

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 16, 1992

Fred Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe Street, NE Albuquerque, New Mexico 87108

RE: GRADING/PAVING PLAN FOR PRESBYTERIAN LADERA HEALTHCARE PARKING LOT (G-11/D10A) ENGINEER'S STAMP DATED JUNE 12, 1992

Dear Mr. Arfman:

Based on the information provided on your submittal of June 23, 1992, the above referenced plan is approved for Grading/Paving permit.

Please be advised that after completion of the project, request for inspection must be called in. Please give the drainage file number when requesting the inspection.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.

Engineering Assistant

xc: Alan Martinez

BJM/bjf (WP+1066)

PUBLIC WORKS DEPARTMENT

PRESISTERIA LADERA PROJECT TITLE: HEALTHCARE PKNG. LOT ZONE ATLAS/DRNG. FILE #: 6-1/0104 DRB #: ______ EPC #: _____ WORK ORDER #: ______ \/A LEGAL DESCRIPTION: To C-3-A LADERA HEICHTS SUBDIVISION CITY ADDRESS: 3901 ATZISCO NW. ENGINEERING FIRM: ISAACSON & ARFMAN, P.A. CONTACT: FRED C. ARFMAN ADDRESS: 128 MONROE ST. N.E PHONE: 267 8828 OWNER: PRESIGNA HEALTH CARE SERVES) CONTACT: RICHARD VILGIANO ADDRESS: 4775 TNO, SCH. RO. 200 FIR PHONE: 260-6330 ARCHITECT: ______ CONTACT: PHONE: ADDRESS: SURVEYOR: LILLIAM P. PETTIT CONTACT: BILL PETTIT PHONE: 203-10631 ADDRESS: CONTACT: CONTRACTOR: LINIKOWWW PHONE: ADDRESS: CHECK TYPE OF APPROVAL SOUGHT: TYPE OF SUBMITTAL: ___ SKETCH PLAT APPROVAL DRAINAGE REPORT ____ DRAINAGE PLAN PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR BLDG. PERMIT APPROVAL GRADING PLAN SECTOR PLAN APPROVAL EROSION CONTROL PLAN FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION FOUNDATION PERMIT APPROVAL OTHER BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL PRE-DESIGN MEETING: X YES GRADING PERMIT APPROVAL _____ PAVING PERMIT APPROVAL COPY PROVIDED S.A.D. DRAINAGE REPORT ___ DRAINAGE REQUIREMENTS (SPECIFY) OTHER JUN 2 3 1992 ISAAC SON & ARMAN, P.A.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT UTILITY DEVELOPMENT DIVISION/HYDROLOGY SECTION

PRE-DESIGN CONFERENCE

| DRAINAGE FILE/ZONE ATLAS PAGE NO.: G/J | DATE: 4/8/92 |
|--|--|
| EPC NO.: DRB NO.: | zone: |
| SUBJECT: PRES LADARA HERLAL (PR | |
| STREET ADDRESS: | |
| LEGAL DESCRIPTION: TROC+ (-3-1) LOVER | 0 1/2/9/11 |
| | |
| APPROVAL REQUESTED: PRELIMINARY PLAT | FINAL PLAT |
| SITE DEVELOPMENT PLAN | BUILDING PERMIT |
| SILE DEVELOTMENT THAN ——————————————————————————————————— | |
| GRADING/PAVING PERMIT | OTHER |
| | |
| WHO | REPRESENTING |
| ATTENDANCE: FRO DRFMON | |
| FRED J AGUIRRE | |
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|) _ | |
| FINDINGS: UPDA (5) | |
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| At the Interest of the two. | +100275 ONLY. |
| . FREE DISTMARGE APPROPIATE | given that the previous |
| DRUKLOPMENT INDS GRANTED 1 | FRU VISHARGE AND |
| this appears to be An Existing BASIN. | IN-FICE SIF IN THE |
| CXISTING BASIN. | |
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| The undersigned agrees that the above findings are s | summarized accurately and are only |
| subject to change if further investigation reveals | _ |
| they are based on inaccurate information. | |
| SIGNED: SIGNED: | - Manage |
| TITLE: TITLE: | 1/ROJ. ENGR. |
| DATE: $\frac{4/8/92}{DATE}$ | 4-8-92 |
| **NOTE** PLEÁSE PROVIDE A COPY OF THIS PRE-DESIGN 1 | FORM WITH THE DRAINAGE SUBMITTAL. |



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 24, 1991

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR LADERA FAMILY HEALTHCARE (G-11/D10A) ENGINEER'S STAMP DATED JULY 19, 1991

Dear Mr. Arfman:

Based on the information provided on your resubmittal of July 22, 1991, revisions as indicated for the additions to the Ladera Family Healthcare are acceptable for building permit approval.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez

BJM/bsj (WP+1066)

PUBLIC WORKS DEPARTMENT

Walter H. Nickerson, Jr., P.E. Assistant Director Public Works

ENGINEERING GROUP

Telephone (505) 768-2500

| PROJECT TITLE: LADERA FAMILY HEALTHCARE | ZONE ATLAS/DRNG. FILE #: 5-1/10 |
|---|---|
| LEGAL DESCRIPTION: TR. C-1-A, L | FORA HEIGHTS SUBDIVISION |
| CITY ADDRESS: 3901 ATRISCO | |
| ENGINEERING FIRM: ISAACSON FARFMA | D.P.A. CONTACT: FRED C. AREMAN |
| ADDRESS: 128 Monroe ST. N | .E PHONE: 268-88. |
| OWNER: PRES, CARE SERVICES | CONTACT: |
| | PHONE: <u>\$23-8000</u> |
| ARCHITECT: STEVENS, MARLOER PEARLE CA | |
| ADDRESS: 115 Amiturst S. | E. PHONE: 255-8667 |
| SURVEYOR: WILLIAM P. PETTIT | CONTACT: RIL BETTIT |
| ADDRESS: | FHONE: 266-631 |
| CONTRACTOR: WA. | CONTACT: |
| ADDRESS: | FHONE: |
| YES WIND (DISCUSSED WI CHBERT ALDER COPY OF CONFERENCE RECAP 7-16-91) SHEET PROVIDED | DRB NO EPC NO PROJ. NO |
| TYPE OF SUBMITTAL: | CHECK TYPE OF APPROVAL SOUGHT: |
| DRAINAGE REPORT | SKETCH PLAT APPROVAL |
| DRAINAGE PLAN | PRELIMINARY PLAT APPROVAL |
| CONCEPTUAL GRADING & DRAINAGE PLAN | SITE DEVELOPMENT PLAN APPROVAL |
| GRADING PLAN | FINAL PLAT APPROVAL |
| | BUILDING PERMIT APPROVAL |
| ENGINEER'S CERTIFICATION | FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL |
| FORNE | ROUGH GRADING PERMIT APPROVAL |
| | GRADING/FAVING PERMIT APPROVAL |
| JUL 2 2 1991 | OTHER (SPECIFY) |
| DATE SUBMITTED: DYNRALCSZDIYSON | |
| BY: FRED C. ARFMAN | |

| PROJECT TITLE: RES CARE ANNEX LEGAL DESCRIPTION: TR. C-1-A, L | ZONE ATLAS/DRNG. FILE #: 6-1/0/ |
|---|-----------------------------------|
| LEGAL DESCRIPTION: NR. C-I-A, L. CITY ADDRESS: NA | ADERA HEIGHTS SID |
| ENGINEERING FIRM: TA | CONTACT: F.C. AFFMAL |
| ADDRESS: | PHONE: 262-8828 |
| WNER: | CONTACT: |
| ADDRESS: | PHONE: |
| RCHITECT: | CONTACT: |
| ADDRESS: | PHONE: |
| URVEYOR: | CONTACT: |
| ADDRESS: | PHONE: |
| ONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| HYDROLOGY SECTIO COPY OF CONFERENCE RECAP SHEET PROVIDED TWPORMATION | PROJ. NO |
| YPE OF SUBMITTAL: | CHECK TYPE OF APPROVAL SOUGHT: |
| DRAINAGE REPORT | SKETCH PLAT APPROVAL |
| DRAINAGE PLAN | PRELIMINARY PLAT APPROVAL |
| CONCEPTUAL GRADING & DRAINAGE PLAN | SITE DEVELOPMENT PLAN APPROVAL |
| GRADING PLAN | FINAL PLAT APPROVAL |
| EROSION CONTROL PLAN | BUILDING PERMIT APPROVAL |
| ENGINEER'S CERTIFICATION | FOUNDATION PERMIT APPROVAL |
| REDUESTED SPREAMENTAL | CERTIFICATE OF OCCUPANCY APPROVAL |
| INFORMATION | ROUGH GRADING PERMIT APPROVAL |
| DRWG. Coversor | GRADING/PAVING PERMIT APPROVAL |
| OFFSITE GROWG, LETTE | OTHER (SPECIFY) |
| ATE SUBMITTED: 5-16-87 | |
| אוב סטמוווופט: | |

Isaacson & Arfman, P.A.

Consulting Engineering Associates

April 26, 1989

Mr. R.J. Schaefer Managing General Partney _ ____ Six-high Investors

HYDROLOGY SECTION P.O. Box 14708 Albuquerque, N.M. 87191

RE: Tract C-2-A & C-3-A, Ladera Heights Subdivision

Dear Mr. Schaefer:

Isaacson & Arfman, P.A. has been contracted by de La Torre/Rainhart Architects to prepare the site's civil engineering drawings for the Pres Care Annex schedule for construction on the referenced tract C-1-A. As a condition of approval for hydrology, you as Managing General Partner of Tract C-2-A must grant approval for Pres Care's contractor to enter onto your property to construct a minor storm water berm/swale along the common lot line. This temporary facility will effectively deflect any and all overland storm water sheet flows to either Atrisco Drive or to the vacant Tract C-3-A and would then discharge into Ladera Road's right-of-way.

MAY 1 6 1989

Your concurrence with the above mentioned off-site improvements is indicated by you signing in the space provided below. Thank you for your assistance in this matter for Southwest Community Health Services is most anxious to proceed with their Pres Care facility.

Very truly yours, Isaacson & Arfman, P.A.

C. Arfman./P.E

FCA/rrt

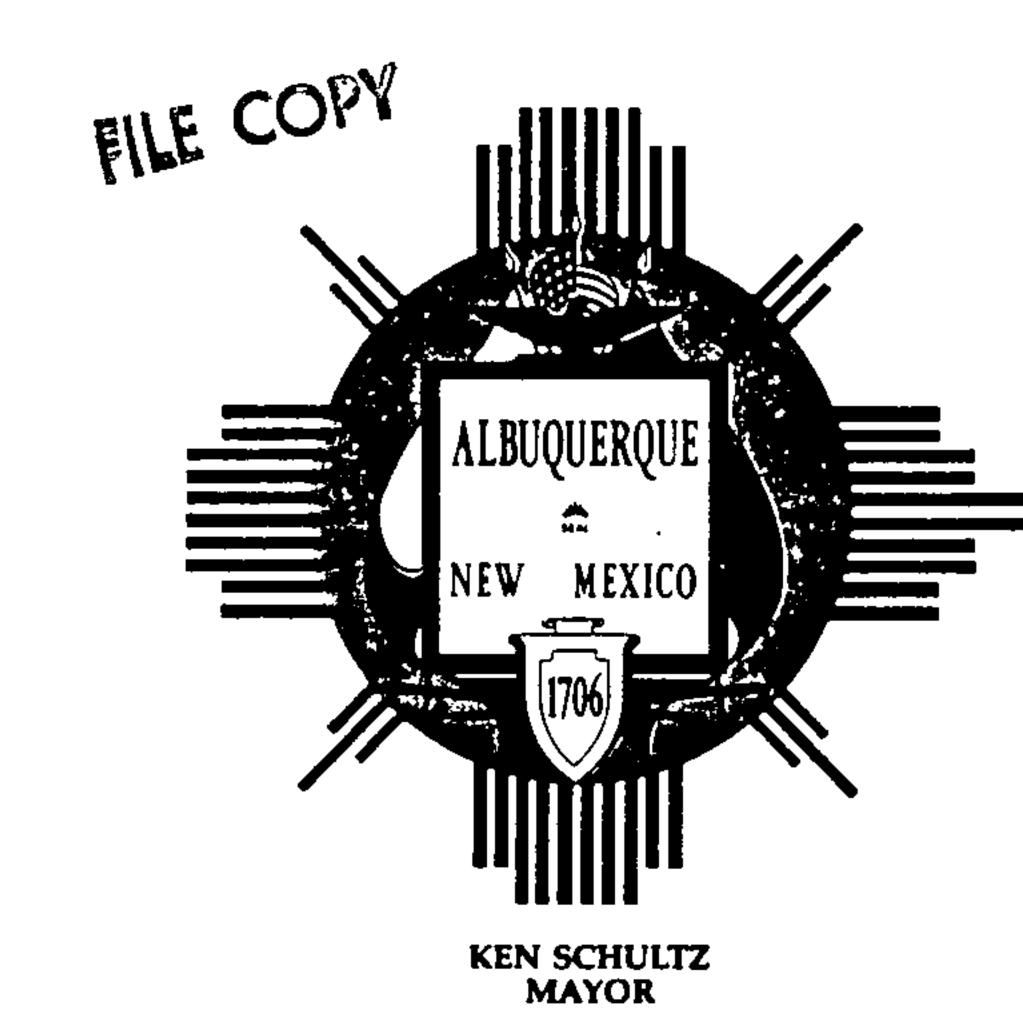
CONCURRENCE

Schaefer

Managing General Partnership

Six-High Investors

Albuquerque, NM 87108 128 Monroe, NE



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 3, 1989

Fred Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street, NE
Albuquerque, New Mexico 87108

RE: REVISED DRAINAGE PLAN FOR PRESBYTERIAN CARE ANNEX

(G-11/D10A) REVISION DATED APRIL 25, 1989

Dear Mr. Arfman:

Based on the information provided on your resubmittal of April 26, 1989, the above referenced plan is approved for Building Permit. Please be advised that the building permit will not be released until the covenant is submitted for our review. Also, prior to Certificate of Occupancy release, we will need a copy of the letter of acceptance for Work Order No. 3720.

Please attach a copy of this plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Dennie J. Montoya, C.E.

Engineering Assistant

BJM/bsj (WP+1066)

| PROJECT TITLE: PRES CARE ANNEX LEGAL DESCRIPTION: TRACT C-1-A, CITY ADDRESS: WARNOWN | LADGER HEIGHTS SUED. |
|---|---|
| ENGINEERING FIRM: ISAACSON) - ARFIN | TWO CONTACT: FRED ARFMAN |
| ADDRESS: 128 MDN1205 ST OWNER: 5.41. Community HEATH SE | NE PHONE: 265-888 R.J. CONTACT: CARDL PIERCE |
| ADDRESS: | PHONE: <u>\$25-\$33</u> \$ |
| ARCHITECT: SELATORRE / RAINHAR | CONTACT: Dege de 1 PRE |
| ADDRESS: | PHONE: <u>\$47-9500</u> |
| SURVEYOR: WILLIAM P. VETTET SURV. | SINC CONTACT: 15/4 PETOTO |
| ADDRESS: | PHONE: 248-651 |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| PRE-DESIGN MEETING: YES NO COPY OF CONFERENCE RECAP SHEET PROVIDED | 9) NO |
| TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN (RESUBMITTAL) CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION X COMPANSE IS FORTHCOMING. | CHECK TYPE OF APPROVAL SOUGHT: SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL SITE DEVELOPMENT PLAN APPROVAL FINAL PLAT APPROVAL BUILDING PERMIT APPROVAL FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL ROUGH GRADING PERMIT APPROVAL GRADING/PAVING PERMIT APPROVAL OTHER (SPECIFY) |
| DATE SUBMITTED: 4-76-89 BY: FRED C- ARFMAN | |



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

KEN SCHULTZ CLARENCE V. LITHGOW **MAYOR**

CHIEF **ADMINISTRATIVE OFFICER**

DAN WEAKS DEPUTY CAO **PUBLIC SERVICES**

FRED E. MONDRAGON **DEPUTY CAO** DEVELOPMENT & ENTERPRISE SERVICES

April 13, 1989

Fred Arfman, P.E. Isaacson & Arfman, P.A. 128 Monroe Street, NE Albuquerque, New Mexico 87108

> RE: DRAINAGE PLAN FOR PRES. CARE ANNEX (G-11/D10A) RECEIVED APRIL 8, 1989 AND DATED APRIL 5, 1989

Dear Mr. Arfman:

Based on the information provided on your submittal of April 5, 1989, listed are some concerns that must be addressed prior to approval:

- 1. You must accept the off-site flows entering the site from the south. Please quantify the off-site flows.
- 2. All roof drainage on the north side of the building must be conveyed towards the parking lot area. No developed runoff is allowed across a public sidewalk.

If I can be of further assistance, please feel free to call me at 768-2650.

Cordially,

Engineering Assistant

BJM/bsj (WP+1066)

| PROJECT TITLE: PRES CARE ANNEX | ZONE ATLAS/DRNG. FILE #: 6-//D |
|--|-----------------------------------|
| LEGAL DESCRIPTION: TRACT C-/-A | LADGER HEIGHTS SUBD. |
| CITY ADDRESS: () () () () () () | |
| ENGINEERING FIRM: ISAACEDA) & ARFIN | AN CONTACT: FRED ARFMAN |
| ADDRESS: 128 Mon1205 57 | 105 PHONE: 265-888 |
| OWNER: S.W. Community History S | ERIL CONTACT: CARDE PIERCE |
| ADDRESS: | PHONE: 525-5335 |
| ARCHITECT: de LA TORRE / RAINHAR | T CONTACT: JORGE de la Trors |
| ADDRESS: | PHONE: <u>747-950</u> |
| SURVEYOR: WILLIAM P. PETTET SURI | EVINC CONTACT: 15/4/2- |
| ADDRESS: | PHONE: 25-651 |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| PRE-DESIGN MEETING: YES NO COPY OF CONFERENCE RECAP SHEET PROVIDED HYDROLOGY SE | PROJ. NO. |
| TYPE OF SUBMITTAL: | CHECK TYPE OF APPROVAL SOUGHT: |
| DRAINAGE REPORT | SKETCH PLAT APPROVAL |
| DRAINAGE PLAN | PRELIMINARY FLAT APPROVAL |
| CONCEPTUAL GRADING & DRAINAGE PLAN | SITE DEVELOPMENT PLAN APPROVAL |
| GRADING PLAN | FINAL PLAT APPROVAL |
| EROSION CONTROL PLAN | BUILDING PERMIT APPROVAL |
| ENGINEER'S CERTIFICATION | FOUNDATION PERMIT APPROVAL |
| | CERTIFICATE OF OCCUPANCY APPROVAL |
| | ROUGH GRADING PERMIT APPROVAL |
| | GRADING/PAVING PERMIT APPROVAL |
| | OTHER (SPECIFY) |
| DATE SUBMITTED: 4-5-85 | · |
| BY: FRED C- ARFMAN) | |



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 26, 2004

Jeffrey Mortensen, P.E.
Jeff Mortensen & Associates, Inc.
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr NW, Grading and Drainage

Plan

Engineer's Stamp dated 4-04-04 (G11/D10)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 4-06-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro

Sincerely,

Engineering Associate, Planning Dept.

Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

G-11010

| PROJECT TITLE: DRB #: | ATRISCO URGENT CARE CLINIC EPC #: | ZONE ATLAS/DRNG. FILE #:G11 <u>D10</u> WORK ORDER #: | | |
|---|---|--|---|--|
| LEGAL DESCRIPTION: | | DIVISION | | |
| CITY ADDRESS: 3 | 901 ATRISCO DRIVE NW, 87120 | | | |
| ENGINEERING FIRM: | JEFF MORTENSEN & ASSOC., INC. | CONTACT: | JEFF MORTENSEN | |
| ADDRESS: | 6010-B MIDWAY PARK BLVD. NE | PHONE: | (505) 345-4250 | |
| CITY, STATE: | ALBUQUERQUE, NM | ZIP CODE: | 87109 | |
| OWNER: PRESBYT | ERIAN MEDICAL GROUP | CONTACT: | ARCHITECT | |
| ADDRESS: | | PHONE: | | |
| CITY, STATE: | | ZIP CODE: | - · · · · · · · · · · · · · · · · · · · | |
| ARCHITECT: KEV | IN GEORGES & ASSOCIATES | CONTACT: | BILL SANTIANA | |
| ADDRESS: | 214 TRUMAN STREET NE | PHONE: | 255-4975 | |
| CITY, STATE: | ALBUQUERQUE, NM | ZIP CODE: | 87108-1333 | |
| SURVEYOR: JEFI | F MORTENSEN & ASSOC., INC. | CONTACT: | JEFF MORTENSEN | |
| ADDRESS: | | PHONE: | (505) 345-4250 | |
| CITY, STATE: | ALBUQUERQUE, NM | ZIP CODE: | 87109 | |
| CONTRACTOR: | NOT KNOWN | CONTACT: | | |
| ADDRESS: | | PHONE: | | |
| CITY, STATE: | · · · · · · · · · · · · · · · · · · · | ZIP CODE: | | |
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| WAS A PRE-DESIGN OF YES X NO COPY PROVIDES DATE SUBMITTED: | | G. MORTENSEN | D 国 V 国 D APR 0 6 2004 HYDROLOGY SECTION | |
| | | | L. I. DI OLOGI GEO HON | |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 26, 2004

Jeffrey Mortensen, P.E. Jeff Mortensen & Associates, Inc. 6010-B Midway Park Blvd. NE Albuquerque, NM 87109

Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr NW, Conceptual Grading and

Drainage Plan

Engineer's Stamp dated 3-10-04 (G11/D10)

Dear Mr. Mortensen,

Based upon the information provided in your submittal received 3-10-04, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB.

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro

Sincerely,

Engineering Associate, Planning Dept. Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

| PROJECT TITLE: DRB #: | ATRISCO URGENT CARE CLINIC EPC #: | ZONE ATLAS/DRNG. WORK ORDER #: | FILE #:G11 <u>D10</u> |
|--|--|---|--|
| LEGAL DESCRIPTION: CITY ADDRESS: 3 | TRACT C-1-A-1, LADERA HEIGHTS S 901 ATRISCO DRIVE NW, 87120 | UBDIVISION | |
| ENGINEERING FIRM: ADDRESS: CITY, STATE: | JEFF MORTENSEN & ASSOC., INC. 6010-B MIDWAY PARK BLVD. NE ALBUQUERQUE, NM | CONTACT: PHONE: ZIP CODE: | JEFF MORTENSEN (505) 345-4250 87109 |
| OWNER: PRESBYT ADDRESS: CITY, STATE: | ERIAN MEDICAL GROUP | CONTACT: PHONE: ZIP CODE: | ARCHITECT |
| | IN GEORGES & ASSOCIATES 127 JEFFERSON STREET NE, SUITE A ALBUQUERQUE, NM | CONTACT: | BILL SANTIANA 255-4975 87108-1216 |
| | MORTENSEN & ASSOC., INC. 6010-B MIDWAY PARK BLVD. NE ALBUQUERQUE, NM | CONTACT: PHONE: ZIP CODE: | JEFF MORTENSEN (505) 345-4250 87109 |
| CONTRACTOR: ADDRESS: CITY, STATE: | N/A | CONTACT: PHONE: ZIP CODE: | |
| DRAINAGE PLAN CONCEPTUAL G GRADING PLAN EROSION CONTI ENGINEER'S CEI CLOMR/LOMR TRAFFIC CIRCUI ENGINEER'S CEI | ORT I 1 st SUBMITTAL, <i>REQUIRES TCL or equal</i> I RESUBMITTAL RADING & DRAINAGE PLAN | PRELIMINARY PLA S. DEV. PLAN FOR X S. DEV. PLAN FOR SECTOR PLAN APP FINAL PLAT APPRO FOUNDATION PER BUILDING PERMIT CERTIFICATE OF C GRADING PERMIT PAVING PERMIT AL WORK ORDER APP | ARANTEE RELEASE T APPROVAL SUB'D APPROVAL BLDG. PERMIT APPROVAL PROVAL OVAL MIT APPROVAL APPROVAL OCCUPANCY (PERM.) OCCUPANCY (TEMP.) APPROVAL PPROVAL |
| WAS A PRE-DESIGN OF YES X NO COPY PROVIDE | CONFERENCE ATTENDED: | | D) CCOVE |
| following levels of subm | of Site Development Plans and/or Subdivision and scope of the proposed development dittal may be required based upon the following all Grading and Drainage Plan: Required for | ng: | |

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5)
 acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. **Drainage Report**: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 1, 2004

Kevin Georges, R.A. Kevin Georges & Associates 214 Truman St. NE Albuquerque, NM 87108

Re:

Atrisco Urgent Care Clinic, 3901 Atrisco Dr. NW, Traffic Circulation Layout Architect's Stamp dated 3-30-04 (G11/D10)

Dear Mr. Georges,

The TCL submittal received 3-25-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

cc:

file

JMA _20Q4.008.2_ DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/28/2003rd) ZONE ATLAS/DRNG. FILE #:G11 ATRISCO URGENT CARE CLINIC PROJECT TITLE: **WORK ORDER #:** EPC #: TRACT C-1-A-1, LADERA HEIGHTS SUBDIVISION LEGAL DESCRIPTION: 3901 ATRISCO DRIVE NW, 87120 CITY ADDRESS: JEFF MORTENSEN CONTACT: JEFF MORTENSEN & ASSOC., INC. **ENGINEERING FIRM:** (505) 345-4250 PHONE: 6010-B MIDWAY PARK BLVD. NE ADDRESS: 87109 ZIP CODE: ALBUQUERQUE, NM CITY, STATE: CONTACT: ARCHITECT PRESBYTERIAN MEDICAL GROUP OWNER: PHONE: ADDRESS: ZIP CODE: CITY, STATE: **BILL SANTIANA** CONTACT: **KEVIN GEORGES & ASSOCIATES** ARCHITECT: 255-4975 127 JEFFERSON STREET NE, SUITE A PHONE: ADDRESS: ZIP CODE: 87108-1216 ALBUQUERQUE, NM CITY, STATE: 3/30/04 JEFF MORTENSEN & ASSOC., INC. CONTACT: JEFF MORTENSEN SURVEYOR: (505) 345-4250 6010-B MIDWAY PARK BLVD. NE PHONE: ADDRESS: ZIP CODE: 87109 ALBUQUERQUE, NM CITY, STATE: CONTACT: N/A CONTRACTOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: TYPE OF SUBMITTAL: SIA/FINANCIAL GUARANTEE RELEASE DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL DRAINAGE PLAN RESUBMITTAL 3. DEV. PLAN FOR BLDG. PERMIT APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN SECTOR PLAN APPROVAL GRADING PLAN FINAL PLAT APPROVAL EROSION CONTROL PLAN FOUNDATION PERMIT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) **BUILDING PERMIT APPROVAL**

'RB#:

CLOMR/LOMR CERTIFICATE OF OCCUPANCY (PERM.) TRAFFIC CIRCULATION LAYOUT (IGL) ENGINEER'S CERTIFICATION (TCL) CERTIFICATE OF OCCUPANCY (TEMP.) ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL OTHER **WORK ORDER APPROVAL** OTHER (SPECIFY) ADMIN AMENDMENT WAS A PRE-DESIGN CONFERENCE ATTENDED MAR 2 5 2004 YE& X NO HYDROLOGY SECTION COPY PROVIDED JEFFREY G. MORTENSEN 03/ 10 /2004 BY: DATE SUBMITTED:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

- Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 19, 2004

Kevin Georges, R.A. Kevin Georges & Associates 127 Jefferson St. NE, Suite A Albuquerque, NM 87108

Re: Atrisco Urgent Care Clinic, 3901 Atrisco Dr. NW, Traffic Circulation Layout Architect's Stamp dated 3-05-04 (G11/D10)

Dear Mr. Georges,

Based upon the information provided in your submittal received 3-13-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please provide a detail for the wheelchair ramps.
- 2. All parking spaces located along the sidewalk will require bumpers.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Wilfred A. Gallegos, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: file

HYDROLOGY SECTION

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

| - | | | | |
|------------------------------|---|-------------|----------------|---------------------------------------|
| PROJECT TITLE: | ATRISCO URGENT CARE CLINIC | | | FILE #:G11 <u>D10</u> |
| `RB #: | EPC #: | | K ORDER #: | |
| LEGAL DESCRIPTION: | TRACT C-1-A-1, LADERA HEIGHTS SU | BDIVISION | | • |
| | 001 ATRISCO DRIVE NW, 87120 | | | |
| 011170011L00 | | | ·,· | |
| ENGINEERING FIRM: | JEFF MORTENSEN & ASSOC., INC. | | CONTACT: | JEFF MORTENSEN |
| ADDRESS: | 6010-B MIDWAY PARK BLVD. NE | | PHONE: | (505) 345-4250 |
| CITY, STATE: | ALBUQUERQUE, NM | | ZIP CODE: | 87109 |
| | | | | |
| OWNER: PRESBYT | ERIAN MEDICAL GROUP | | CONTACT: | ARCHITECT |
| ADDRESS: | | <u> </u> | PHONE: | |
| CITY, STATE: | | | ZIP CODE: | |
| <u></u> | | | CONTACT: | BILL SANTIANA |
| / | N GEORGES & ASSOCIATES | <u> </u> | PHONE: | 255-4975 |
| ADDRESS: | 127 JEFFERSON STREET NE, SUITE A | <u> </u> | ZIP CODE: | 87108-1216 |
| CITY, STATE: | ALBUQUERQUE, NM | <u> </u> | _ ZII OODL. | 01100-1210 |
| SURVEYOR: JEFF | MORTENSEN & ASSOC., INC. | | CONTACT: | JEFF MORTENSEN |
| ADDRESS: | 6010-B MIDWAY PARK BLVD. NE | | PHONE: | (505) 345-4250 |
| CITY, STATE: | ALBUQUERQUE, NM | | ZIP CODE: | 87109 |
| 0111, 01711 | | | - | |
| CONTRACTOR: | N/A | | CONTACT: | |
| ADDRESS: | | | PHONE: | · · · · · · · · · · · · · · · · · · · |
| CITY, STATE: | | | ZIP CODE: | |
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| TYPE OF SUBMITTAL: | | | | OVAL SOUGHT: ARANTEE RELEASE |
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| | RTIFICATION (TCL) | CEF | RTIFICATE OF C | OCCUPANCY (TEMP.) |
| | RTIFICATION (DRB APPR. SITE PLAN) | GR/ | ADING PERMIT | APPROVAL |
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| | CONFERENCE ATTENDED: | | |) LECELVE |
| YES | | | 11 _ < | |
| X NO | | | | |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based upon the following:

BY:

03/ 10 /2004

COPY PROVIDED

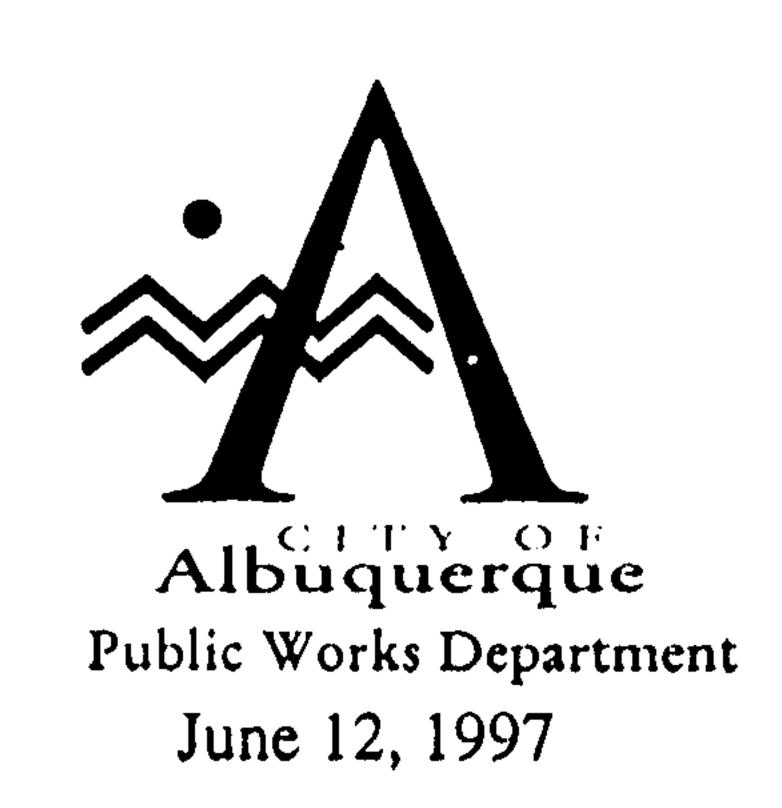
DATE SUBMITTED:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

JEFFREY G. MORTENSEN

- 2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

| PROJECT TITLE: | PRESBYTER IAN AMBULA | CE ZONE ATLAS/DRN | G. FILE #: G-11/0104 |
|-----------------------|---|---|---|
| DRB #: | EPC #: | | ORDER #: |
| LEGAL DESCRIPTI | ON: TRACT C-1-8 | LADERA HEIGHT | 5 SUBDIVISION. |
| CITY ADDRESS: | 3901 ATR15 | CO N.W. | |
| ENGINEERING FIR | M: KEMPER -VANGHAN CONSUL | TNG ENGOSCONTACT: | KIM R. KEMPER. |
| | 3700 Coop RD NW | | 831-4520 |
| OWNER: Pecs. | HEALTH CARE SERVILL | CONTACT: | PICHARD VIGLIANO |
| ADDRESS: | 3901 ATRUSCO NW | PHONE: | 260-6343. |
| ARCHITECT: | LS ARCHITECTURE | CONTACT: | SOE SLAGLE |
| ADDRESS: | 414 SECOND ST. | PHONE: | 246-0870 |
| SURVEYOR: | 10 GRANDE SURVEYING | CONTACT: | REK VOGLERZ |
| ADDRESS: | 3700 Coores Ro NW | PHONE: | 831-4520 |
| CONTRACTOR: | | CONTACT: | |
| ADDRESS: | | PHONE: | |
| GRADING PI EROSION CO | PLAN C GRADING & DRAINAGE PLAN LAN ONTROL PLAN C CERTIFICATION CING: | S. DEV. PLA S. DEV. PLA S. DEV. PLA SECTOR PLAN FINAL PLAT FOUNDATION BUILDING PER CERTIFICATE GRADING PER PAVING PER S.A.D. DRAI | C APPROVAL Y PLAT APPROVAL AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL Y APPROVAL |
| DATE SUBMITTED: | (5/29/97) | | May 3 0 1007 |



Martin J. Chávez, Mayor

Robert E. Gurulé, Director

Kim R. Kemper Kemper-Vaughan Consulting Engineers 3700 Coors Road NW Albuquerque, New Mexico 87120

Drainage Plan for Presbyterian Ambulance (G11-D10A) Received May 30, 1997 RE:

Dear Mr Kemper:

The above referenced drainage plan dated May 29, 1997 is approved for Building Permit.

Prior to Certificate of Occupancy release the Engineer will have to certify the project per the DPM check list.

Two copies of the project was submitted and the SO #19 box was inserted on the drawing. However, you did not ask for this approval and I did not see where it applies. Please call me if you do want an SO #19 approval.

If you have any questions please call me at 924-3984.

Sincerely,

Carlos A. Montoya

Project Manager

c: Andrew Garcia File





March 4, 1998

Kim Kemper, P.E. Kemper-Vaughan Consulting Engrs 3700 Coors Road NW Albuquerque, NM 87120

RE: PRESBYTERIAN AMBULANCE (G11-D10A). ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL. ENGINEER'S CERTIFICATION DATED FEBRUARY 19, 1998.

Dear Mr. Kemper:

Based on the information provided on your February 19, 1998 submittal, the above referenced project is approved for Certificate of Occupancy

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

Lisa Ann Manwill, P.E.

Hydrology

c: Andrew Garcia



| PROJECT TITLE: PRESBYTERIAN AMBULANCE ZO | ONE ATLAS/DRNG. FILE #: G-11 010 A | | |
|---|---|--|--|
| DRB #: EPC #: | | | |
| LEGAL DESCRIPTION: TRACT C-1-A-1 LADER | A HEIGHTS SUBDIVISION. | | |
| CITY ADDRESS: 3821 3 ATRISCO N. | | | |
| ENGINEERING FIRM: KEMPER-VAUGHAN CONSULTING E | NGB.CONTACT: KIM R. KEMPER | | |
| ADDRESS: 3700 Cooles Ro. NW | PHONE: 831-4520 | | |
| OWNER: PRES. HEALTH CARE SERVICES. | CONTACT: FRANK GOURE | | |
| ADDRESS: 3901 ATRISCO N.W. | PHONE: 242-5544 | | |
| ARCHITECT: JLS ARCHITECTURE | CONTACT: JOE SLAGLE | | |
| ADDRESS: 414 SECOND ST | PHONE: 2410-0870 | | |
| surveyor: RIO GRANDE SURVEYING | CONTACT: REW VOGUER. | | |
| ADDRESS: 3700 Coors Rp. | PHONE: <u>831-4520</u> | | |
| CONTRACTOR: | CONTACT: | | |
| ADDRESS: | PHONE: | | |
| DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION OTHER | CK TYPE OF APPROVAL SOUGHT: SKETCH PLAT APPROVAL PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL S.A.D. DRAINAGE REPORT DRAINAGE REQUIREMENTS OTHER (SPECIFY) | | |
| DATE SUBMITTED: | - · · · · · · · · · · · · · · · · · · · | | |

451

DRAINAGE COVENANTOROLOGY SECTION

Southwest Community Health Services, a New Mexico Corporation, Owner of tract C-3-A of the Ladera Heights Subdivision, Albuquerque, New Mexico as the same is shown and designated on the Replat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 14, 1989 in Book C38, Page 158;

and

Six - High Investors, a New Mexico General Partnership, Owner of Tract C-2-A of The Ladera Heights Subdivision, Albuquerque, New Mexico as the same is shown and designated on the replat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on March 14, 1989 in book C38, Page 158.

The Owner (which term includes successors and assigns) of Tract C-3-A grants to the Owner of Tract C-2-A the right to convey storm water runoff, any drainage from waterline landscaping or any other ordinary domestic use across the common boundary line of said Tracts to the right-of-way of Ladera Drive N.W.

This DRAINAGE COVENANT is binding upon the Owner(s), his heirs and assigns and will continue to run with said property until an alternate drainage plan has been approved by the City Hydrology Section of the Public Works Department and released by the Owner(s) by recorded document.

| OWNER, Tract C-B-A: | |
|-------------------------------------|--------|
| - Muhan Bun | 5-5-49 |
| Southwest Community Health Services | Date |

OWNER, Tract C-2-A:

Six-High Investors

\(\frac{5}{3}\frac{4}{9}\)
Date

| | State of New Mexico)) ss |
|---|---|
| | County of Bernalillo) |
| | On this 5% th day of MAY , 1989, the foregoing instrument was acknowledged before me by RICHARD BARR, |
| | for Southwest Community Health Services, Inc. |
| E. C. | DFFICIAL SEAL Lawrence Giron NOTARY PUBLIC - STATE OF NEW MEXICO Notary Public Filed with Secretary of State My Commission Expires 07-16-89 |
| | ACKNOWLEDGEMENT State of New Marriage) |
| | State of New Mexico)) ss County of Bernalillo) |
| | On this th day of, 1989, the foregoing instrument was acknowledged before me by, Laefer, |
| | Managing Partner of Six-High Investors, a New Mexico General |
| | Partnership. |
| | OFFICIAL SEAL NANCYANNE ALLEN NOTARY PUBLIC - STATE OF NEW MEXICO Notary Bond Filed with Secretary of State My Commission Expires 2992 |

ACKNOWLEDGEMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO FILED FOR RECORD 89 MAY 15 PM 3: 19 MS 749A 70 45/-452 GLADYS M. DAVIS CO. CLERK # SECOND

| | ZONE ATLAS/DRNG. FILE #: G-11/1/ | | |
|---|--|--|--|
| DRB #: NA EPC #: NA | WORK ORDER #: N/A | | |
| LEGAL DESCRIPTION: TRACT C-1-/ | 4-1, LADERA HEIGHTS | | |
| CITY ADDRESS: 3901 ATRISCO | • | | |
| ENGINEERING FIRM: ISAACSON FAR | FMAN CONTACT: FRED ARFMAN | | |
| | 1 E PHONE: | | |
| OWNER: PRESIVED HEALTITE | ARE CONTACT: | | |
| ADDRESS: | | | |
| ARCHITECT: KEVIN GEORGES ASS | oc. CONTACT: KEVIN GEORGES | | |
| ADDRESS: 121 JEFFERSON ST | STEA. PHONE: 255-4975 | | |
| SURVEYOR: ARICA LAND SUR | CONTACT: | | |
| ADDRESS: | PHONE: | | |
| CONTRACTOR: NA | CONTACT: | | |
| ADDRESS: | PHONE: | | |
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| TYPE OF SUBMITTAL: | CHECK TYPE OF APPROVAL SOUGHT: | | |
| DRAINAGE REPORT | SKETCH PLAT APPROVAL | | |
| DRAINAGE PLAN | PRELIMINARY PLAT APPROVAL | | |
| CONCEPTUAL GRADING & DRAINAGE PLAN | S. DEV. PLAN FOR SUB'D. APPROVAL | | |
| GRADING PLAN | S. DEV. PLAN FOR BLDG. PERMIT APPROVAL | | |
| EROSION CONTROL PLAN | SECTOR PLAN APPROVAL | | |
| ENGINEER'S CERTIFICATION | FINAL PLAT APPROVAL | | |
| OTHER | FOUNDATION PERMIT APPROVAL | | |
| | BUILDING PERMIT APPROVAL: | | |
| PRE-DESIGN MEETING: | CERTIFICATE OF OCCUPANCY APPROVAL | | |
| | GRADING PERMIT APPROVAL | | |
| 工 YES NO | PAVING PERMIT APPROVAL | | |
| | S.A.D. DRAINAGE REPORT | | |
| COPY PROVIDED | DRAINAGE REQUIREMENTS | | |
| | | | |
| | OTHER (SPECIFY) | | |
| | | | |
| ··· A A | DEGENWET. | | |
| DATE SUBMITTED: MA-12, 1994 | IN EUNE | | |
| Dr. For C. Dreman | | | |



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 25, 1994

Fred Arfman Isaacson & Arfman 128 Monroe St. NE Albuquerque, NM 87108

RE: DRAINAGE PLAN FOR AN ADDITION TO LADERA/PFH @ 3901 ATRISCO DR. NW (G11-D10A) ENGINEER'S STAMP DATED 5/11/94.

Dear Mr. Arfman:

Based on the information provided on your May 13, 1994 submittal, the above referenced site is approved for Building Permit.

A separate permit is required for construction within City Right-of-Way. a copy of this approval letter must be on hand when applying for an excavation permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the D.P.M. checklist will be required.

If I can be of further assistance, please feel free to call me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/d1/WPHYD/1066

c: Andrew Garcia
Arlene Portillo
File?



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 27, 1994

Fred Arfman Isaacson & Arfman 128 Monroe St. NE Albuquerque, NM 87108

RE: REVISED ENGINEER CERTIFICATION FOR PRESBYTERIAN LADERA HEALTH CARE PARKING LOT (G11-D10A) ENGINEER'S CERTIFICATION STATEMENT DATED 12/16/94.

Dear Mr. Arfman:

Based on the information provided on your December 20, 1994 resubmittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE Engineering Associate

BJM/dl

c: Andrew Garcia File

| PROJECT TITLE: | ADERA/PFH REMODEL 2 | ZONE ATLAS/DRNG | FILE #: G-11/0/A |
|---------------------------|---|--|--|
| DRR #: N/A | EPC #: N/2 | WORK O | RDER #: N/A |
| LEGAL DESCRIPTION | 1: TRACT C-1-A- | LADER | B- HEIGHTS |
| CITY ADDRESS: _ | 3901 ATRISCO | D2. N1 | <u></u> |
| | : Isacson & 125m | | |
| | 123 MONROE ST. NE | | |
| OWNER: FRES | BYTERIAD HEALTHCARE | CONTACT: | |
| ADDRESS: | | PHONE: | |
| ARCHITECT: KE | VIN GEORGES & 350C. | CONTACT: | KEVIN GEORGES. |
| ADDRESS: | 121 January ST. ST. | PHONE: | 255-4975 |
| SURVEYOR: | Aurica Land Surv. | CONTACT: | |
| ADDRESS: | | PHONE: | · |
| CONTRACTOR: | ENDERSON COUST | CONTACT: | |
| ADDRESS: | | PHONE: | - |
| GRADING PLE EROSION CO | EPORT LAN GRADING & DRAINAGE PLAN AN ONTROL PLAN CERTIFICATION FING: RESSMITTAL | S. DEV. PLA S. DEV. PLA SECTOR PLAN FINAL PLAT FOUNDATION BUILDING PI CERTIFICATI GRADING PER PAVING PER S.A.D. DRA DRAINAGE R | PLAT APPROVAL IN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL APPROVAL APPROVAL APPROVAL PERMIT APPROVAL |
| | : D= 18, 1994 2-0 G Deman | OTHER | DEC 2 0 1994 |

| PROJECT TITLE: LADERA/PF | 4 R=m,0=1 ZON | E ATLAS/DRNG | FILE #: G-11/1/0A |
|--|----------------|--------------|--|
| DRB #: NA EPO | * # · \ \ / A. | WORK O | RDER #: N/A |
| LEGAL DESCRIPTION: TRACT | 1-1 | LADE | RELGHTS |
| CITY ADDRESS: 3901 | ATRISCO I |)z. Ni | <u></u> |
| ENGINEERING FIRM: TSAAC | | | |
| ADDRESS: 128 Monr | 05 ST. NE | PHONE: | 252-823 |
| OWNER: PRESIME | HEALTITCARE | CONTACT: | |
| ADDRESS: | • | | |
| ARCHITECT: KEVIN GEOR | 10=5= A350c. | CONTACT: | KEVIN GEORGES |
| ADDRESS: 121 Jest | 250N ST. | 4. PHONE: | 255-4975 |
| SURVEYOR: ALPRICAL | AND SURV. | CONTACT: | |
| ADDRESS: | - | PHONE: | · |
| CONTRACTOR: LENDERSON | J Canst | CONTACT: | |
| ADDRESS: | | PHONE: | |
| | | | |
| TYPE OF SUBMITTAL: | CHEC | X TYPE OF A | PROVAL SOUGHT: |
| DRAINAGE REPORT | | SKETCH PLAT | APPROVAL |
| DRAINAGE PLAN | | PRELIMINARY | PLAT APPROVAL |
| CONCEPTUAL GRADING & DRA | INAGE PLAN | S. DEV. PLA | IN FOR SUB'D. APPROVAL |
| GRADING PLAN | | S. DEV. PL | IN FOR BLDG. PERMIT APPROVAL |
| EROSION CONTROL PLAN | | SECTOR PLAN | APPROVAL |
| ENGINEER'S CERTIFICATION | | FINAL PLAT | APPROVAL |
| OTHER | | FOUNDATION | PERMIT APPROVAL |
| | | BUILDING P | ERMIT APPROVAL: |
| PRE-DESIGN MEETING: | | | E OF OCCUPANCY APPROVAL |
| YES | | | RMIT APPROVAL |
| X NO | | | MIT APPROVAL |
| | | | INAGE REPORT |
| COPY PROVIDED | | | EQUIREMENTS |
| VERBAL on 12/15/94 | | OTHER | (SPECIFY) |
| snied Approval on May 11,1954 | | | —— 37 |
| snied Approval on May 11,1994 INSTEAD of Aprill 1,1994 | | | |
| DATE SUBMITTED: | • | | DEC 1 3 1994 |
| 97. 'NOCO (-) | Jamas) | | <u>. </u> |