



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 16, 1992

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: GRADING/PAVING PLAN FOR PRESBYTERIAN LADERA HEALTHCARE PARKING
LOT (G-11/D10A) ENGINEER'S STAMP DATED JUNE 12, 1992

Dear Mr. Arfman:

Based on the information provided on your submittal of June 23, 1992, the above referenced plan is approved for Grading/Paving permit.

Please be advised that after completion of the project, request for inspection must be called in. Please give the drainage file number when requesting the inspection.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bjf
(WP+1066)

PUBLIC WORKS DEPARTMENT

DRAINAGE INFORMATION SHEET

PRESBYTERIAN LADERA

PROJECT TITLE: HEALTHCARE DRNG. LOT ZONE ATLAS/DRNG. FILE #: G-11 / D10ADRB #: N/A EPC #: N/A WORK ORDER #: N/ALEGAL DESCRIPTION: TR. C-3-A, LADERA HEIGHTS SUBDIVISIONCITY ADDRESS: 3901 ATRISCO NW.ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED C. ARFMANADDRESS: 128 MONROE ST. N.E PHONE: 268-8828OWNER: PRESBYTERIAN HEALTHCARE SERV(S) CONTACT: RICHARD VILGIANOADDRESS: 475 IND. SCH. RD., 2ND FL PHONE: 260-6330ARCHITECT: N/A CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: WILLIAM P. PETTIT CONTACT: BILL PETTITADDRESS: _____ PHONE: 268-16631CONTRACTOR: UNKNOWN CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

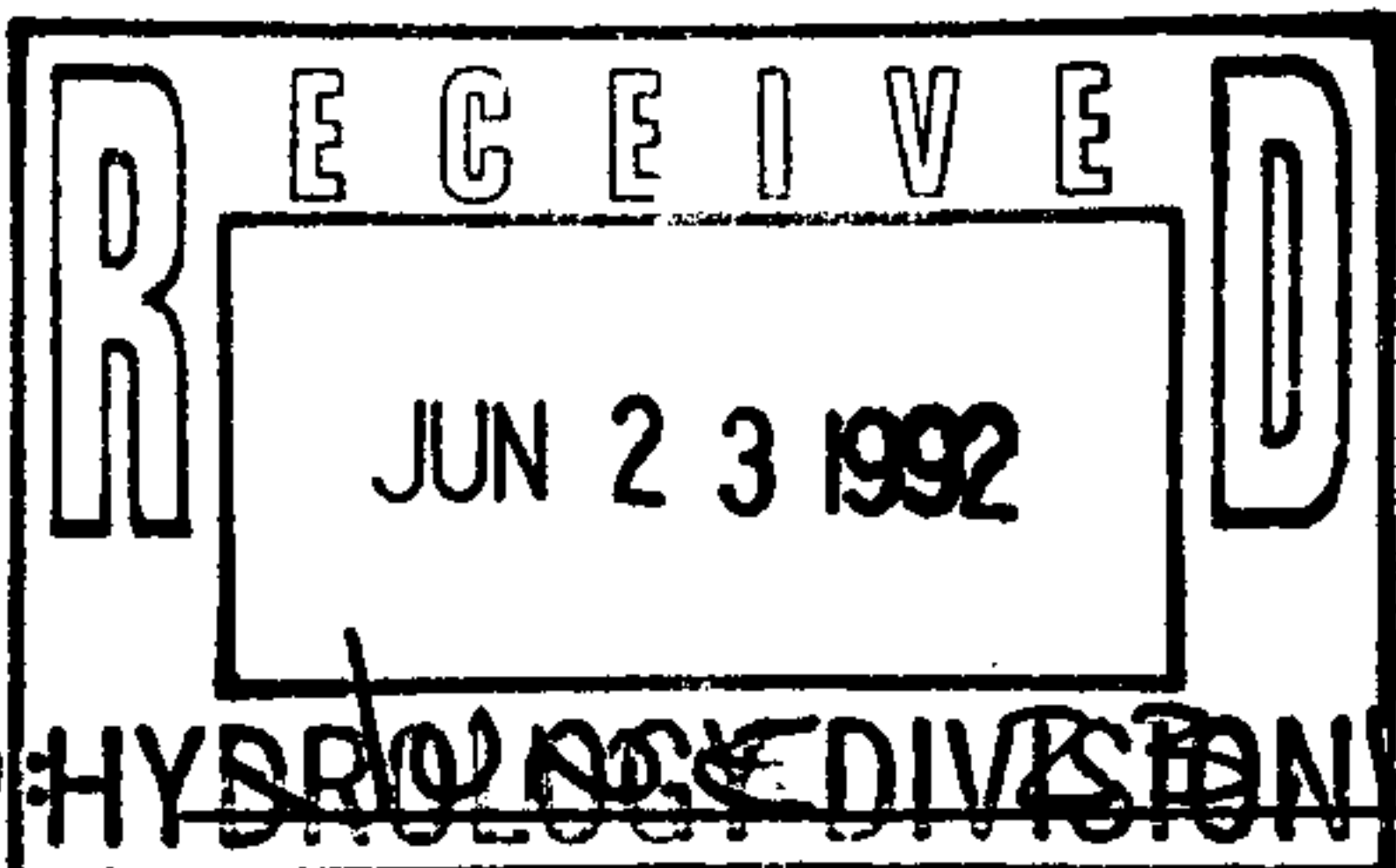
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

PRE-DESIGN MEETING:

- ☒ YES
☐ NO
☒ COPY PROVIDED

DATE SUBMITTED: HYDROLOGIC DIVISION 1992BY: FRED C. ARFMAN, P.E.FOR ISAACSON & ARFMAN, P.A.

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

DRAINAGE FILE/ZONE ATLAS PAGE NO.: G11 DATE: 4/8/92
EPC NO.: _____ DRB NO.: _____ ZONE: C1
SUBJECT: Pres Ladera Health Center Parking Lot
STREET ADDRESS: _____
LEGAL DESCRIPTION: Tract C-3-A, Ladera Heights

APPROVAL REQUESTED: _____ PRELIMINARY PLAT _____ FINAL PLAT
_____ SITE DEVELOPMENT PLAN _____ BUILDING PERMIT
X GRADING/PAVING PERMIT _____ OTHER _____

WHO REPRESENTING
ATTENDANCE: FRED ARFMAN _____
FRED J AGUIRRE _____

FINDINGS: updated
• ~~An updated~~ Drainage Drainage plan will be required for approval of the paving permit. As-built topography will be required for the developed portion of (Tract C-1-A) at the interface of the two tracts only.
• FREE DISCHARGE appropriate given that the previous development was granted FREE DISCHARGE and this appears to be an IN-FILL SITE in the existing BASIN.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Fred J Aguirre SIGNED: Fred C. Arfman
TITLE: _____ TITLE: PROJ. ENGR.
DATE: 4/8/92 DATE: 4-8-92

****NOTE**** PLEASE PROVIDE A COPY OF THIS PRE-DESIGN FORM WITH THE DRAINAGE SUBMITTAL.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 24, 1991

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR LADERA FAMILY HEALTHCARE
(G-11/D10A) ENGINEER'S STAMP DATED JULY 19, 1991

Dear Mr. Arfman:

Based on the information provided on your resubmittal of July 22, 1991, revisions as indicated for the additions to the Ladera Family Healthcare are acceptable for building permit approval.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj
(WP+1066)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E.
Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

AN EQUAL OPPORTUNITY EMPLOYER

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LADERA FAMILY HEALTHCARE ZONE ATLAS/DRNG. FILE #: G-11/D10A

LEGAL DESCRIPTION: TR. C-1-A, LADERA HEIGHTS SUBDIVISION

CITY ADDRESS: 3901 ATRISCO BLVD. N.W.

ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED C. ARFMAN

ADDRESS: 128 MONROE ST. N.E. PHONE: 268-8828

OWNER: HEALTH CARE SERVICES CONTACT: _____

ADDRESS: 5901 HARPER DR. N.E. PHONE: 823-8000

ARCHITECT: STEVENS, MARLEY PEARL & CAMPBELL CONTACT: PHIL STEVENS

ADDRESS: 115 AMITURST S.E. PHONE: 255-8668

SURVEYOR: WILLIAM P. PETTIT CONTACT: BILL PETTIT

ADDRESS: _____ PHONE: 268-6631

CONTRACTOR: N/A. CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

<input type="checkbox"/> YES	DRB NO. _____
<input checked="" type="checkbox"/> NO (DISCUSSED W/ GILBERT ALOSZ)	EPC NO. _____
<input type="checkbox"/> COPY OF CONFERENCE RECAP 7-16-91	PROJ. NO. _____
<input type="checkbox"/> SHEET PROVIDED	

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

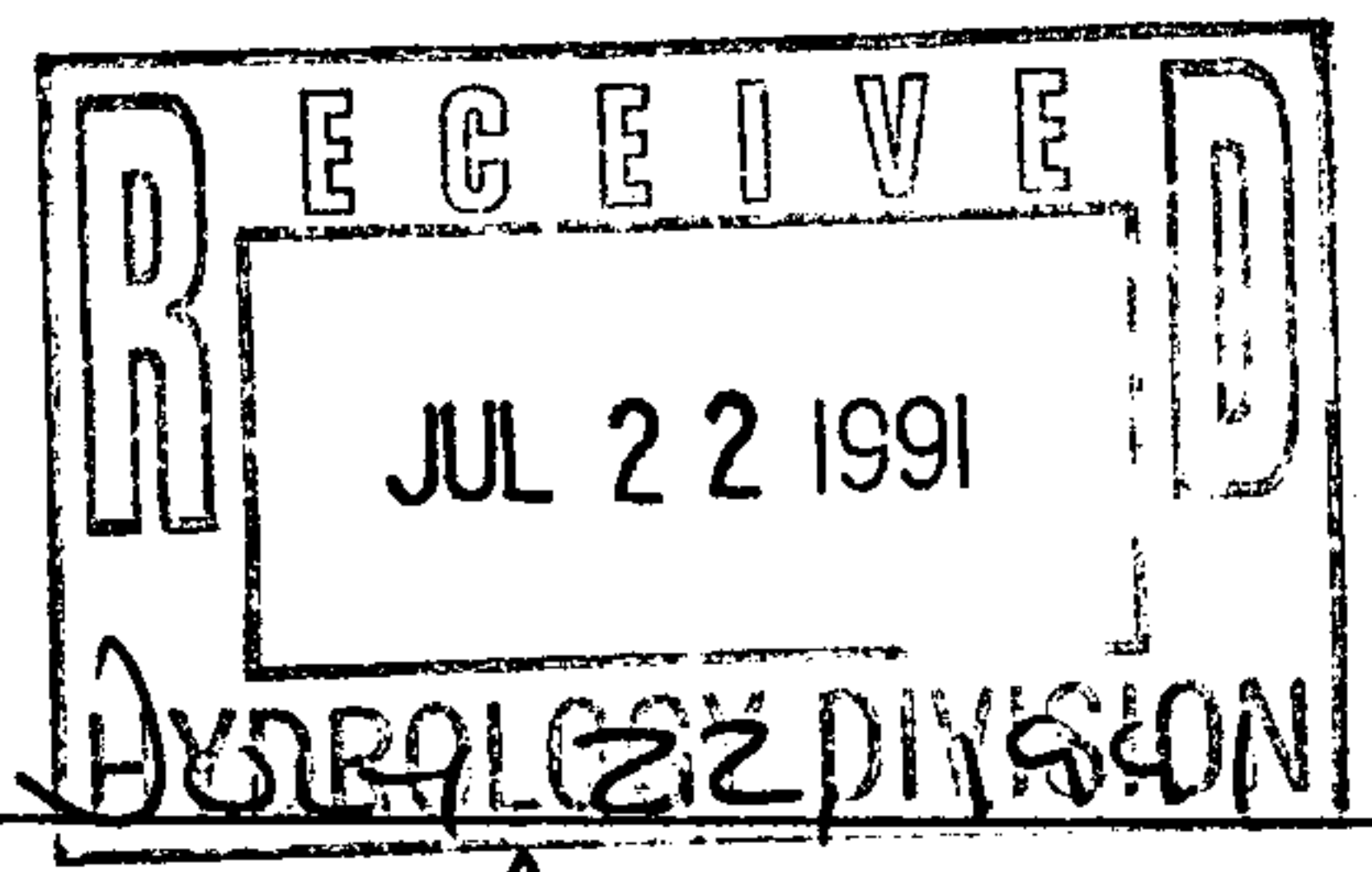
☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)



DATE SUBMITTED: _____

BY: FRED C. ARFMAN

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRES CARE ANNEX ZONE ATLAS/DRNG. FILE #: G-11/D10A

LEGAL DESCRIPTION: TR. C-1-A, LADERA HEIGHTS S/D

CITY ADDRESS: N/A

ENGINEERING FIRM: I & A CONTACT: F. C. ARFMAN

ADDRESS: _____ PHONE: 268-8828

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

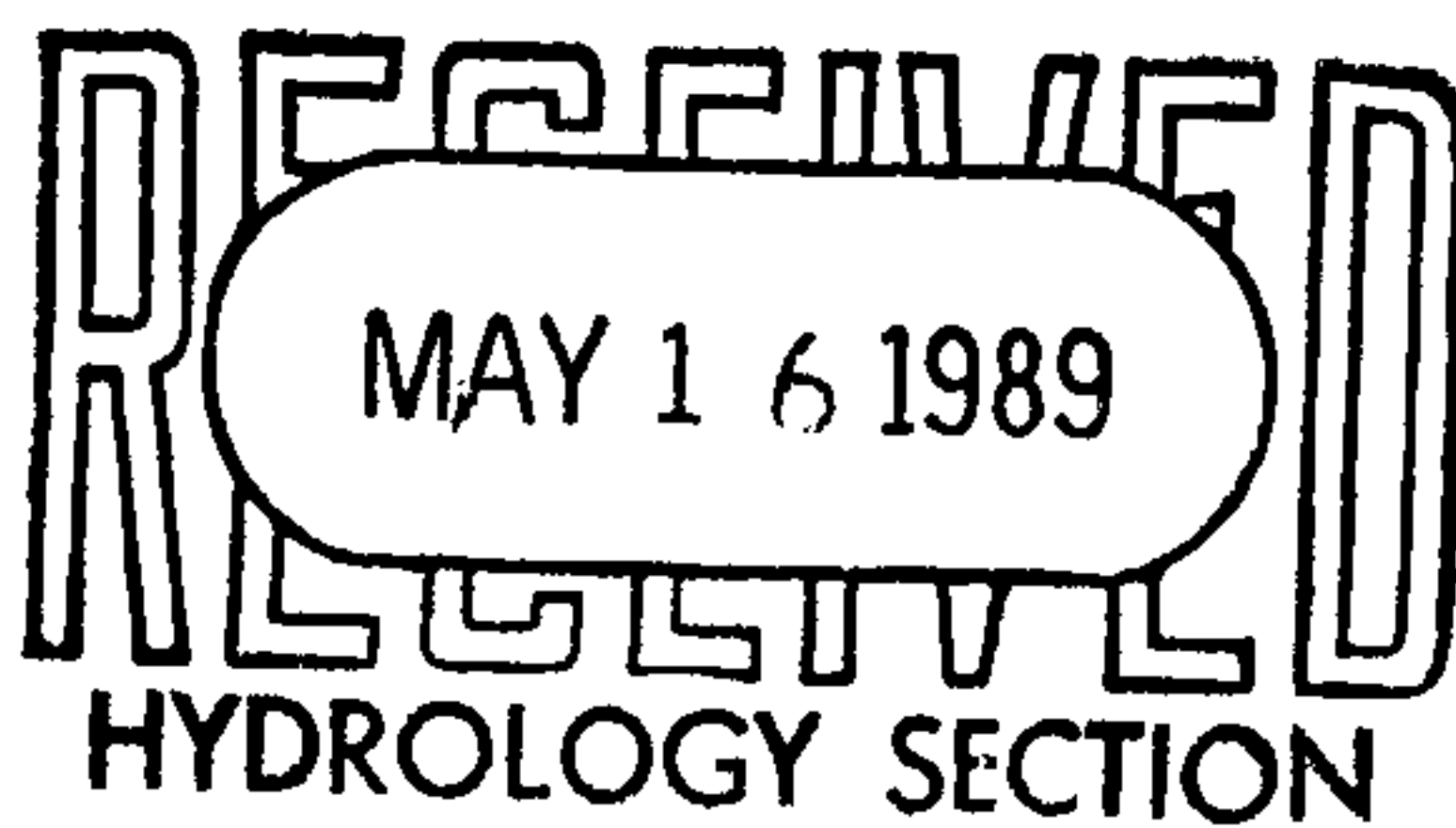
ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES

☐ NO

☐ COPY OF CONFERENCE RECAP
SHEET PROVIDED



DRB NO. _____

EPC NO. _____

PROJ. NO. _____

*** INFORMATION ONLY (SEE BELOW)**

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER _____ (SPECIFY)

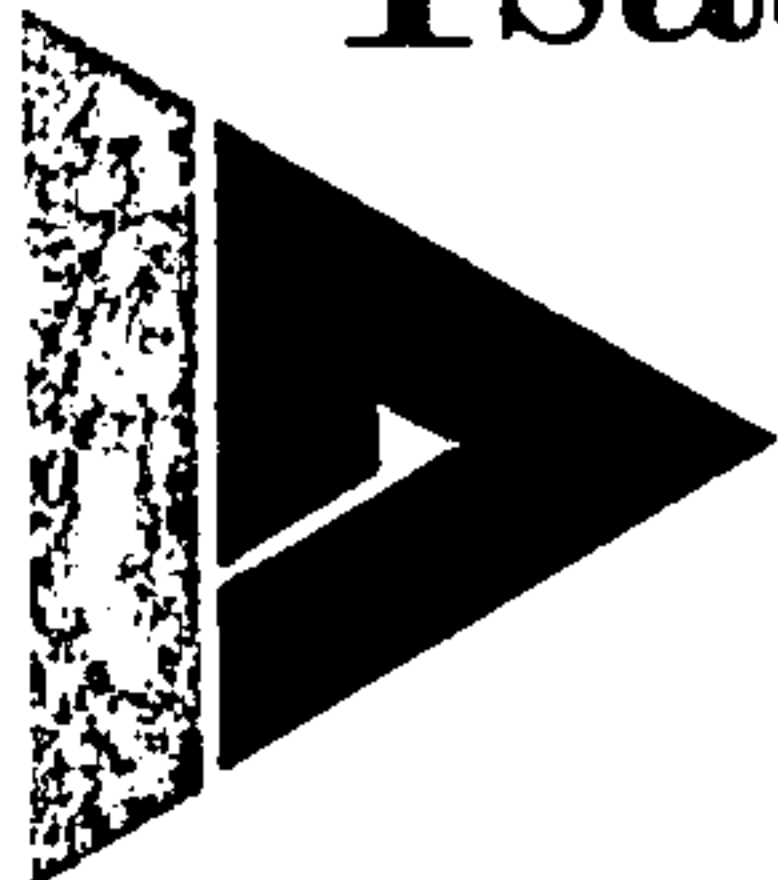
**REQUESTED SUPPLEMENTAL
INFORMATION**

① DRNG. CONSENT

② OFFSITE GRDNG. LETTER

DATE SUBMITTED: 5-16-89

BY: F. ARFMAN

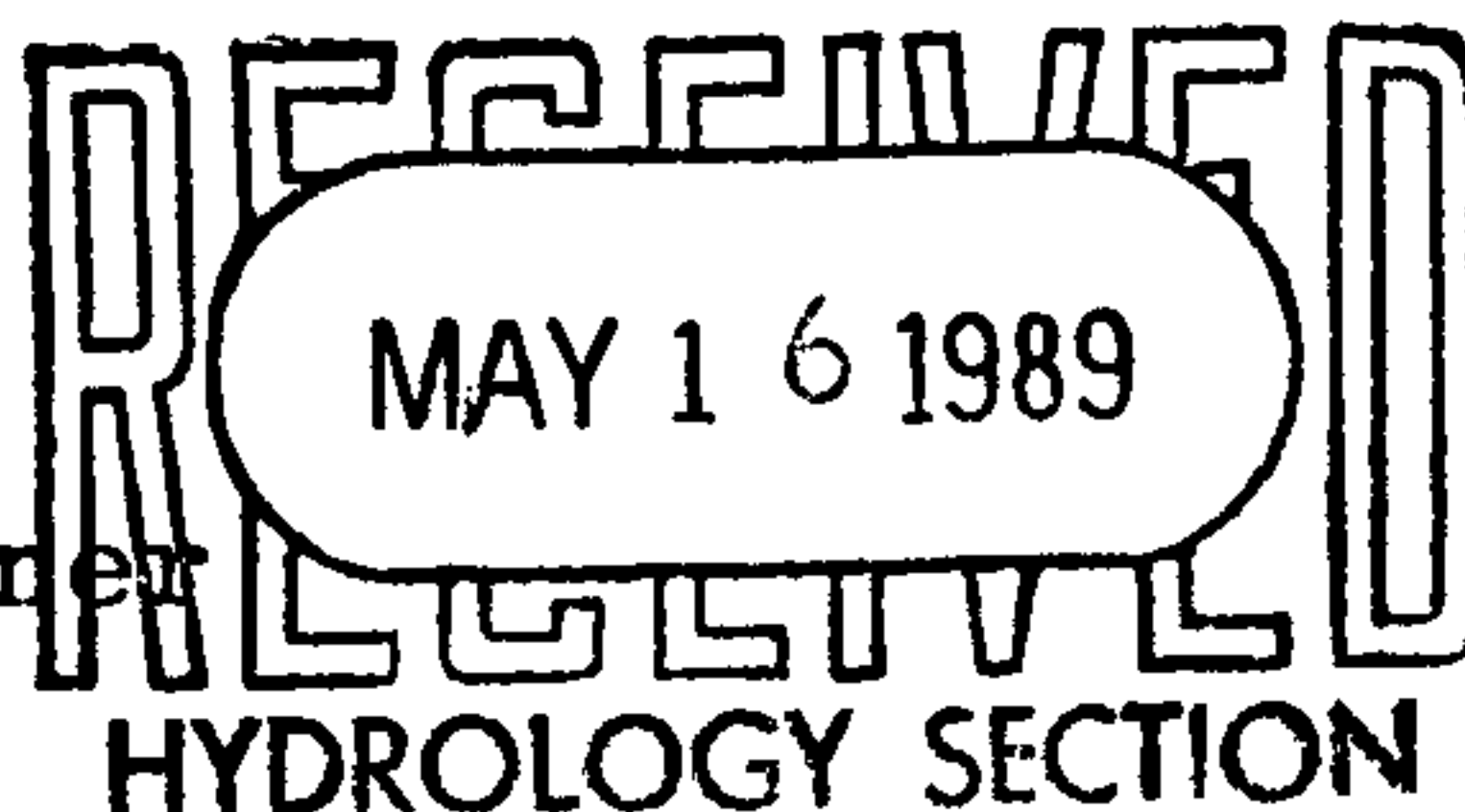


Isaacson & Arfman, P.A.

Consulting Engineering
Associates

April 26, 1989

Mr. R.J. Schaefer
Managing General Partner
Six-high Investors
P.O. Box 14708
Albuquerque, N.M. 87191



RE: Tract C-2-A & C-3-A, Ladera Heights Subdivision

Dear Mr. Schaefer:

Isaacson & Arfman, P.A. has been contracted by de La Torre/Rainhart Architects to prepare the site's civil engineering drawings for the Pres Care Annex schedule for construction on the referenced tract C-1-A. As a condition of approval for hydrology, you as Managing General Partner of Tract C-2-A must grant approval for Pres Care's contractor to enter onto your property to construct a minor storm water berm/swale along the common lot line. This temporary facility will effectively deflect any and all overland storm water sheet flows to either Atrisco Drive or to the vacant Tract C-3-A and would then discharge into Ladera Road's right-of-way.


Your concurrence with the above mentioned off-site improvements is indicated by you signing in the space provided below. Thank you for your assistance in this matter for Southwest Community Health Services is most anxious to proceed with their Pres Care facility.

Very truly yours,
Isaacson & Arfman, P.A.


Fred C. Arfman, P.E.

FCA/rrt

CONCURRENCE


R.J. Schaefer
Managing General Partnership
Six-High Investors

5/15/89
Date

128 Monroe, NE • Albuquerque, NM 87108 • (505) 268-8828

FILE COPY



KEN SCHULTZ
MAYOR

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 3, 1989

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR PRESBYTERIAN CARE ANNEX
(G-11/D10A) REVISION DATED APRIL 25, 1989

Dear Mr. Arfman:

Based on the information provided on your resubmittal of April 26, 1989, the above referenced plan is approved for Building Permit. Please be advised that the building permit will not be released until the covenant is submitted for our review. Also, prior to Certificate of Occupancy release, we will need a copy of the letter of acceptance for Work Order No. 3720.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

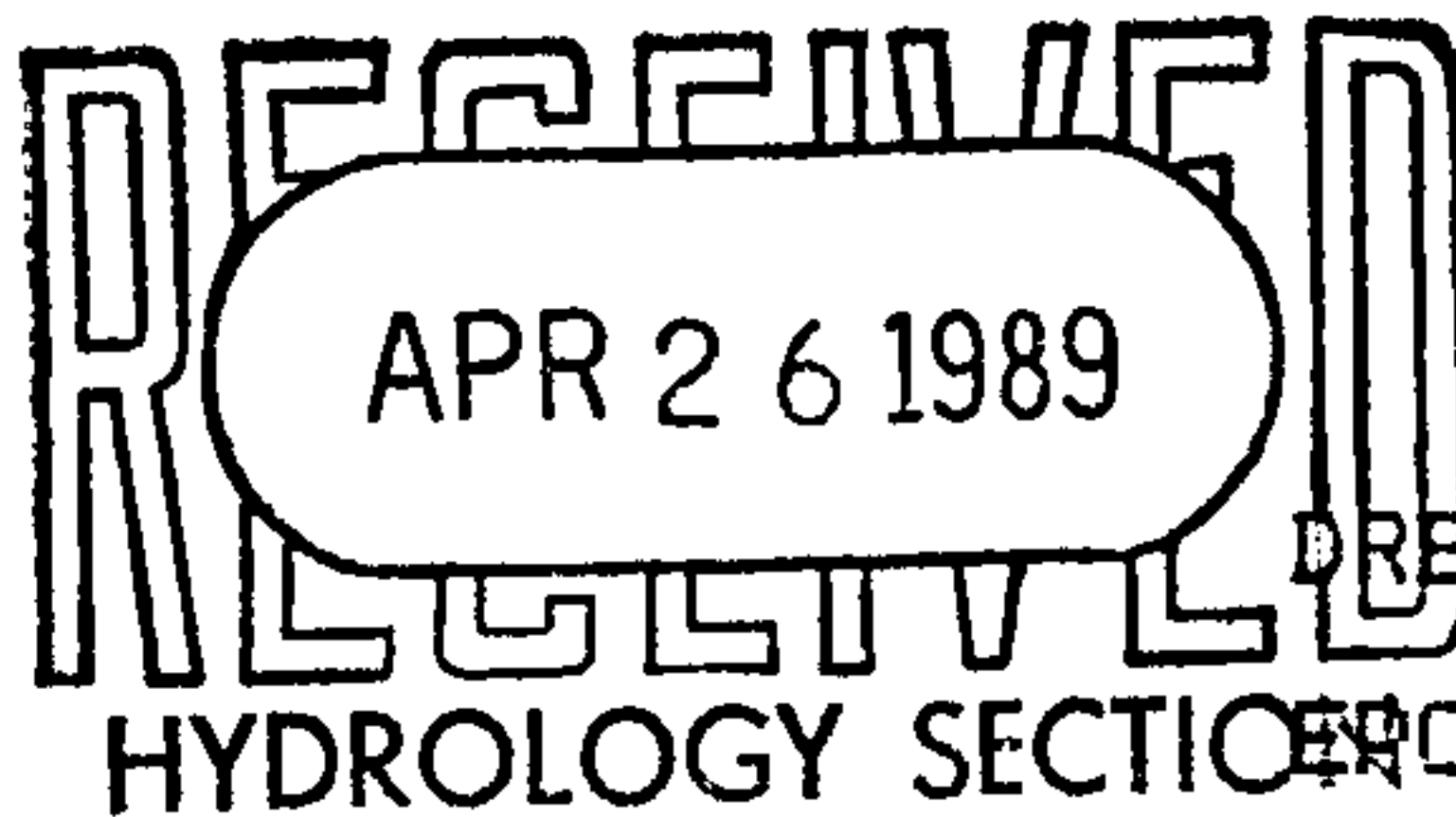
BJM/bsj
(WP+1066)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRES CARE ANNEX ZONE ATLAS/DRNG. FILE #: G-11/D10A
 LEGAL DESCRIPTION: TRACT C-1-A, LADORA HEIGHTS SUBD.
 CITY ADDRESS: UNKNOWN
 ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: FRED ARFMAN
 ADDRESS: 128 MONROE ST. NE PHONE: 268-8828
 OWNER: S.W. COMMUNITY HEALTH SERV. CONTACT: CAROL PIERCE
 ADDRESS: _____ PHONE: 823-8338
 ARCHITECT: DE LA TORRE / RAINHART CONTACT: JORGE DE LA TORRE
 ADDRESS: _____ PHONE: 842-2500
 SURVEYOR: WILLIAM P. PETTIT SURVEYING CONTACT: BILL PETTIT
 ADDRESS: _____ PHONE: 268-6631
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRE NO. _____
 EPC NO. _____
 PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN (RESUBMITTAL)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

☒ COMMENT FOR CROSS DRAINAGE IS FORTHCOMING.

DATE SUBMITTED: 4-26-89
 BY: FRED C. ARFMAN

FILE COPY



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ
MAYOR

CLARENCE V. LITHGOW
CHIEF
ADMINISTRATIVE OFFICER

DAN WEAKS
DEPUTY CAO
PUBLIC SERVICES

FRED E. MONDRAGON
DEPUTY CAO
DEVELOPMENT & ENTERPRISE SERVICES

April 13, 1989

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: DRAINAGE PLAN FOR PRES. CARE ANNEX (G-11/D10A)
RECEIVED APRIL 8, 1989 AND DATED APRIL 5, 1989

Dear Mr. Arfman:

Based on the information provided on your submittal of April 5, 1989, listed are some concerns that must be addressed prior to approval:

1. You must accept the off-site flows entering the site from the south. Please quantify the off-site flows.
2. All roof drainage on the north side of the building must be conveyed towards the parking lot area. No developed runoff is allowed across a public sidewalk.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya
Bernie J. Montoya, C.E.
Engineering Assistant

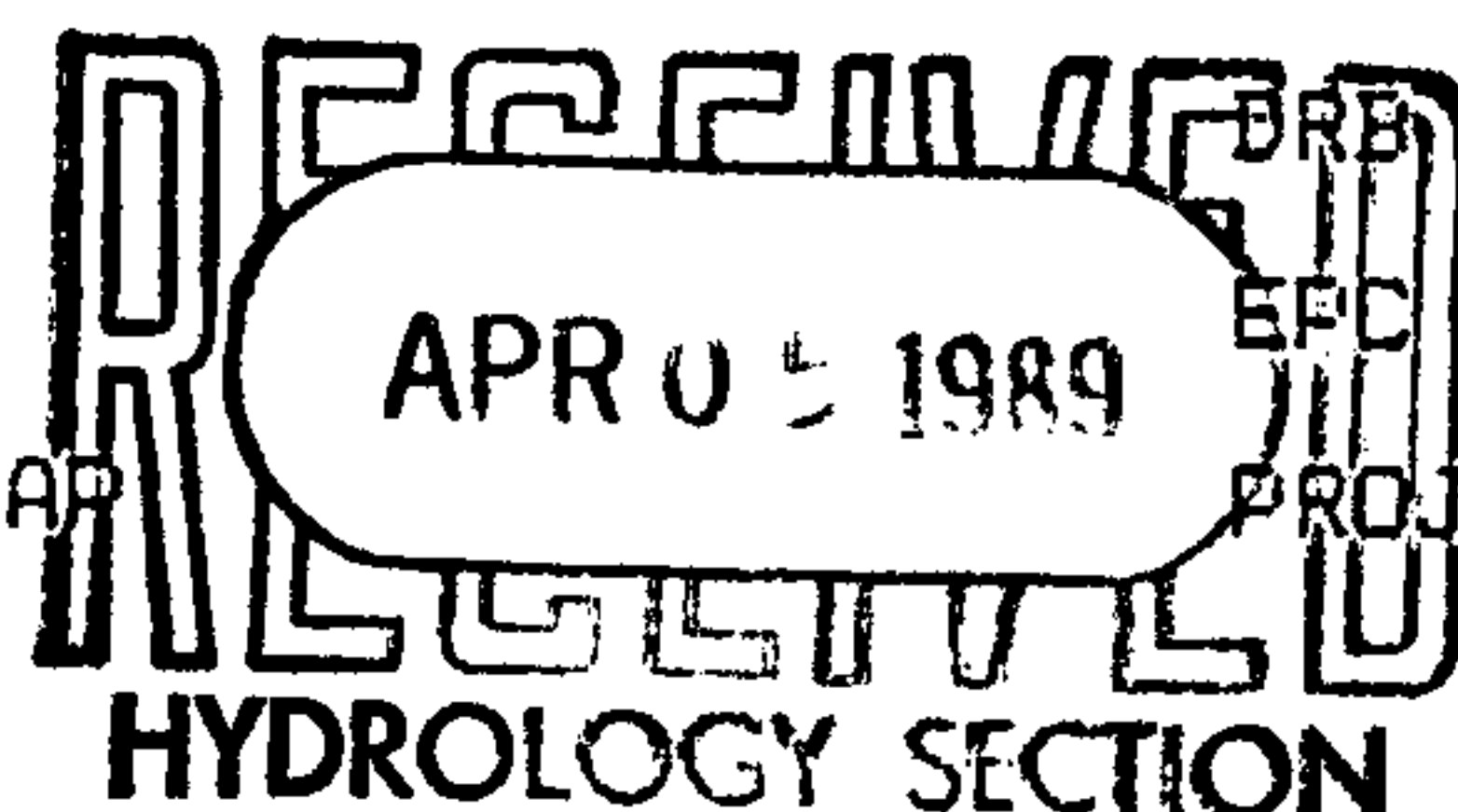
BJM/bsj
(WP+1066)

DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRES CARE ANNEX ZONE ATLAS/DRNG. FILE #: G-11/D 10a
 LEGAL DESCRIPTION: TRACT C-1-A, LADERA HEIGHTS SUBD.
 CITY ADDRESS: UNKNOWN
 ENGINEERING FIRM: ISAACSON & ARFMAN CONTACT: FRED ARFMAN
 ADDRESS: 128 MONROE ST. NE PHONE: 268-8828
 OWNER: S.W. COMMUNITY HEALTH SERV. CONTACT: CHARL PIERCE
 ADDRESS: _____ PHONE: 823-5338
 ARCHITECT: DE LA TORRE / RAINHART CONTACT: JORGE DE LA TORRE
 ADDRESS: _____ PHONE: 842-2500
 SURVEYOR: WILLIAM P. PETTIT SURVEYING CONTACT: BILL PETTIT
 ADDRESS: _____ PHONE: 268-6631
 CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES
☐ NO
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. _____
 EPC NO. _____
 PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 4-5-89
 BY: FRED C. ARFMAN



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 26, 2004

Jeffrey Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr NW, Grading and Drainage Plan

Engineer's Stamp dated 4-04-04 (G11/D10)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 4-06-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-11/010

PROJECT TITLE: ATRISCO URGENT CARE CLINIC ZONE ATLAS/DRNG. FILE #: G11 D10
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS SUBDIVISIONCITY ADDRESS: 3901 ATRISCO DRIVE NW, 87120

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: PRESBYTERIAN MEDICAL GROUP CONTACT: ARCHITECT
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: KEVIN GEORGES & ASSOCIATES CONTACT: BILL SANTIANA
 ADDRESS: 214 TRUMAN STREET NE PHONE: 255-4975
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108-1333

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: NOT KNOWN CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

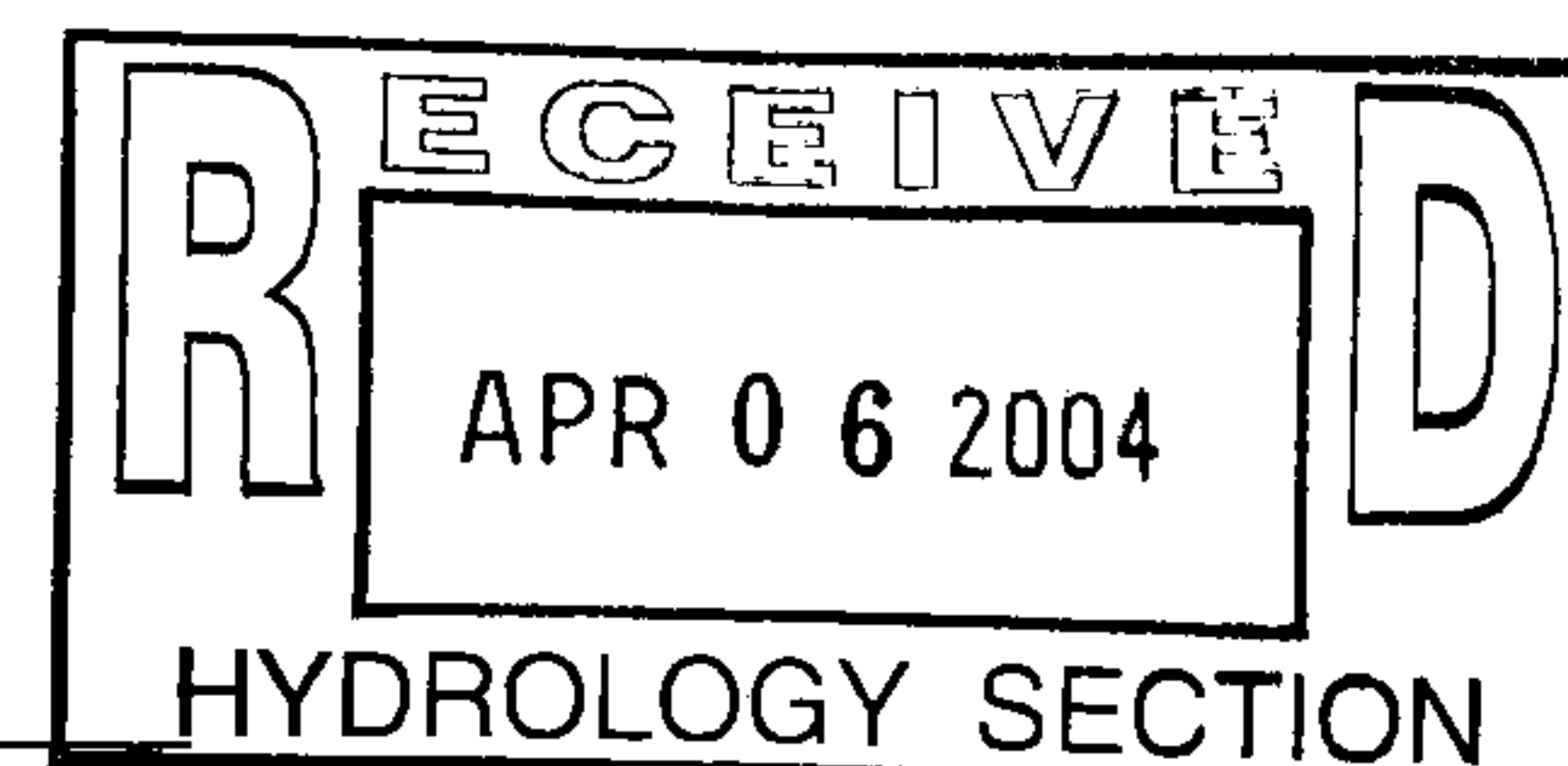
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) ADMIN AMENDMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 04/05 /2004 BY: JEFFREY G. MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 26, 2004

Jeffrey Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr NW, Conceptual Grading and
Drainage Plan**

Engineer's Stamp dated 3-10-04 (G11/D10)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 3-10-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: ATRISCO URGENT CARE CLINIC ZONE ATLAS/DRNG. FILE #: G11 D10
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS SUBDIVISION
 CITY ADDRESS: 3901 ATRISCO DRIVE NW, 87120

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: PRESBYTERIAN MEDICAL GROUP CONTACT: ARCHITECT
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: KEVIN GEORGES & ASSOCIATES CONTACT: BILL SANTIANA
 ADDRESS: 127 JEFFERSON STREET NE, SUITE A PHONE: 255-4975
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108-1216

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☒ **CONCEPTUAL GRADING & DRAINAGE PLAN**
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL

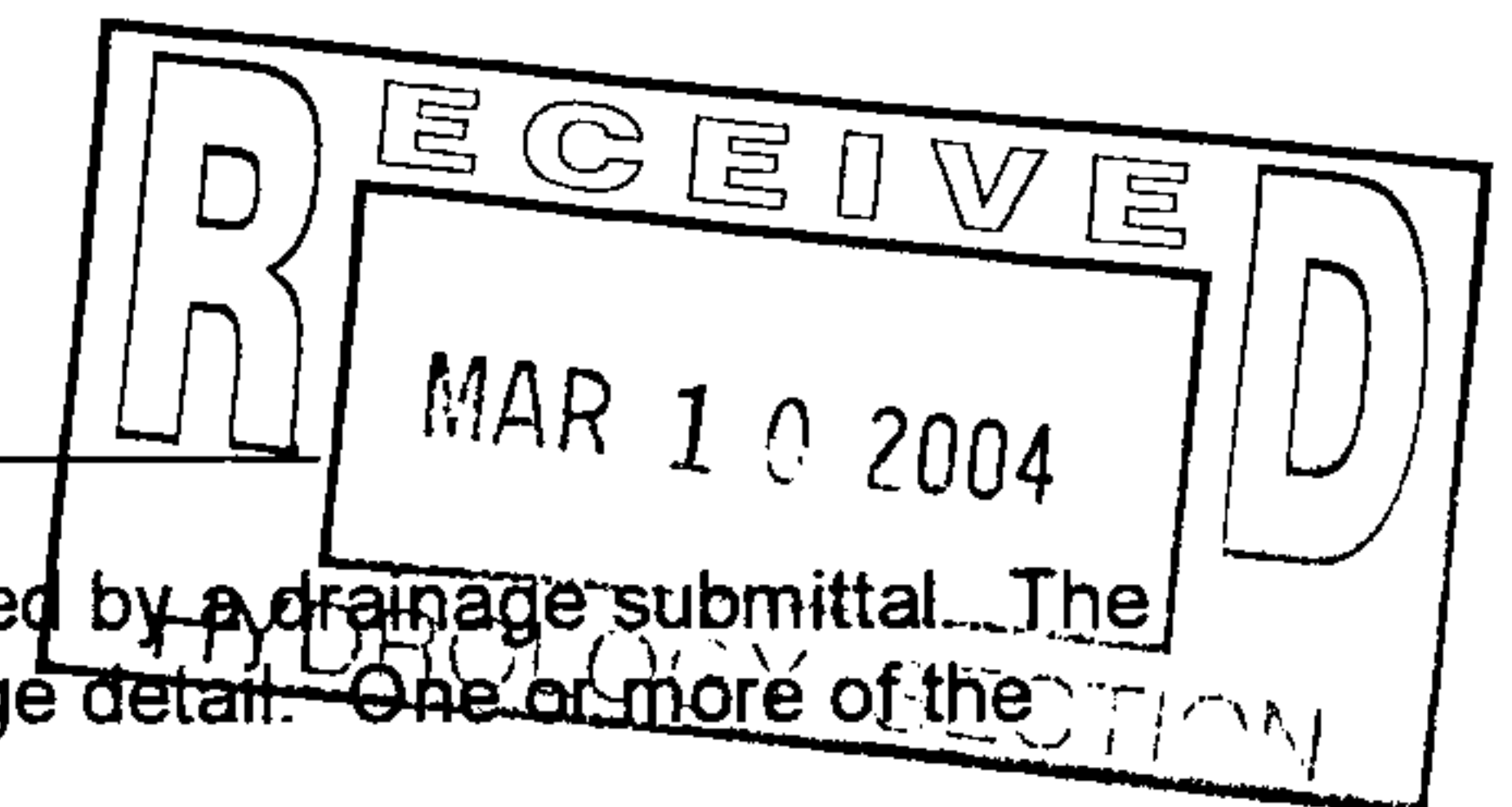
☒ **OTHER (SPECIFY) ADMIN AMENDMENT** *No fee*
Bub

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03/ 10 /2004 BY: JEFFREY G. MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 1, 2004

Kevin Georges, R.A.
Kevin Georges & Associates
214 Truman St. NE
Albuquerque, NM 87108

Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr. NW, Traffic Circulation Layout
Architect's Stamp dated 3-30-04 (G11/D10)

Dear Mr. Georges,

The TCL submittal received 3-25-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-11/D10

PROJECT TITLE: ATRISCO URGENT CARE CLINIC

ZONE ATLAS/DRNG. FILE #: G11 D10

DRB #: EPC #:

WORK ORDER #:

LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS SUBDIVISION

CITY ADDRESS: 3901 ATRISCO DRIVE NW, 87120

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC.

ADDRESS: 6010-B MIDWAY PARK BLVD. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JEFF MORTENSEN

PHONE: (505) 345-4250

ZIP CODE: 87109

OWNER: PRESBYTERIAN MEDICAL GROUP

ADDRESS:

CITY, STATE:

CONTACT: ARCHITECT

PHONE:

ZIP CODE:

ARCHITECT: KEVIN GEORGES & ASSOCIATES

ADDRESS: 127 JEFFERSON STREET NE, SUITE A

CITY, STATE: ALBUQUERQUE, NM

CONTACT: BILL SANTIANA

PHONE: 255-4975

ZIP CODE: 87108-1216

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. 3/30/04

ADDRESS: 6010-B MIDWAY PARK BLVD. NE

CITY, STATE: ALBUQUERQUE, NM

CONTACT: JEFF MORTENSEN

PHONE: (505) 345-4250

ZIP CODE: 87109

CONTRACTOR: N/A

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

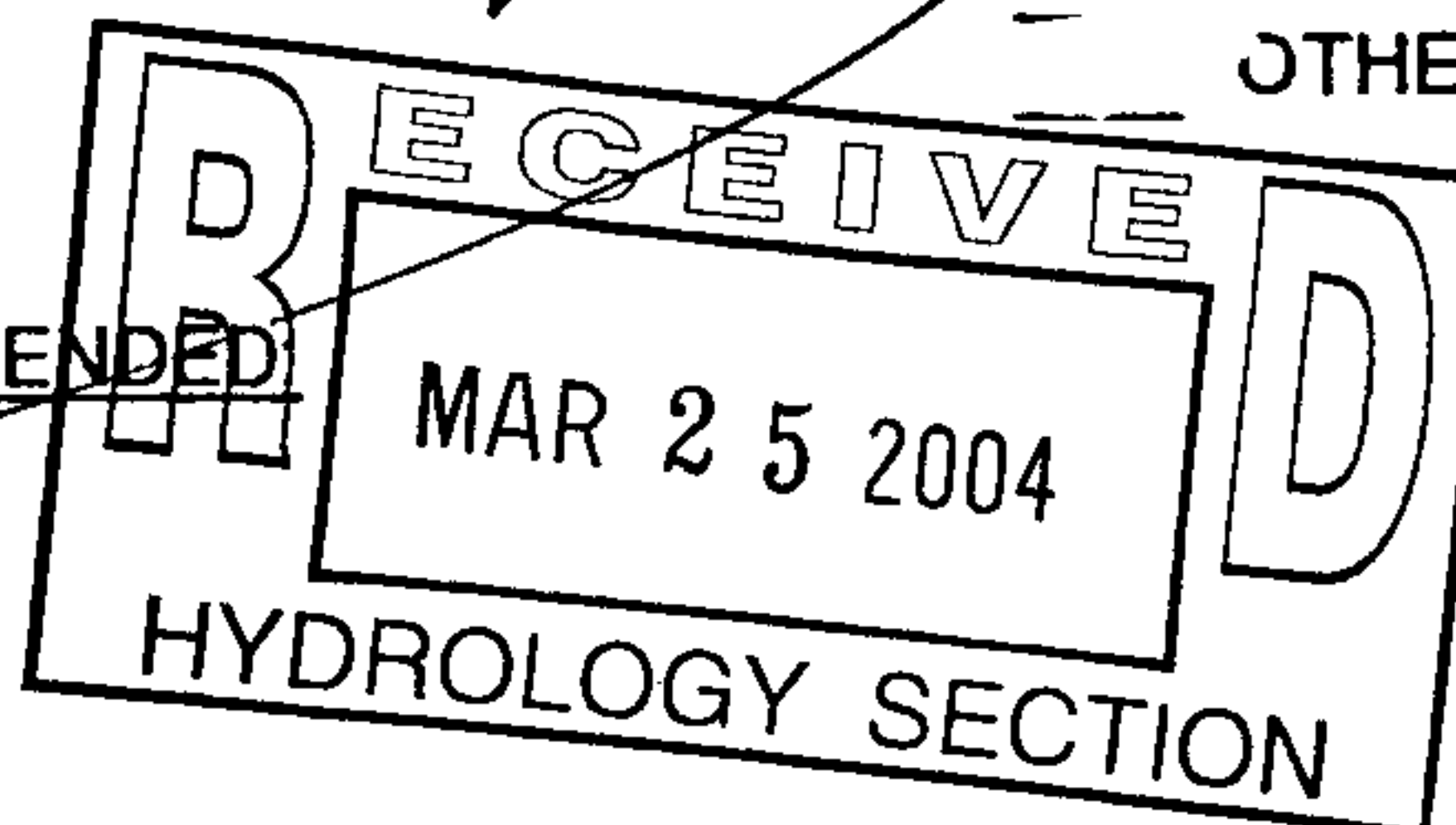
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) ADMIN AMENDMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED?

YES

☒ NO

COPY PROVIDED



DATE SUBMITTED: 03/10/2004 BY: JEFFREY G. MORTENSEN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 19, 2004

Kevin Georges, R.A.
Kevin Georges & Associates
127 Jefferson St. NE, Suite A
Albuquerque, NM 87108

**Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr. NW, Traffic Circulation Layout
Architect's Stamp dated 3-05-04 (G11/D10)**

Dear Mr. Georges,

Based upon the information provided in your submittal received 3-13-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide a detail for the wheelchair ramps.
2. All parking spaces located along the sidewalk will require bumpers.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-11/D10

PROJECT TITLE: ATRISCO URGENT CARE CLINIC ZONE ATLAS/DRNG. FILE #: G11 D10
 DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS SUBDIVISION
 CITY ADDRESS: 3901 ATRISCO DRIVE NW, 87120

ENGINEERING FIRM: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

OWNER: PRESBYTERIAN MEDICAL GROUP CONTACT: ARCHITECT
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: KEVIN GEORGES & ASSOCIATES CONTACT: BILL SANTIANA
 ADDRESS: 127 JEFFERSON STREET NE, SUITE A PHONE: 255-4975
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108-1216

SURVEYOR: JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN
 ADDRESS: 6010-B MIDWAY PARK BLVD. NE PHONE: (505) 345-4250
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87109

CONTRACTOR: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

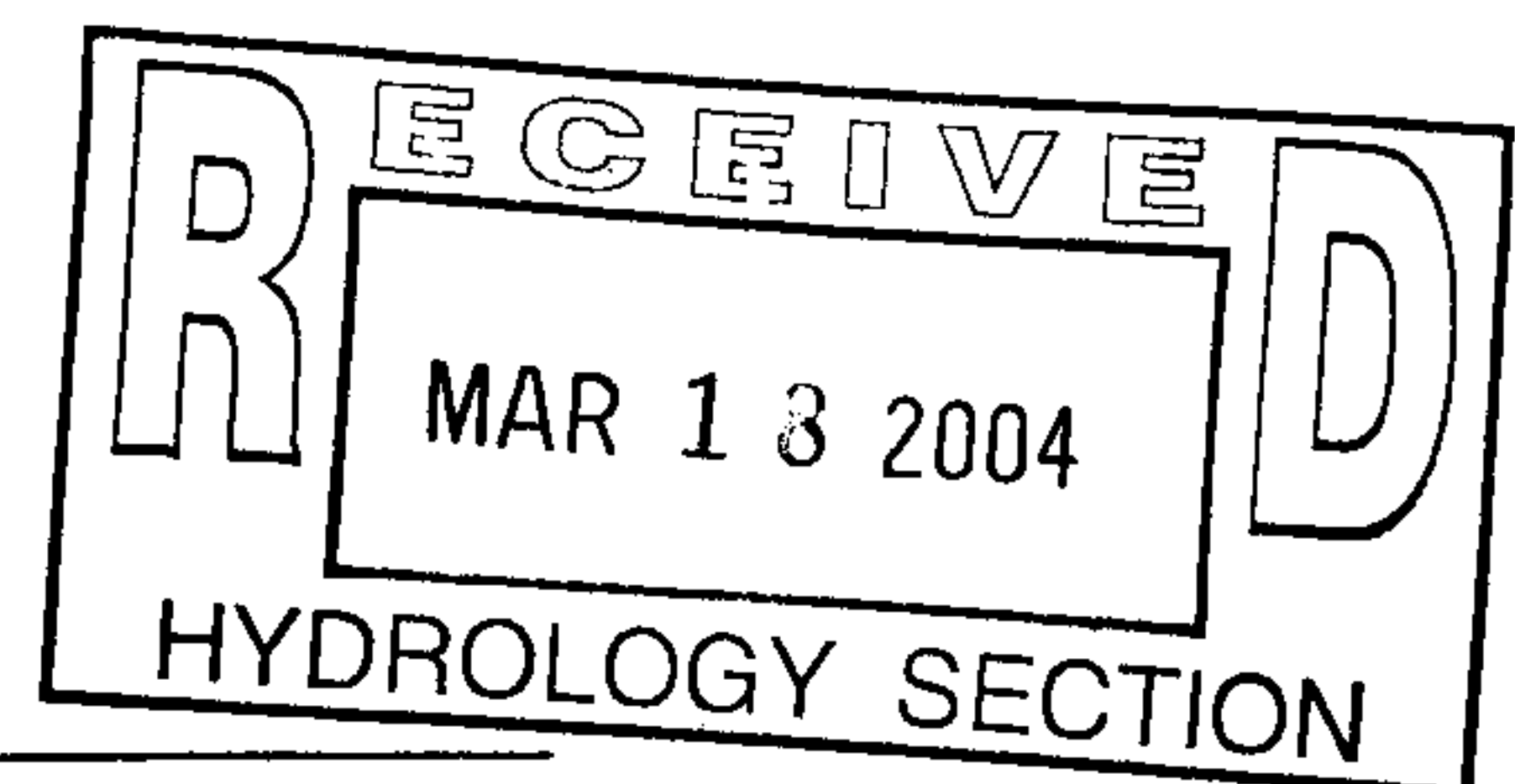
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) ADMIN AMENDMENT

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 03/10/2004 BY: JEFFREY G. MORTENSEN



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DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN AMBULANCE ZONE ATLAS/DRNG. FILE #: G-11/D10A

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C-1-A-1 ELADERA HEIGHTS SUBDIVISIONCITY ADDRESS: 3901 ATRISCO N.W.ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGRS CONTACT: KIM R. KEMPERADDRESS: 3700 COOR RD NW PHONE: 831-4520OWNER: PRES. HEALTH CARE SERVICES CONTACT: RICHARD VIGLIANOADDRESS: 3901 ATRISCO NW PHONE: 260-6343ARCHITECT: JLS ARCHITECTURE CONTACT: JOE SLAYLEADDRESS: 414 SECOND ST. PHONE: 246-0870SURVEYOR: RIO GRANDE SURVEYING CONTACT: REX VOGLERADDRESS: 3700 COORS RD NW PHONE: 831-4520

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

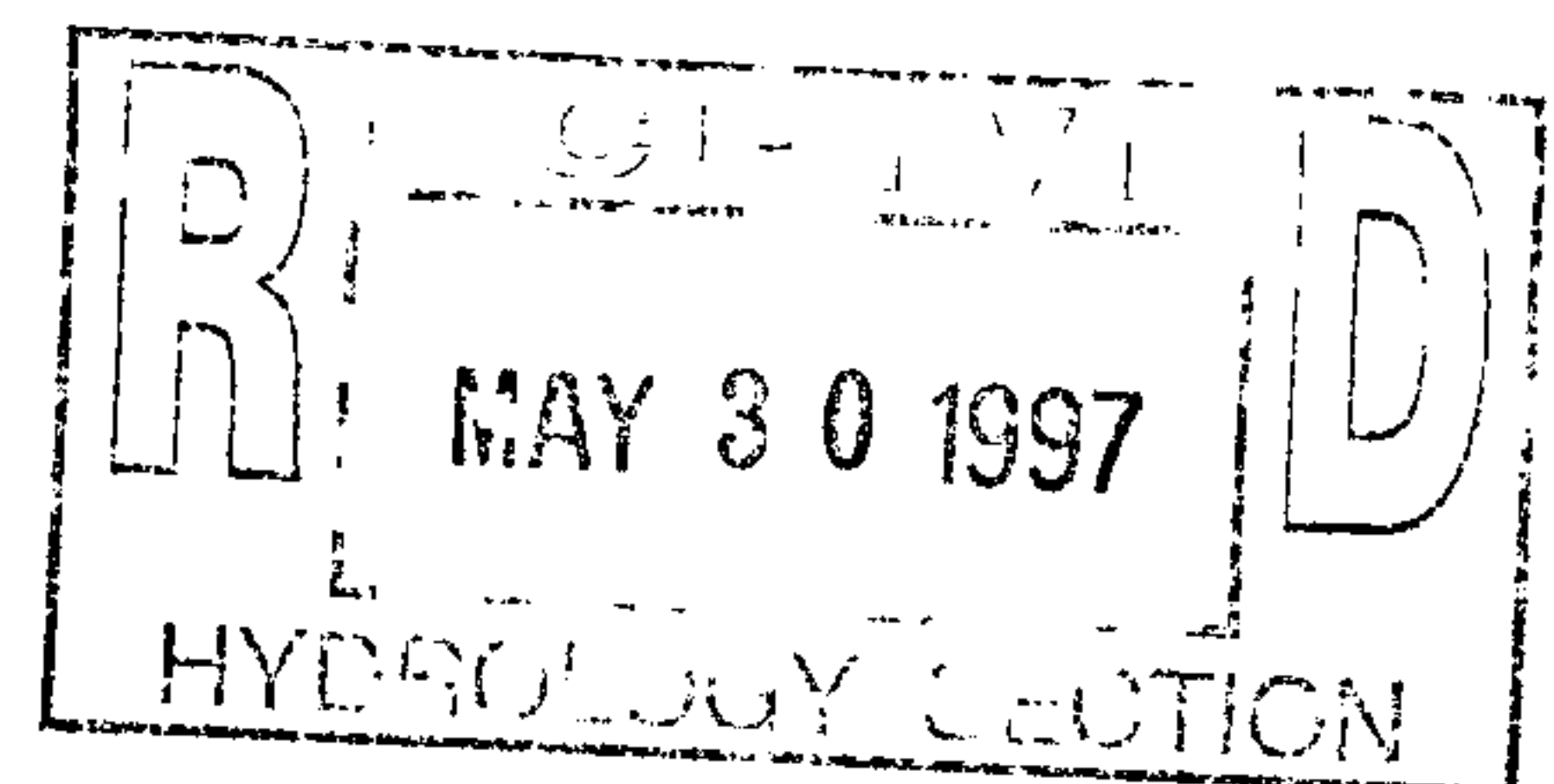
- ☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 5/29/97BY: [Signature]



Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Kim R. Kemper
Kemper-Vaughan Consulting Engineers
3700 Coors Road NW
Albuquerque, New Mexico 87120

RE: Drainage Plan for Presbyterian Ambulance (G11-D10A) Received May 30, 1997

Dear Mr Kemper:

The above referenced drainage plan dated May 29, 1997 is approved for Building Permit.

Prior to Certificate of Occupancy release the Engineer will have to certify the project per the DPM check list.

Two copies of the project was submitted and the SO #19 box was inserted on the drawing. However, you did not ask for this approval and I did not see where it applies. Please call me if you do want an SO #19 approval.

If you have any questions please call me at 924-3984.

Sincerely,

Carlos A. Montoya
Project Manager

c: Andrew Garcia
File

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





March 4, 1998

Kim Kemper, P.E.
Kemper-Vaughan Consulting Engrs
3700 Coors Road NW
Albuquerque, NM 87120

**RE: PRESBYTERIAN AMBULANCE (G11-D10A). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
APPROVAL. ENGINEER'S CERTIFICATION DATED FEBRUARY
19, 1998.**

Dear Mr. Kemper:

Based on the information provided on your February 19, 1998 submittal, the
above referenced project is approved for Certificate of Occupancy

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.

Hydrology

c: Andrew Garcia

File

Good for You, Albuquerque!



DRAINAGE INFORMATION SHEET

PROJECT TITLE: PRESBYTERIAN AMBULANCE ZONE ATLAS/DRNG. FILE #: G-11 010A

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT C-1-A-1 LADERA HEIGHTS SUBDIVISIONCITY ADDRESS: 3821 ~~3821~~ ATRISCO N.W.ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING ENGRS. CONTACT: KIM R. KEMPERADDRESS: 3700 COORS RD. NW PHONE: 831-4520OWNER: PRES. HEALTH CARE SERVICES. CONTACT: FRANK GOURLEADDRESS: 3901 ATRISCO N.W. PHONE: 242-5544ARCHITECT: JLS ARCHITECTURE CONTACT: JOE SLAGLEADDRESS: 414 SECOND ST PHONE: 246-0870SURVEYOR: RIO GRANDE SURVEYING CONTACT: REV VOGLER.ADDRESS: 3700 COORS RD. PHONE: 831-4520

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER _____

PRE-DESIGN MEETING:

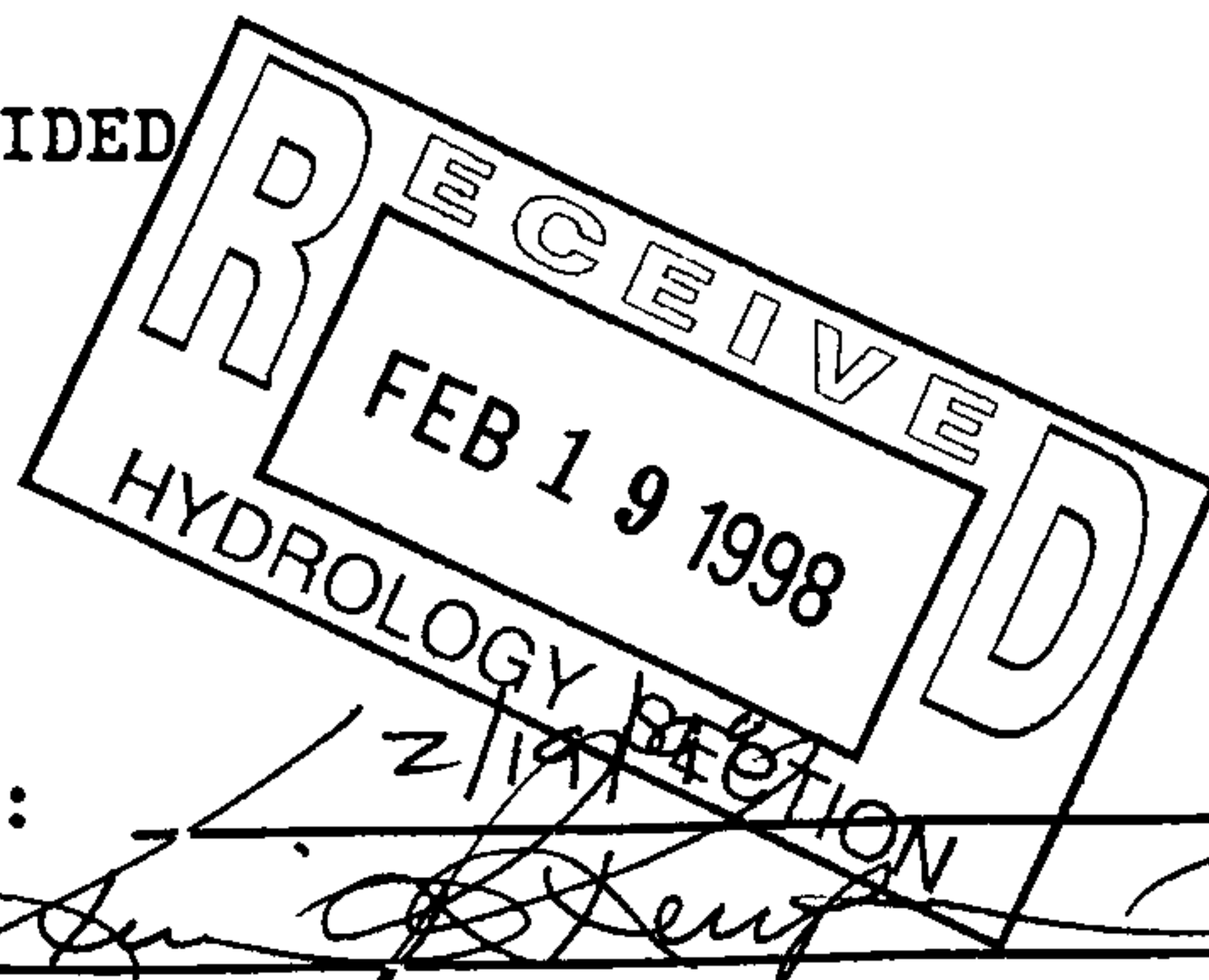
- ☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

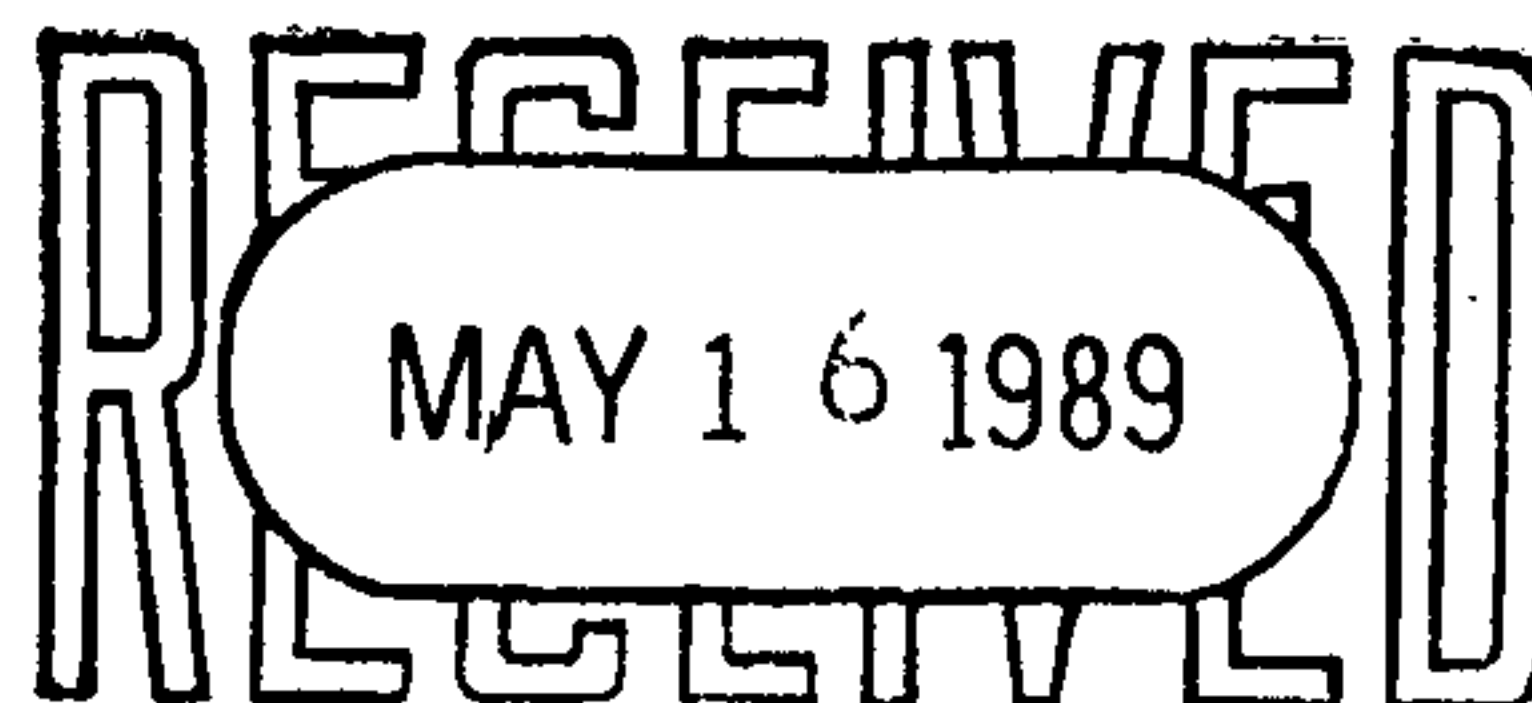
- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: _____



8944117



451

DRAINAGE COVENANT HYDROLOGY SECTION

THIS COVENANT made this 5th day of MAY, 1989, by and between,

Southwest Community Health Services, a New Mexico Corporation, Owner of tract C-3-A of the Ladera Heights Subdivision, Albuquerque, New Mexico as the same is shown and designated on the Replat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 14, 1989 in Book C38, Page 158;

and

Six - High Investors, a New Mexico General Partnership, Owner of Tract C-2-A of The Ladera Heights Subdivision, Albuquerque, New Mexico as the same is shown and designated on the replat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 14, 1989 in book C38, Page 158.

The Owner (which term includes successors and assigns) of Tract C-3-A grants to the Owner of Tract C-2-A the right to convey storm water runoff, any drainage from waterline landscaping or any other ordinary domestic use across the common boundary line of said Tracts to the right-of-way of Ladera Drive N.W.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Section of the Public Works Department and released by the Owner(s) by recorded document.

OWNER, Tract C-3-A:

Richard K. ...
Southwest Community Health Services

5-5-89
Date

OWNER, Tract C-2-A:

R. J. ... General partner
Six-High Investors

5/3/89
Date

ACKNOWLEDGEMENT

State of New Mexico)
) ss
 County of Bernalillo)

On this 5th th day of MAY, 1989, the foregoing
 instrument was acknowledged before me by RICHARD BARR,
 for Southwest Community Health Services, Inc.



OFFICIAL SEAL
Lawrence Giron
 NOTARY PUBLIC - STATE OF NEW MEXICO
 Notary Public Filed with Secretary of State
 My Commission Expires 07-16-89

Lawrence Giron
 Notary Public

ACKNOWLEDGEMENT

State of New Mexico)
) ss
 County of Bernalillo)

On this 3rd th day of May, 1989, the foregoing
 instrument was acknowledged before me by R. Schaefer,
 Managing Partner of Six-High Investors, a New Mexico General
 Partnership.



OFFICIAL SEAL
NANCYANNE ALLEN
 NOTARY PUBLIC - STATE OF NEW MEXICO
 Notary Bond Filed with Secretary of State
 My Commission Expires 8/29/92

Nancyanne Allen
 Notary Public

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO
 FILED FOR RECORD

89 MAY 16 PM 3:19

MS 749A PG 451-452
 GLADYS M. DAVIS
 CO. CLERK & RECORDER

Maple

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LADERA/PFH REMODEL ZONE ATLAS/DRNG. FILE #: G-11/A10A
DRB #: N/A EPC #: N/A WORK ORDER #: N/A
LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS
CITY ADDRESS: 3901 ATRISCO DR. NW
ENGINEERING FIRM: ISAACSON & ARMAN CONTACT: FRED ARMAN
ADDRESS: 128 MONROE ST. NE PHONE: 268-8828
OWNER: PRESBYTERIAN HEALTHCARE CONTACT: _____
ADDRESS: _____ PHONE: _____
ARCHITECT: KEVIN GEORGES & ASSOC. CONTACT: KEVIN GEORGES
ADDRESS: 127 JEFFERSON ST. STE A. PHONE: 255-4975
SURVEYOR: ALRICA LAND SURV. CONTACT: _____
ADDRESS: _____ PHONE: _____
CONTRACTOR: N/A CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

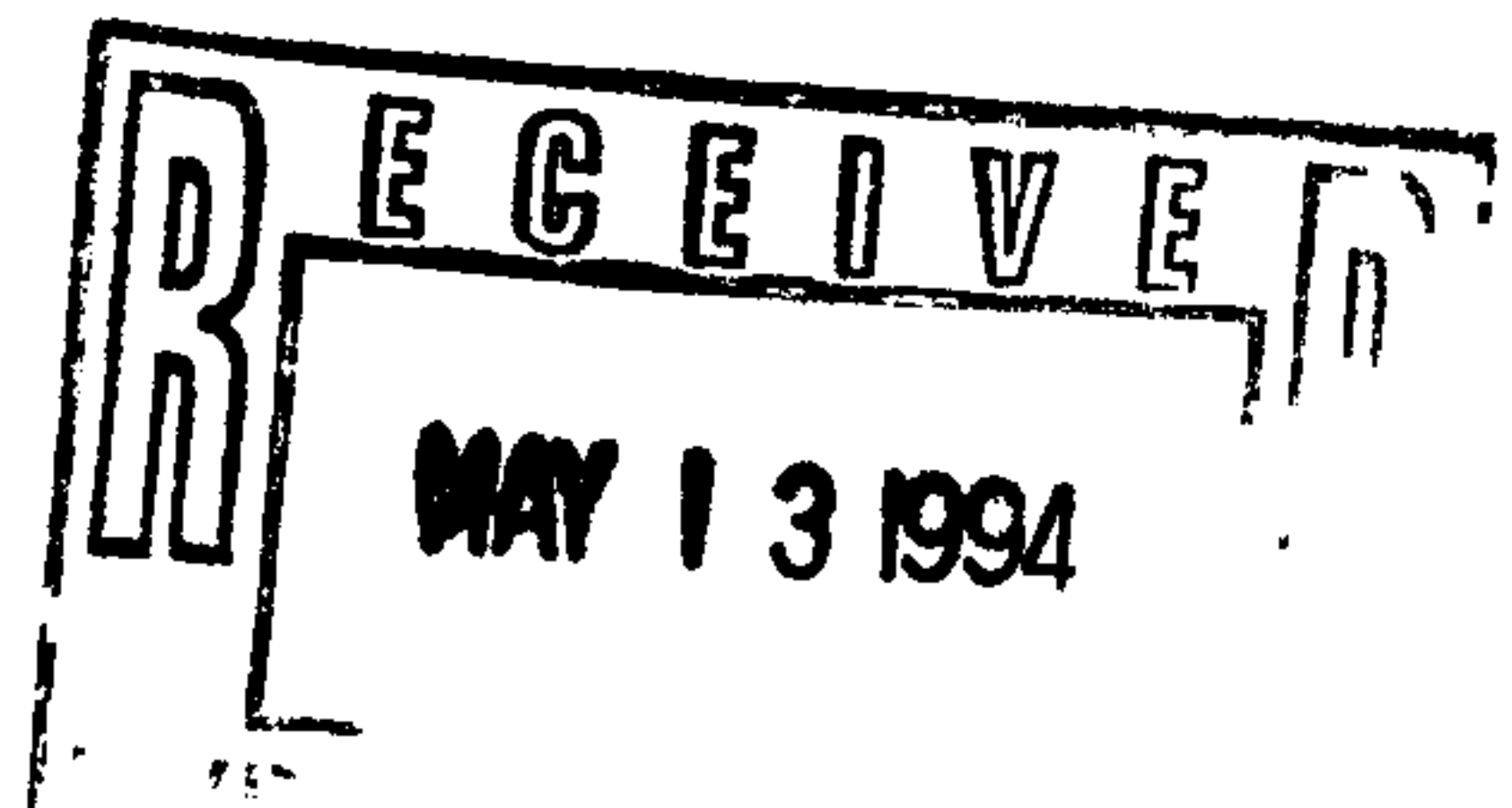
PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: MAY 12, 1994
BY: FRED C. ARMAN





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 25, 1994

Fred Arfman
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

RE: DRAINAGE PLAN FOR AN ADDITION TO LADERA/PFH @ 3901 ATRISCO DR.
NW (G11-D10A) ENGINEER'S STAMP DATED 5/11/94.

Dear Mr. Arfman:

Based on the information provided on your May 13, 1994 submittal, the above referenced site is approved for Building Permit.

A separate permit is required for construction within City Right-of-Way. a copy of this approval letter must be on hand when applying for an excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to call me at 768-2667.

Sincerely,

Bernie J. Montoya
Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/1066

c: Andrew Garcia
Arlene Portillo
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 27, 1994

Fred Arfman
Isaacson & Arfman
128 Monroe St. NE
Albuquerque, NM 87108

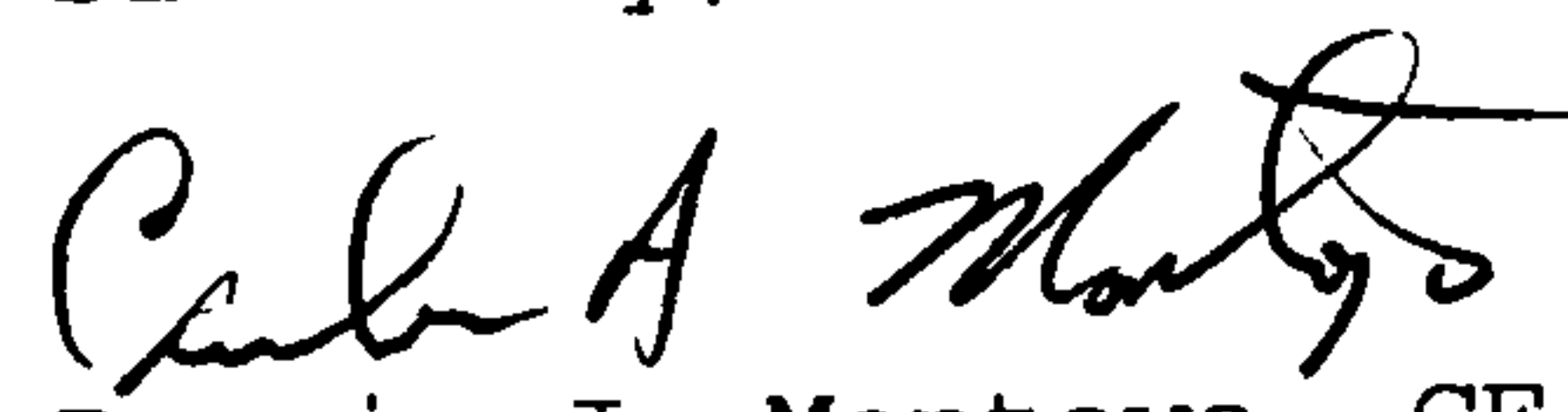
RE: REVISED ENGINEER CERTIFICATION FOR PRESBYTERIAN LADERA
HEALTH CARE PARKING LOT (G11-D10A) ENGINEER'S
CERTIFICATION STATEMENT DATED 12/16/94.

Dear Mr. Arfman:

Based on the information provided on your December 20, 1994
resubmittal, Engineer Certification for the above referenced site
is acceptable.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

for 
Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

IMAGE INFORMATION SHEET

PROJECT TITLE: LADERA/PFH REMODEL ZONE ATLAS/DRNG. FILE #: G-11/D10A
 DRB #: N/A EPC #: N/A WORK ORDER #: N/A
 LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS
 CITY ADDRESS: 3901 ATRISCO DR. NW
 ENGINEERING FIRM: ISAACSON & ZEMAN CONTACT: FRED ARZMAN
 ADDRESS: 128 MONROE ST. NE PHONE: 268-8828
 OWNER: PRESBYTERIAN HEALTHCARE CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: KEVIN GEORGES & ASSOC. CONTACT: KEVIN GEORGES
 ADDRESS: 127 JEFFERSON ST. STE. A. PHONE: 255-4975
 SURVEYOR: ALPICA LAND SURV. CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: HENDERSON CONST. CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

RESUBMITTAL

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: DEC 16, 1994
 BY: FRED C. ARZMAN

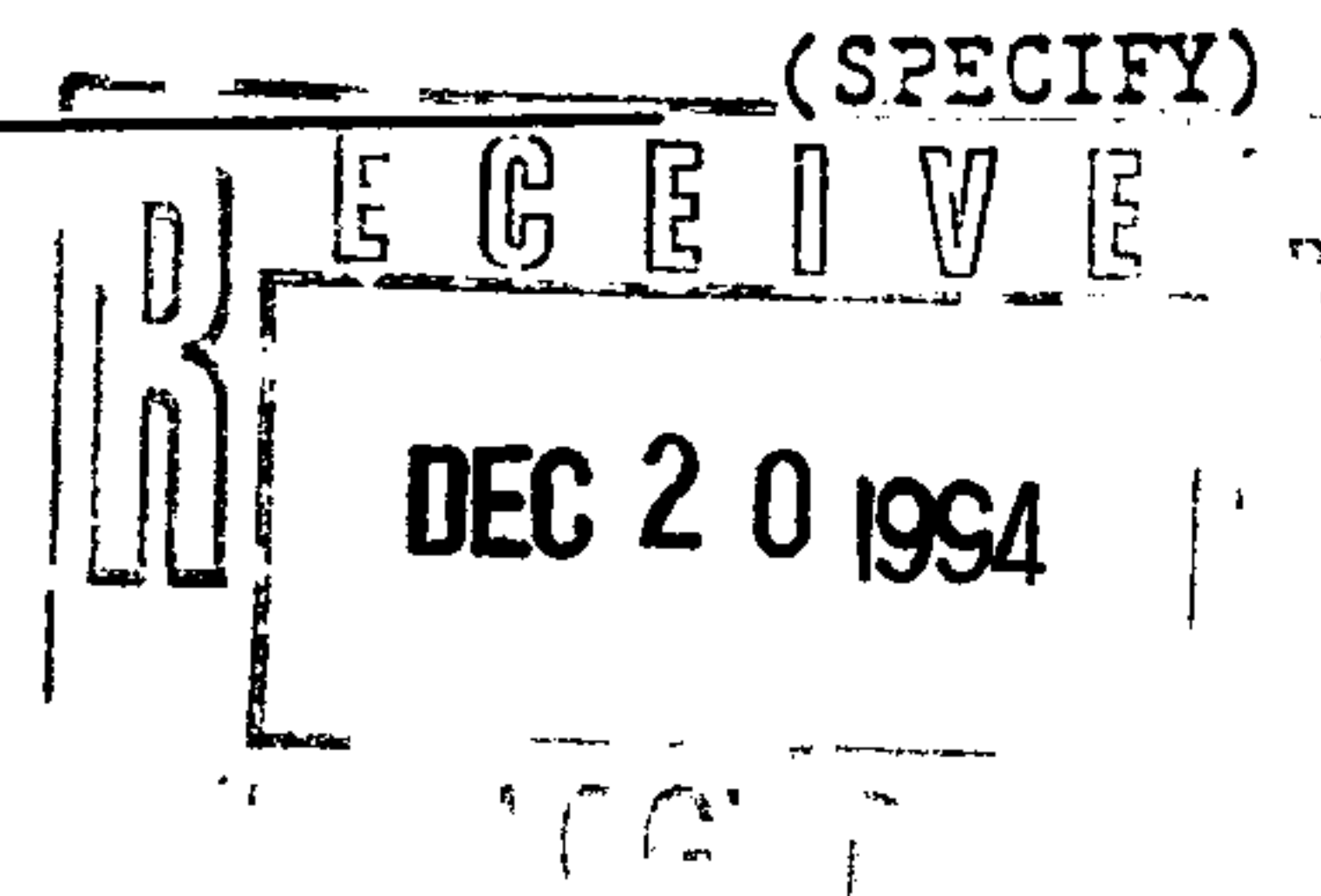


IMAGE INFORMATION SHEET

PROJECT TITLE: LADERA/PFH REMODEL ZONE ATLAS/DRNG. FILE #: G-11/D/0A
 DRB #: N/A EPC #: N/A WORK ORDER #: N/A
 LEGAL DESCRIPTION: TRACT C-1-A-1, LADERA HEIGHTS
 CITY ADDRESS: 3901 ATRISCO DR. NW
 ENGINEERING FIRM: ISAACSON & ARMAN CONTACT: FRED ARMAN
 ADDRESS: 128 MONROE ST. NE PHONE: 268-8828
 OWNER: PRESBYTERIAN HEALTHCARE CONTACT: _____
 ADDRESS: _____ PHONE: _____
 ARCHITECT: KEVIN GEORGES & ASSOC. CONTACT: KEVIN GEORGES
 ADDRESS: 127 JEFFERSON ST. STE A. PHONE: 255-4975
 SURVEYOR: ALPICA LAND SURV. CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: HENDERSON CONST. CONTACT: _____
 ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

VERBAL on 12/15/94

Original Approval on May 11, 1994
 INSTEAD of April 11, 1994

DATE SUBMITTED: DEC. 12, 1994
 BY: FRED C. ARMAN

DEC 13 1994