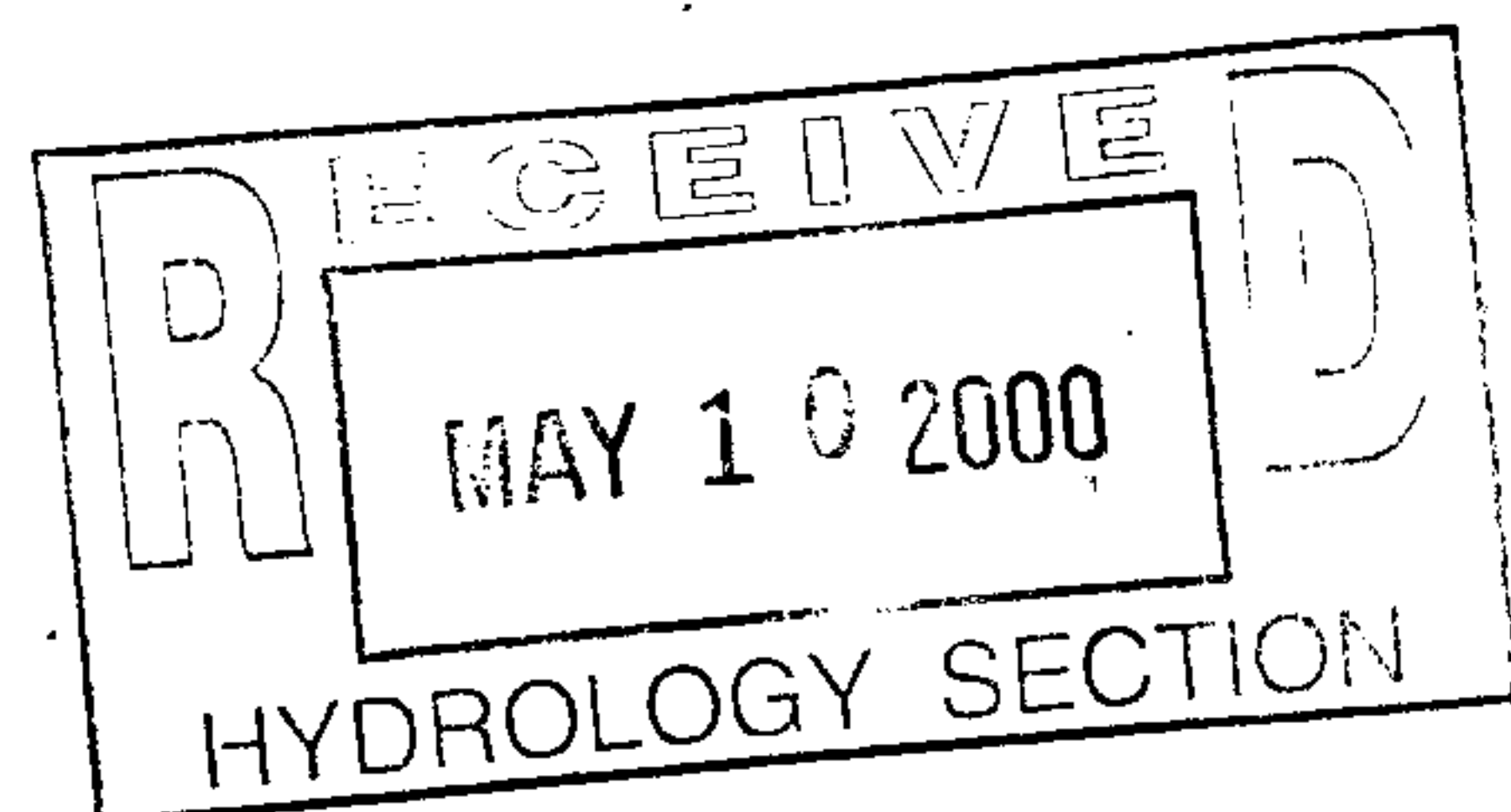
☐ SKETCH PLAN APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S. A. D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 5/9/00

BY: Sara Lavy



DRAINAGE REPORT

for

Coronado Professional Plaza

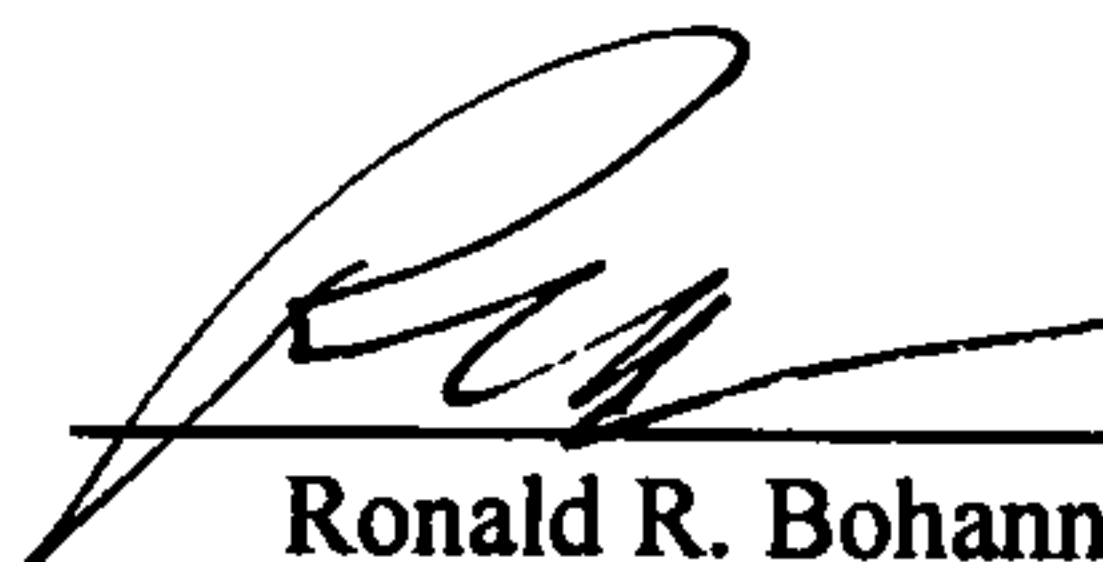
Prepared by

Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113

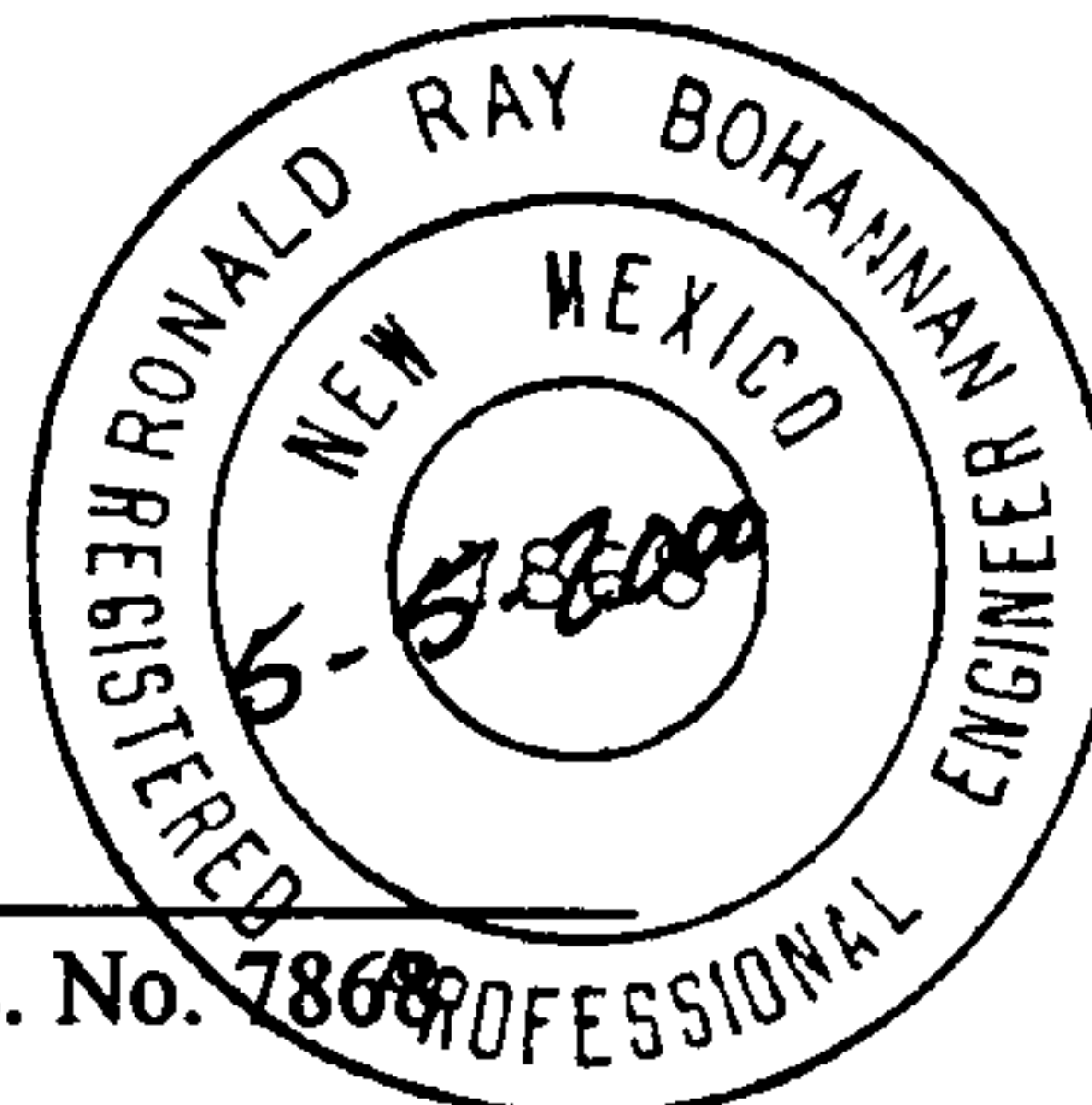
Prepared for

Ben Ruiz
6625 Coors NW
Albuquerque, New Mexico 87120

May 2000



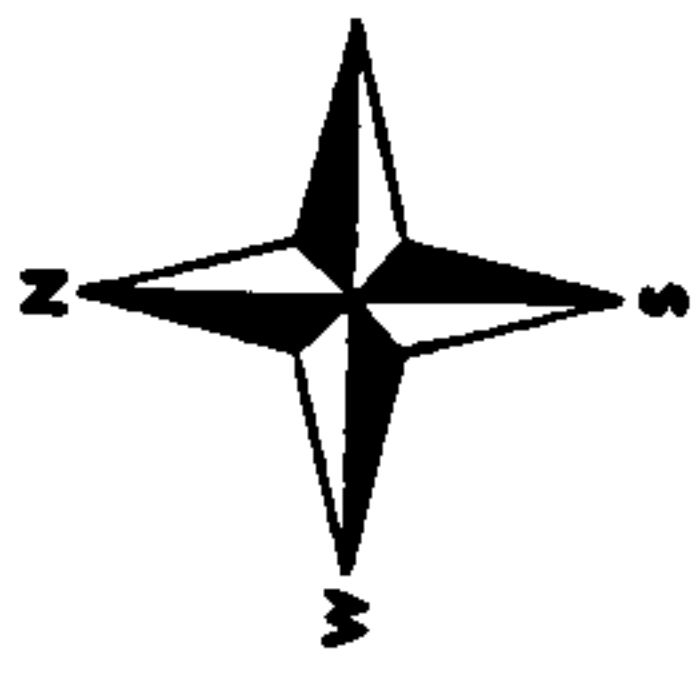
Ronald R. Bohannon P.E. No. 7868



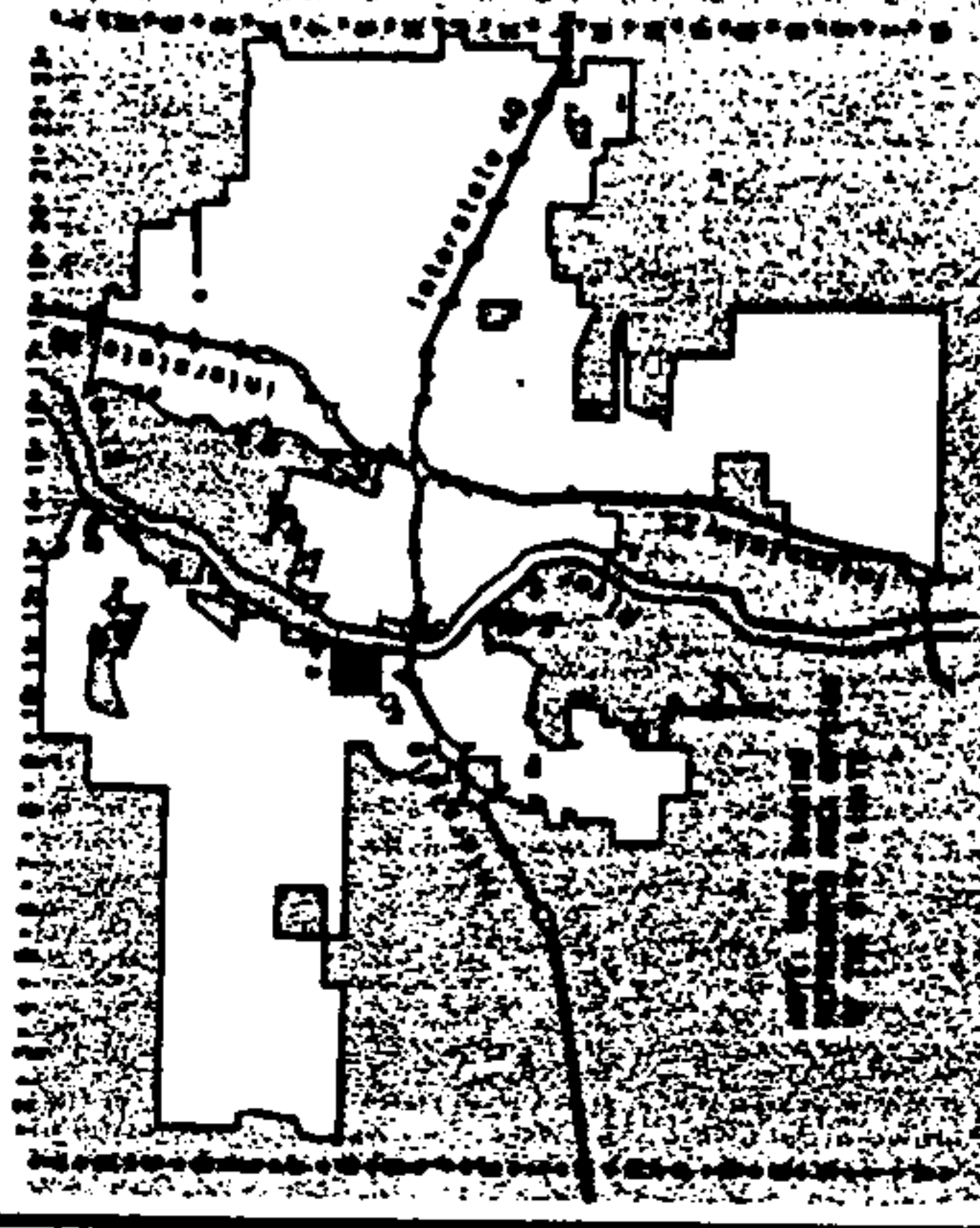
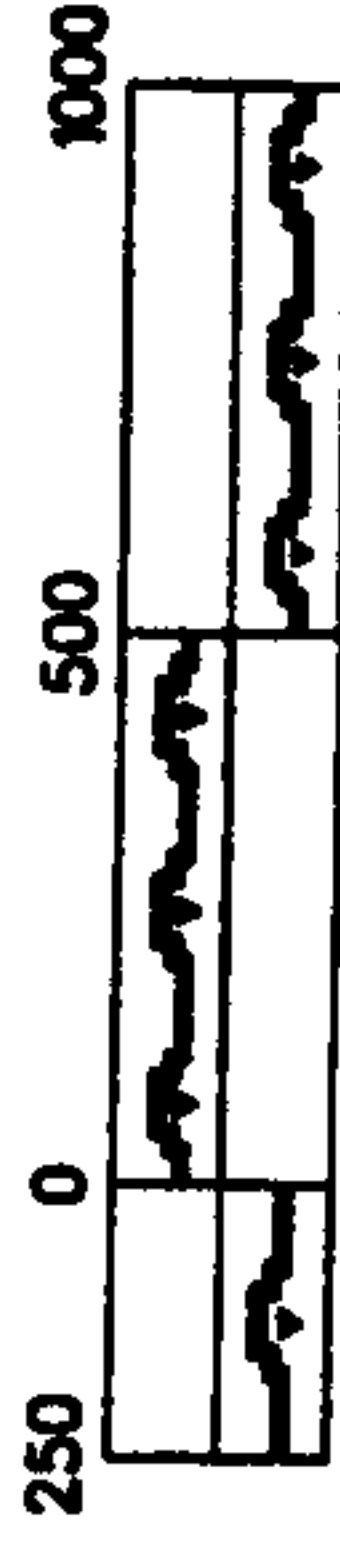


CITY OF
ALBUQUERQUE

Albuquerque Planning Department
PLANNING DEPARTMENT
© Copyright 1998

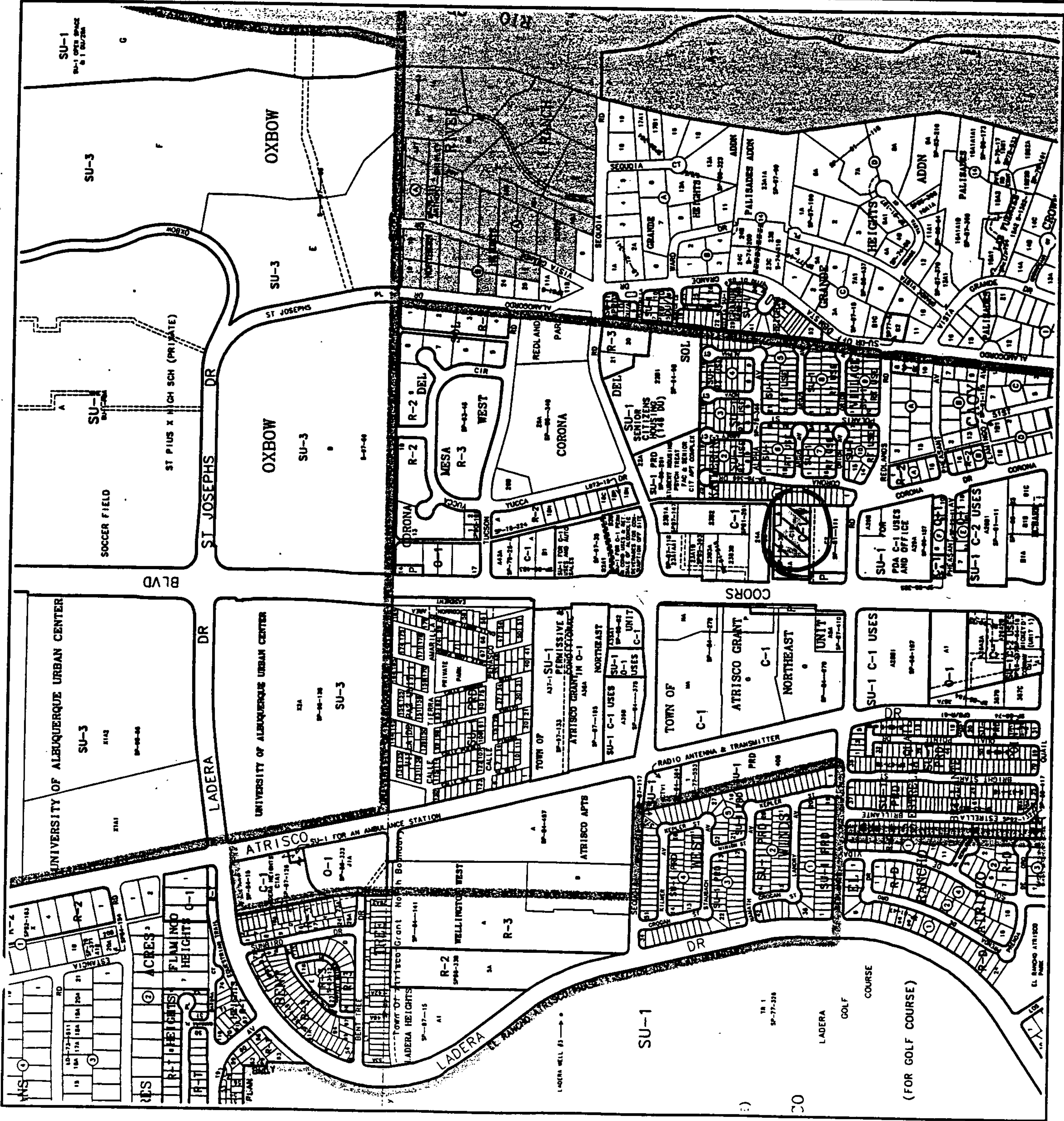


GRAPHIC SCALE IN FEET



Zone Atlas Page G-11-Z

Map Amended through
June 26, 1998



Location

Coronado Professional Plaza is located on the northeast corner of Coors and Redlands just east of the existing Captain D's restaurant. The site is the proposed location of a new restaurant and is shown on the attached Zone Atlas Map G-11. The site contains approximately 1.14 acres. The legal description is Tract C-1-B Coronado Professional Plaza. The purpose of the report is to provide the drainage analysis and management plan for the site.

Existing Drainage Conditions

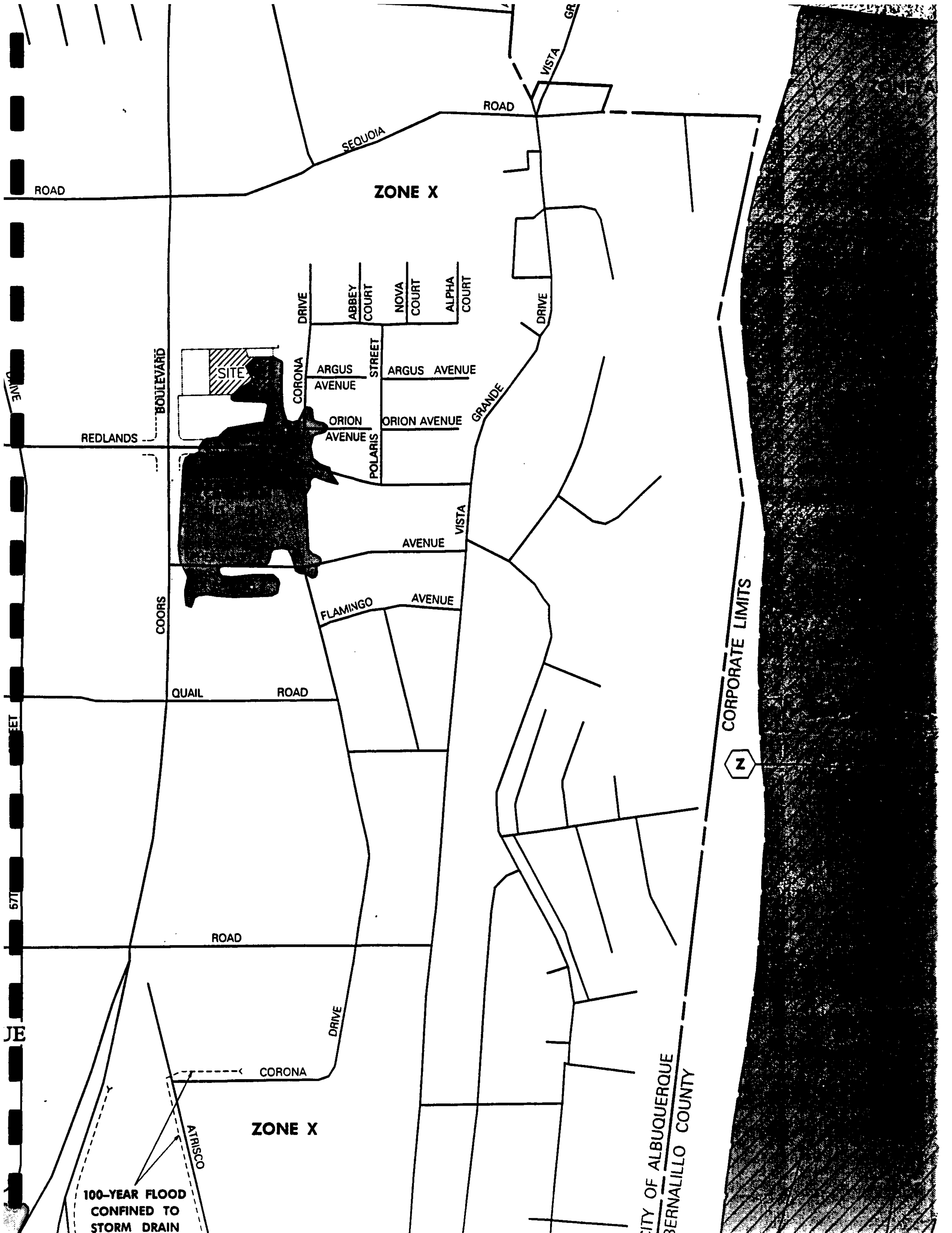
The site is currently undeveloped and no pavement exists. A master plan for Coors Plaza 1 and 2 was completed by Rhombus, P.A. and approved in 1989 (G11/D6A). Coronado Professional Plaza is located within Coors Plaza 2 along with the existing Captain D's. Coors Plaza 1 is also developed. The master plan called for a new double D drop inlet to be built in the southeast corner of Coors Plaza 2. The inlet would be connected to an 18" storm sewer stub built with SAD 198. The Captain D's would be allowed to free discharge to the double D drop inlet. This inlet was never built. There was also supposed to be a drop inlet constructed in Coors Plaza 1. This was also never built and Coors Plaza 1 ponds on the east side of the site.

There are no offsite flows entering the site. The alleyway to the north of the site intercepts any flows from the north from entering the site. The subdivision on the east side of the site drains east. Coors Plaza 1 is located south of the site and drains to an on-site ponding area. Captain D's on the west drains to the access drive on the south side of the site and then to the ponding area in Coors Plaza 1.

(Need exhibit

FIRM Map and Soil Conditions

The site is located on FIRM Map 35001C0327 D as shown on the attached excerpt. The map shows that the site lies within a AH floodplain with a base flood elevation of 5100. The finished floor elevation of the building is proposed to be 5101.50, which is greater than one foot above the existing floodplain.



ROAD

ZONE X

SEQUOIA

ROAD

VISTA

GR

DRIVE

ABBEY COURT

NOVA COURT

ALPHA COURT

STREET

ARGUS AVENUE

ARGUS AVENUE

ORION AVENUE

ORION AVENUE

POLARIS

GRANDE

DRIVE

VISTA

AVENUE

AVENUE

FLAMINGO

BOULEVARD

REDLANDS

COORS

QUAIL

ROAD

ROAD

DRIVE

CORONA

ZONE X

ATRISCO

100-YEAR FLOOD
CONFINED TO
STORM DRAIN

CORPORATE LIMITS

N

CITY OF ALBUQUERQUE
BERNALILLO COUNTY

The site contains one soil from the Soil Conservation Service Soil Survey of Bernalillo County. The Madurez-Wink association is located on the East and West Mesas and has slow runoff and a moderate hazard of soil blowing.

On-Site Drainage Management Plan

The proposed drainage management plan is to collect all of the developed flow in a new double D drop inlet. The master plan included a double D drop^{inlet} to be built in Coors Plaza 1, in the small ponding area. Another drop inlet was to be located in Coors Plaza 2 and capture the flows from the Captain D's site and this site. Site inspections show that neither inlet was ever built. The developed flows from Captain D's, and Coors Plaza 1 and the undeveloped flows from the site drain to a small pond located in the east side of Coors Plaza 1. We are proposing to build a double D drop inlet in the ponding area of Coors Plaza 1. This would capture the developed flows from Captain D's, this project and Coors Plaza 1. According to the master plan the 18" stub was designed for the developed flows from these sites. The drop inlet calculations show that the double D inlet will be able to capture all of the required flows. The same owner owns both Coors Plaza 1 and Coors Plaza 2. We will obtain cross drainage easements to drain to the site and build the drop inlet.

The site has one developed basin with a flow rate of 4.73 cfs. The Captain D's site has an existing flow rate of 2.27 cfs and Coors Plaza 1 has a flow rate of 7.51 cfs. The total developed flow draining to the new double D inlet is 14.52 cfs. The Coronado Professional Plaza is the only area that needs to be graded. Captain D's and Coors Plaza 1 will continue their existing pattern of draining to the ponding area.

In the event of an emergency, the ponding area will overflow into the Coors Plaza 1 site.

COORS BLVD. S.W.

BASIN 2
Q=2.27 CFS

BASIN 1
Q=4.73 CFS

BASIN 3
Q=7.51 CFS

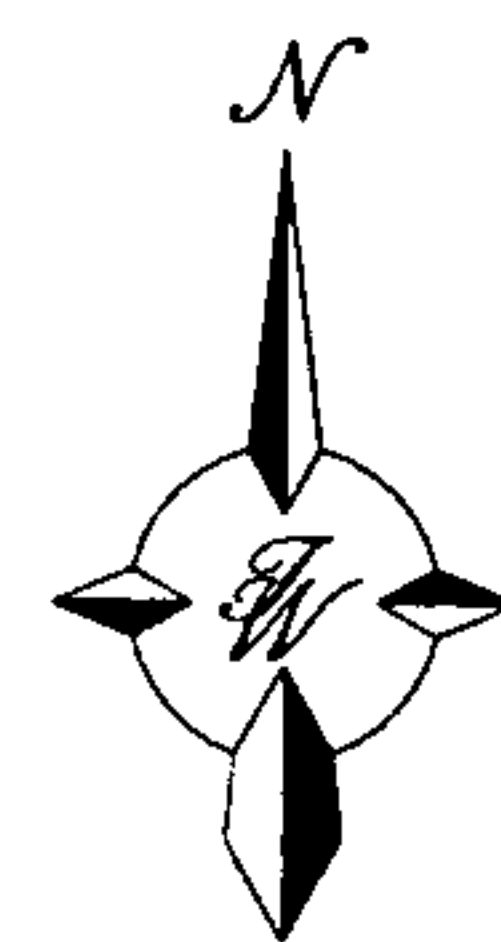
REDLANDS RD. S.W.

EX. 48" RCP

NEW DOUBLE
"D" INLET

N17°06'15"E
78.87' 18" SD

BASIN LAYOUT



Criteria

The site was analyzed using the procedures from the Development Process manual Volume 2, Chapter 22. The Weighted E method was used for estimating the volume and flow rate of runoff from each basin.

Summary

The site has a developed flow rate of 4.73 cfs. A total of 14.52 cfs from the site, and the surrounding area will drain to a new drop inlet to be constructed in Coors Plaza 1. This inlet was supposed to be built with Coors Plaza 1 but site inspections show it was not constructed. A second inlet was to have been built in Coors Plaza 2 when Captain D's was constructed. The inlet was also never built. The existing grades on the site would prevent a drop inlet in Coors Plaza 2 from capturing the required flow. We are proposing to build the drop inlet in the ponding area of Coors Plaza 1 and the entire site will drain to this inlet.



Runoff Calculations

Weighted E Method

											100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)						
Developed Basin																
1	49860.53	1.145	0%	0	10%	0.114	0%	0	90%	1.030	1.840	0.176	4.73	1.138	0.109	3.06
2	23959.98	0.550	0%	0	10%	0.055	0%	0	90%	0.495	1.840	0.084	2.27	1.138	0.052	1.47
3	79130.35	1.817	0%	0	10%	0.182	0%	0	90%	1.635	1.840	0.279	7.51	1.138	0.172	4.86
Total	152950.86											0.538	14.52		0.333	9.40
Existing Basin																
1	49860.53	1.145	0%	0	100%	1.145	0%	0	0%	0.000	0.670	0.064	2.32	0.220	0.021	0.87

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

RUNOFF CALCULATIONS

The site is @ Zone 1

LAND TREATMENT

Proposed

B = 10 %

D = 90 %

Existing

B = 100 %

EXCESS PRECIPITATION, E (INCHES)

<u>100-Year</u>	<u>10-Year</u>
E _a = 0.44	E _a = 0.08
E _b = 0.67	E _b = 0.22
E _c = 0.99	E _c = 0.44
E _d = 1.97	E _d = 1.24

PEAK DISCHARGE (CFS/ACRE)

<u>100-Year</u>	<u>10-Year</u>
Q _a = 1.29	Q _a = 0.24
Q _b = 2.03	Q _b = 0.76
Q _c = 2.87	Q _c = 1.49
Q _d = 4.37	Q _d = 2.89



Calculations

DROP INLET CALCULATIONS

	TYPE OF INLET	AREA (SF)	Q (CFS)	H (FT)	H ALLOW (FT)
Pond	Double 'D'	4.21	14.52	0.5131	0.67

ORIFICE EQUATION

$$Q = CA \sqrt{2gH}$$

$$C = 0.6$$

$$g = 32.2$$

STORM DRAIN INLET
EFFECTIVE AREA ASSUMING A 50% CLOGGING FACTOR

DOUBLE D:

Area at the grate:

$$\begin{aligned} L &= 76.75" - 14 (1/2" \text{ middle bars}) - 6" \text{ center piece} \\ &= 63.75" \\ &= 5.3125' \end{aligned}$$

$$\begin{aligned} W &= 25.5" - 13 (1/2" \text{ middle bars}) \\ &= 19" \\ &= 1.583' \end{aligned}$$

$$\begin{aligned} \text{Area} &= 1.583' \times 5.3125' \\ &= 8.410 \text{ ft}^2 \end{aligned}$$

$$\begin{aligned} \text{Effective Area} &= 8.410 - .5 (8.410) \\ &= 4.205 \text{ ft}^2 \end{aligned}$$

PUBLIC WORKS DEPARTMENT

June 8, 2000

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO: Desiderio Salas, Street Maintenance Division
VIA Barricades/Permits

FROM: Bradley L. Bingham PE, Hydrology Div., PWD

SUBJECT: PRIVATE DRAINAGE FACILITIES WITHIN PUBLIC RIGHT-OF-WAY
DRAINAGE FILE NUMBER (G11/D6A1A)
PROJECT: Coronado Professional Plaza – 3230 Coors Blvd NE

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO#19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3986.

Attachment



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 13, 2000

Ron Bohannon, PE
Tierra West LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Coronado Professional Plaza Conceptual Drainage Report
Engineer's Stamp dated 8-22-00 (G11/D6A1A)
Address: 3230 Coors Blvd. NW

Dear Mr. Bohannon,

Based upon the information provided in your submittal dated 8-25-00, the above referenced plan is approved for Building Permit and SO#19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Hydrology Review Engineer

C: Pam Lujan
file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Coronado Professional Plaza ZONE ATLAS/DRNG. FILE # G-11/D6A1A

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract C-1-B Coronado Professional Plaza

CITY ADDRESS: Northeast corner of Coors and Redlands

ENGINEERING FIR TIERRA WEST, LLC CONTACT: RONALD R. BOHANNAN OR SARA LAVY

ADDRESS: 8509 Jefferson NE, ABQ, NM 87113 PHONE: (505) 858-3100

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 8414-D Jefferson Street NE PHONE: (505)856-5700

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

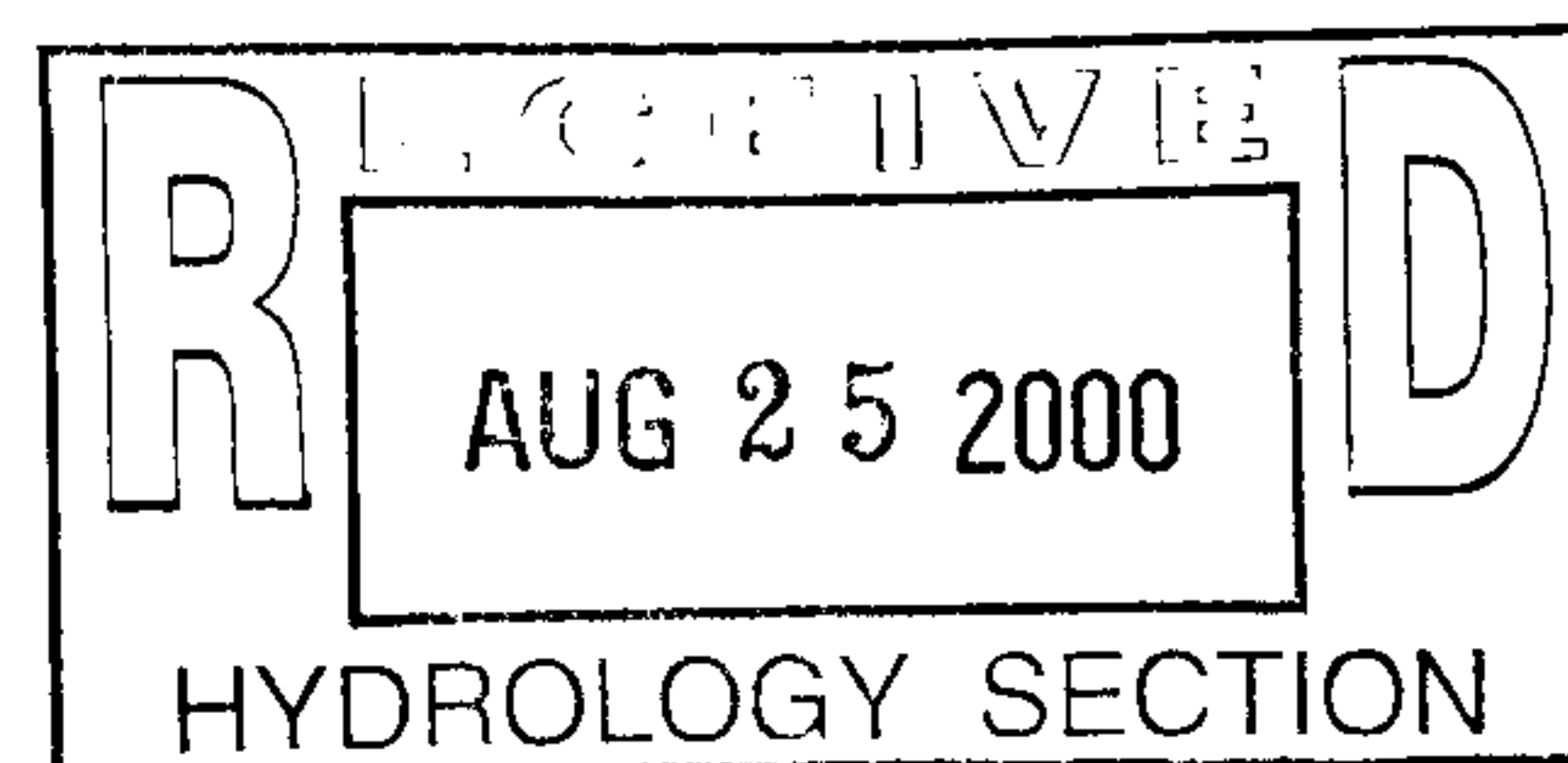
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAN APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S. A. D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☒ OTHER - SO #19

DATE SUBMITTED: 8/22/00

BY: Sara Lavy



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

e-mail: twdms@aol.com
1-800-245-3102

August 23, 2000

Mr. Bradley L. Bingham, P.E.
Hydrology Review Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

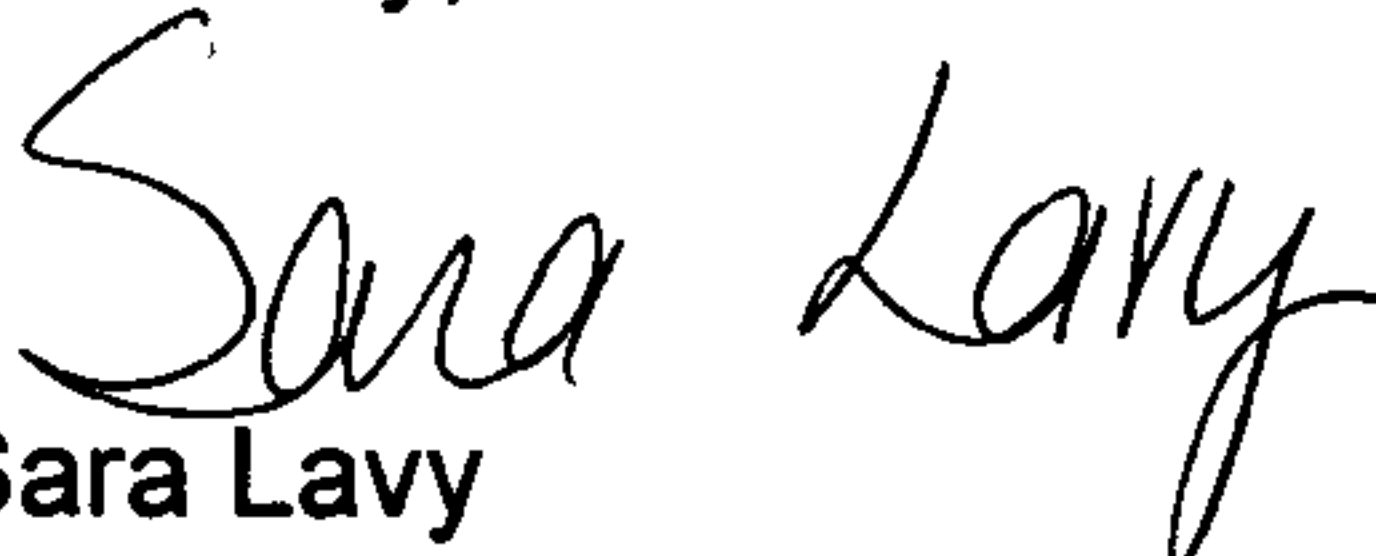
Re: Coronado Professional Plaza (G11/D6A1A)

Dear Mr. Bingham:

We are resubmitting Grading and Drainage Plan for your review and approval. At the request of the owner we have graded the east side of the site to remove the existing ponding area. We have added two drop inlets to capture the on-site flows. The flow will be routed to an existing drop inlet located in Redlands Road. This follows the approved drainage report, in which the onsite flows drained to the ponding area and then was proposed to free discharge to the storm drain in Redlands Road. Previously, the Grading Plan showed the on-site storm drain connecting to an existing storm drain stub in Redlands Road. Further research has shown that the stub shown on the as-builts does not exist in the field. Consequently, we have revised the plan to show a connection to the existing drop inlet in Redlands Road.

If you have any questions or need additional information, please contact me.

Sincerely,


Sara Lavy

cc: Ben Ruiz

JN: 200005
scl

200005: 2005 hydrology resubmittal letter2



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 8, 2000

David Soule, PE
Tierra West LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Coronado Professional Plaza Conceptual Drainage Report
Engineer's Stamp dated 5-5-00 (G11/D6A1A)
Address: 3230 Coors Blvd. NW

Dear Mr. Soule,

Based upon the information provided in your submittal dated 6-5-00, the above referenced plan is approved for Building Permit and SO#19 Permit.


Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit is required is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,


Bradley L. Bingham, PE
Hydrology Review Engineer

C: Pam Lujan
file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Coronado Professional Plaza ZONE ATLAS/DRNG. FILE #: G-11/D6A1A

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract C-1-B Coronado Professional Plaza

CITY ADDRESS: Northeast corner of Coors and Redlands

ENGINEERING FIR TIERRA WEST, LLC CONTACT: RONALD R. BOHANNAN OR SARA LAVY

ADDRESS: 8509 Jefferson NE, ABQ, NM 87113 PHONE: (505) 858-3100

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: Precision Surveys CONTACT: Larry Medrano

ADDRESS: 8414-D Jefferson Street NE PHONE: (505)856-5700

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

☒ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

☐ SKETCH PLAN APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S. A. D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS

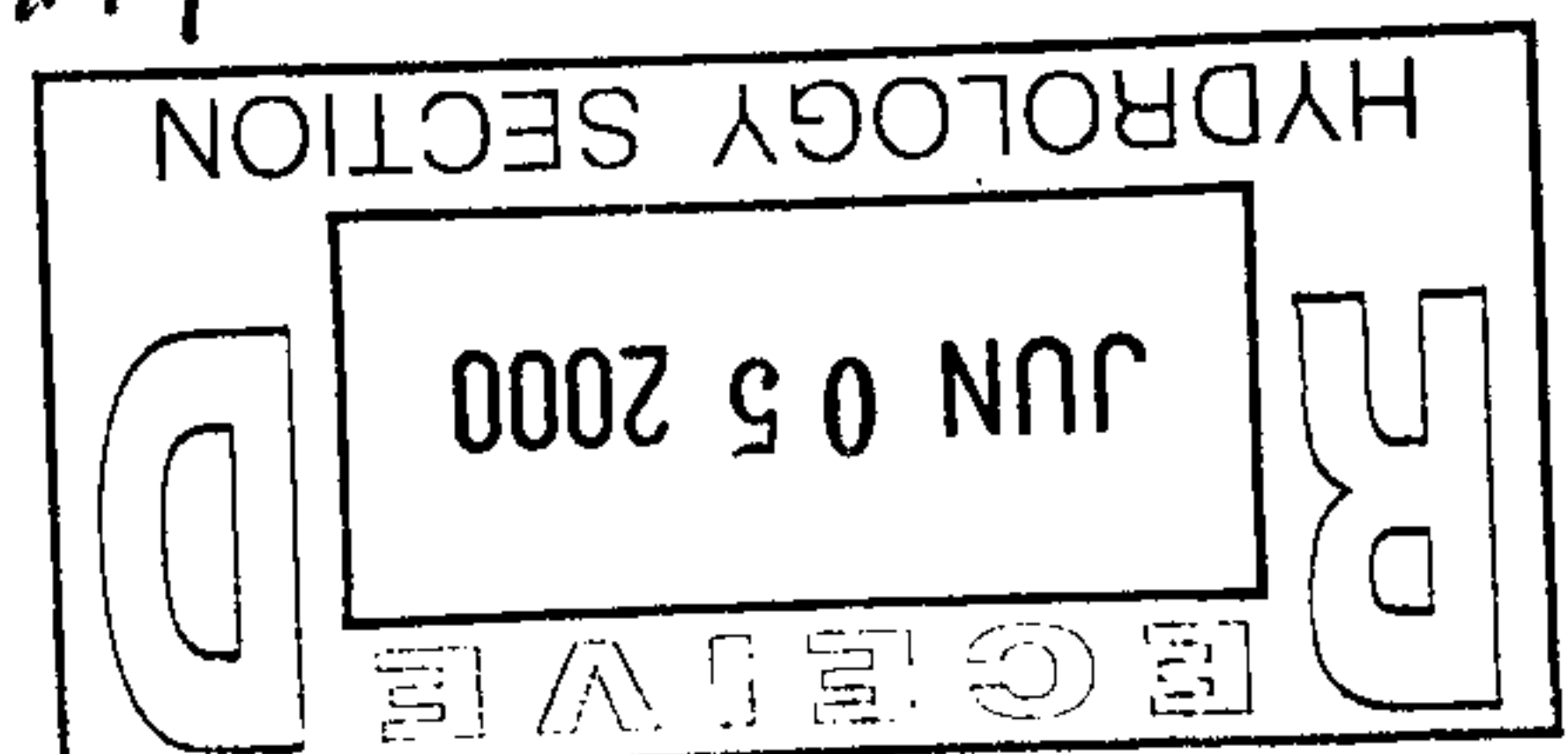
PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

☒ OTHER SO #19

DATE SUBMITTED: 6/5/00

BY: Sara Lavy



CROSS-LOT

DRAINAGE EASEMENT AGREEMENT

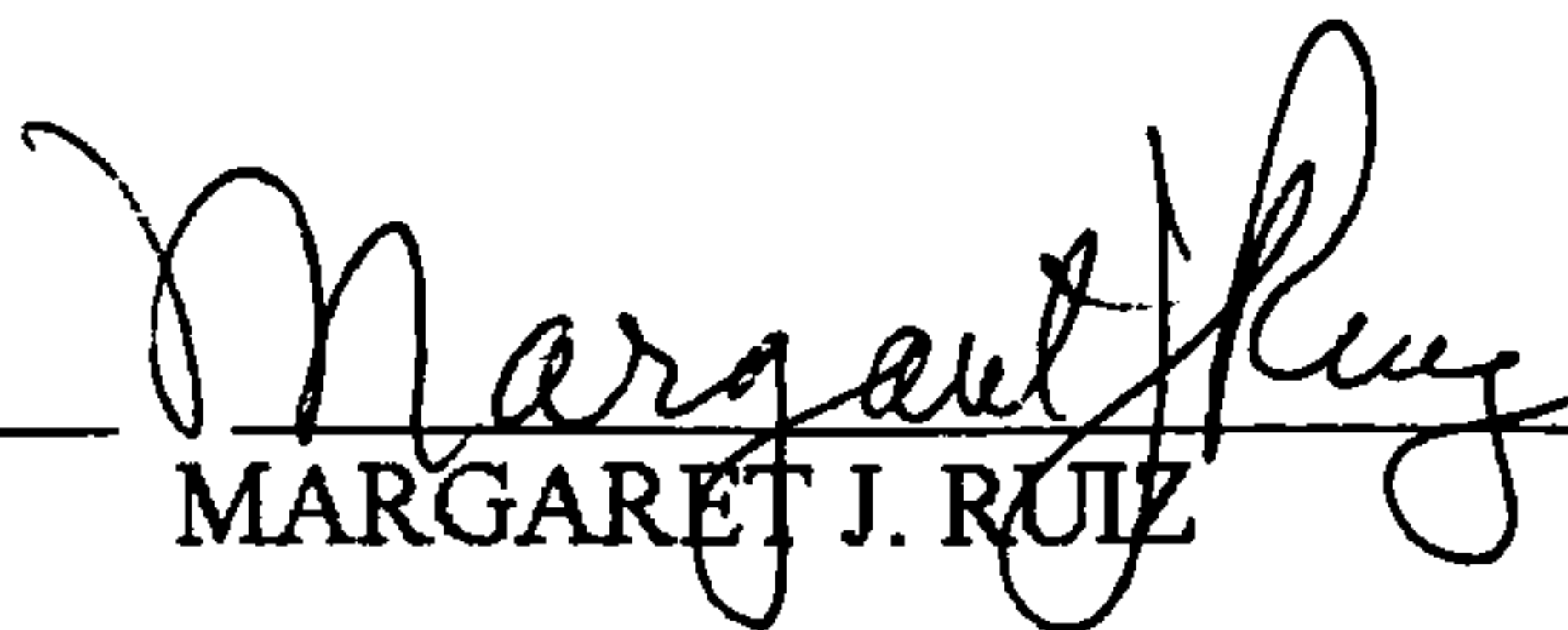
This Cross-Lot Drainage Easement Agreement is made this 5th day of June, 2000 by and between Ben Ruiz and Margaret Ruiz (hereinafter collectively referred to as "Ruiz") of 6625 Coors Blvd, NW, City of Albuquerque, County of Bernalillo, State of New Mexico, and Rod Zabel ("Zabel") of 1955 Juan Tabo Blvd, NE, City of Albuquerque, County of Bernalillo, State of New Mexico.

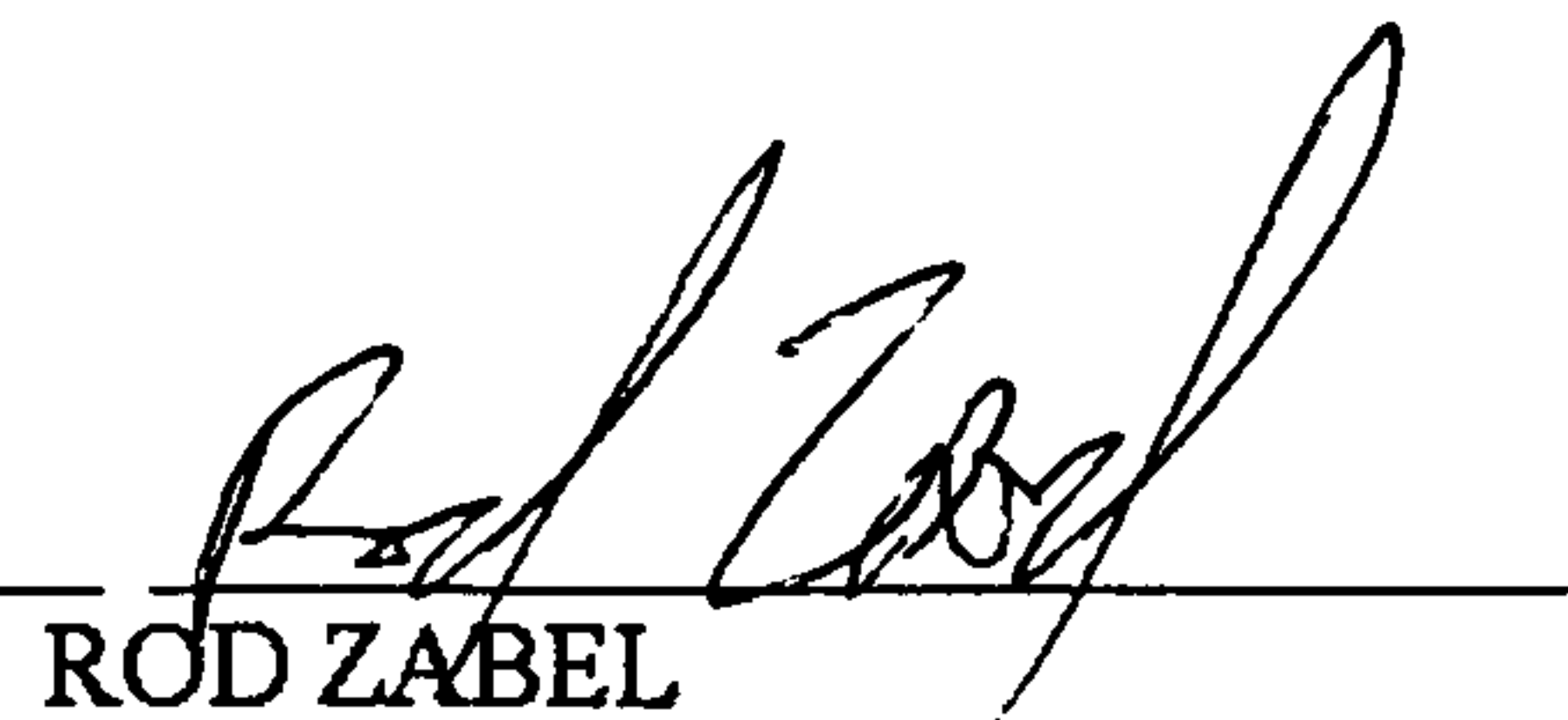
RECITALS:

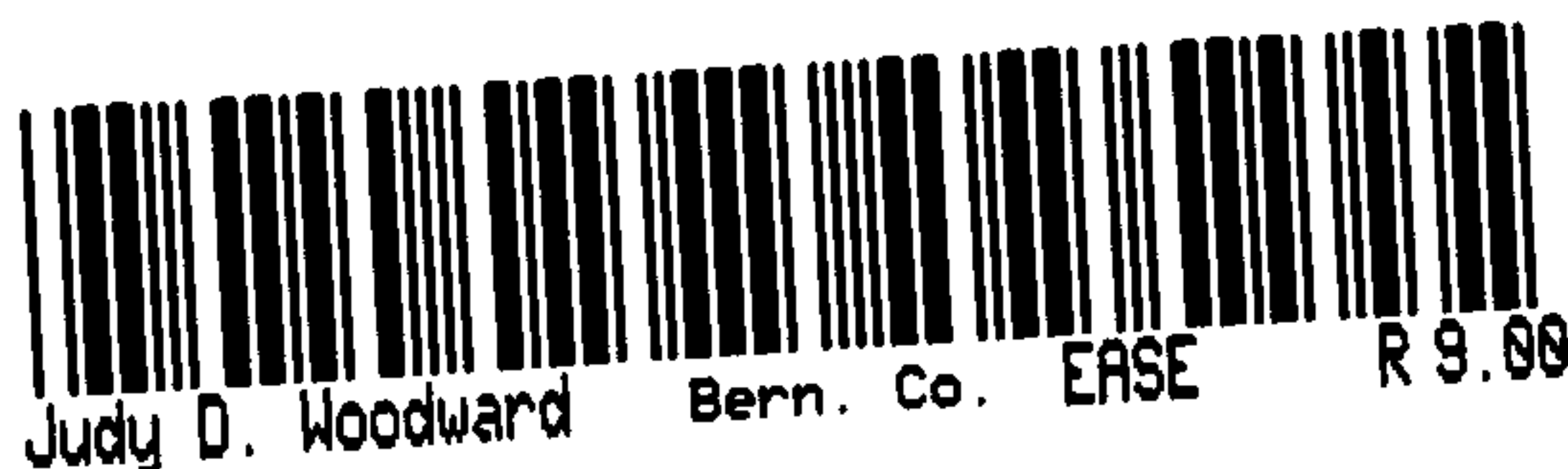
1. The parties have an interest in the following described real properties situated in the City of Albuquerque, County of Bernalillo, State of New Mexico, as follows:
 - a. Ben Ruiz and Margaret Ruiz own Tract C-1-B and Tract C-2, Land of Coronado Savings and Loan, Albuquerque, New Mexico as the same is shown on the replat of Tract C-1, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 27, 1990 in Volume 90C, Folio 43.
 - b. Zabel is the owner of Tract C-1-A, Land of Coronado Savings and Loan, Albuquerque, New Mexico, as the same is shown on the replat of Tract C-1, filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 27, 1990 in Volume 90C, Folio 43.
2. Ruiz and Zabel hereby grant an easement to each other for the purpose of draining the above properties on to existing storm drainage outlet on Redlands Road NW.
3. All easements granted herein shall run with the land and are appurtenant thereto.
4. This Cross-Lot Drainage Easement Agreement shall be binding upon and inure to the benefit of the parties, their heirs, successors, assigns, trustees and representatives.
5. This Cross-Lot Drainage Easement Agreement shall be governed by and construed in accordance with the laws of the State of New Mexico.

IN WITNESS WHEREOF, the parties have executed this Cross-Lot Drainage Easement Agreement as of the date first above stated.


BEN RUIZ


MARGARET J. RUIZ


ROD ZABEL



2000054302
5375389
Page: 1 of 2
06/05/2000 10:25A
Bk-A6 Pg-4083

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing document was acknowledged before me this 5th day of June, 2000 by
BEN RUIZ.

Tomasita De Blasie
Notary Public

My Commission Expires:

3/28/04

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing document was acknowledged before me this 5th day of June, 2000 by
MARGARET J. RUIZ.

Tomasita De Blasie
Notary Public

My Commission Expires:

3/28/04

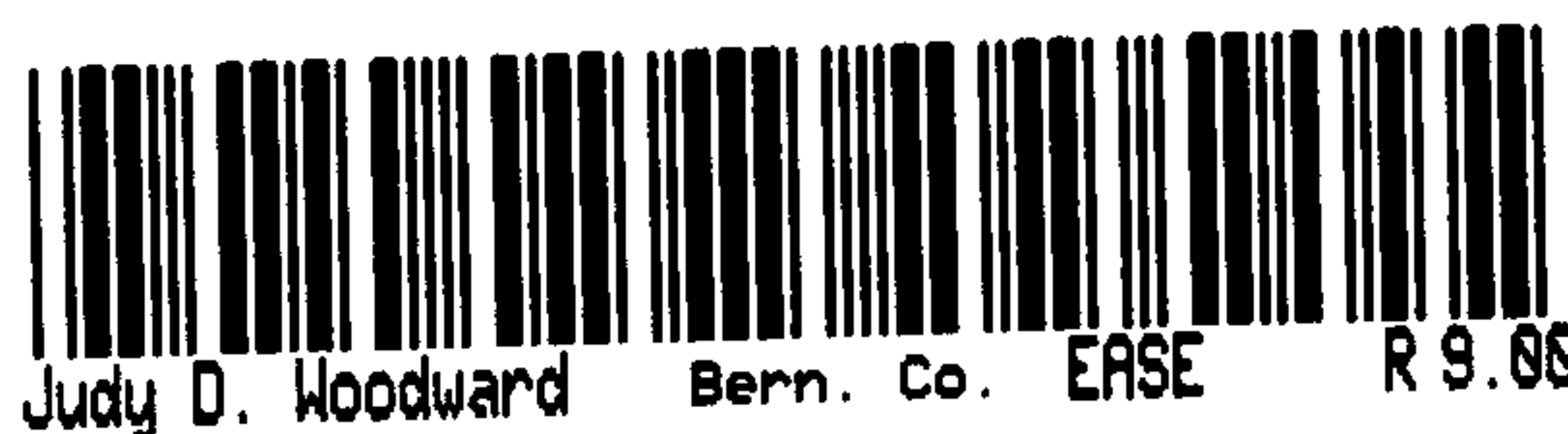
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing document was acknowledged before me this 5th day of June, 2000 by
ROD ZABEL.

Tomasita De Blasie
Notary Public

My Commission Expires:

3/28/04



2000054302
5375389
Page: 2 of 2
06/05/2000 10:25A
BX-AG Pg-4083

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

e-mail: twdms@aol.com
1-800-245-3102

June 5, 2000

Mr. Bradley L. Bingham, P.E.
Hydrology Review Engineer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Coronado Professional Plaza (G11/D6A1A)

Dear Mr. Bingham:

We are resubmitting Grading and Drainage Plan for your review and approval. We have addressed the comments from your letter dated May 24, 2000. The grades near the existing ponding area have been revised at the owner's request. The following is our response to each comment from your letter.

1. Please show the limits of the floodplain on the Grading Plan.
The flood plain is now shown on the Grading Plan.
2. What is the strip of land between your basins and the lots to the east? Site visit (and a neighbors inquiry) indicated that a wall was recently built on the backyard lot line of these lots. It is probable that the backyards drain to your project. Please adjust your basins and calculations to account for this offsite runoff.
The original drainage report (G11- D2) for the property to the east shows that each property drains to a backyard retention pond. Therefore, no drainage from the east enters the Coronado Professional Plaza site. The strip of land on the east is not part of the Coronado Professional Plaza and is included in the backyards of the adjacent eastern lots. We speculate this is a utility easement.
3. Please provide a copy of the recorded cross-lot drainage easement.
I have included a copy of the recorded drainage easement.
4. Please make sure the grading plan is comprehensive and remove all references to "conceptual".
"Conceptual" has been removed from the Grading Plan, which is comprehensive.

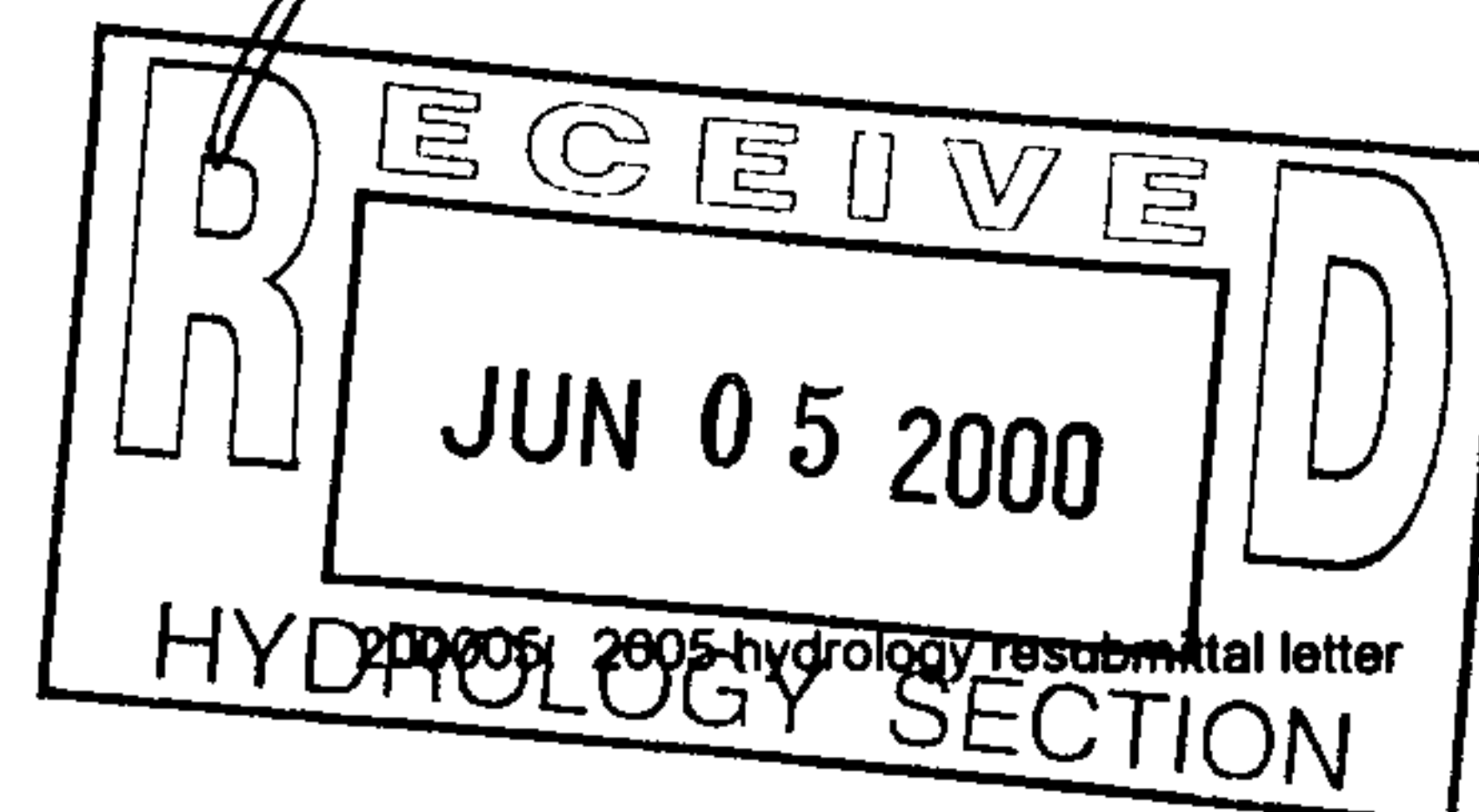
If you have any questions or need additional information, please contact me.

Sincerely,

Sara Lavy
Sara Lavy

cc: Ben Ruiz

JN: 200005
scl





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 24, 2000

Ron Bohannon, PE
Tierra West LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Coronado Professional Plaza Conceptual Drainage Report
Engineer's Stamp dated 5-5-00 (G11/D6A1A)

Dear Mr. Bohannon,

Based upon the information provided in your submittal dated 5-10-00, the above referenced plan is approved for Site Development Plan for Building Permit. I cannot approve you for Building Permit until the following comments are addressed:

- Please show the limits of the floodplain on the Grading Plan.
- What is the strip of land between your basins and the lots to the east? Site visit (and a neighbors inquiry) indicated that a wall was recently built on the backyard lot line of these lots. It is probable that the backyards drain to your project. Please adjust your basins and calculations to account for this offsite runoff.
- Please provide a copy of the recorded cross-lot drainage easement.
- Please make sure the grading plan is comprehensive and remove all references to "conceptual."

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Hydrology Review Engineer

C: file