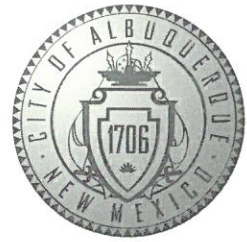


# CITY OF ALBUQUERQUE



September 17, 2019

Del Leroy Dixon, RA  
Studio SW Architects Inc.  
2101 Mountain Rd. NW  
Albuquerque, NM 87104

**Re: SJRG Nazareth Center  
5901 St. Josephs Dr. NW  
30-Day Temporary Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 7-3-18 (G11D014A)  
Certification dated 9-12-19**

Dear Mr. Dixon,

Based upon the information provided in your submittal received 9-12-19, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please add missing Motorcycle Signs. (Each stall requires its own individual sign)

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and [epgomez@cabq.gov](mailto:epgomez@cabq.gov) for release of final CO

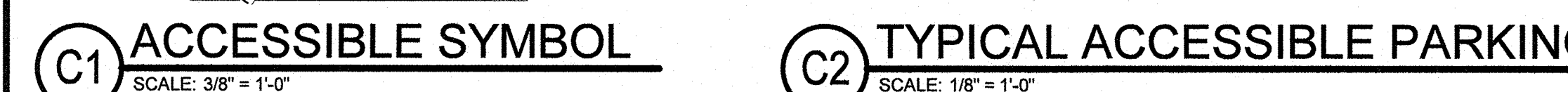
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





EXISTING DEVELOPED AREA PERMANENT PARKING SPACES = 250  
EXISTING TEMPORARY PARKING SPACES = 137 (REFERENCE ASD-101)

**PROJECT LOCATION**

Emergency School

La Torrey Apartment

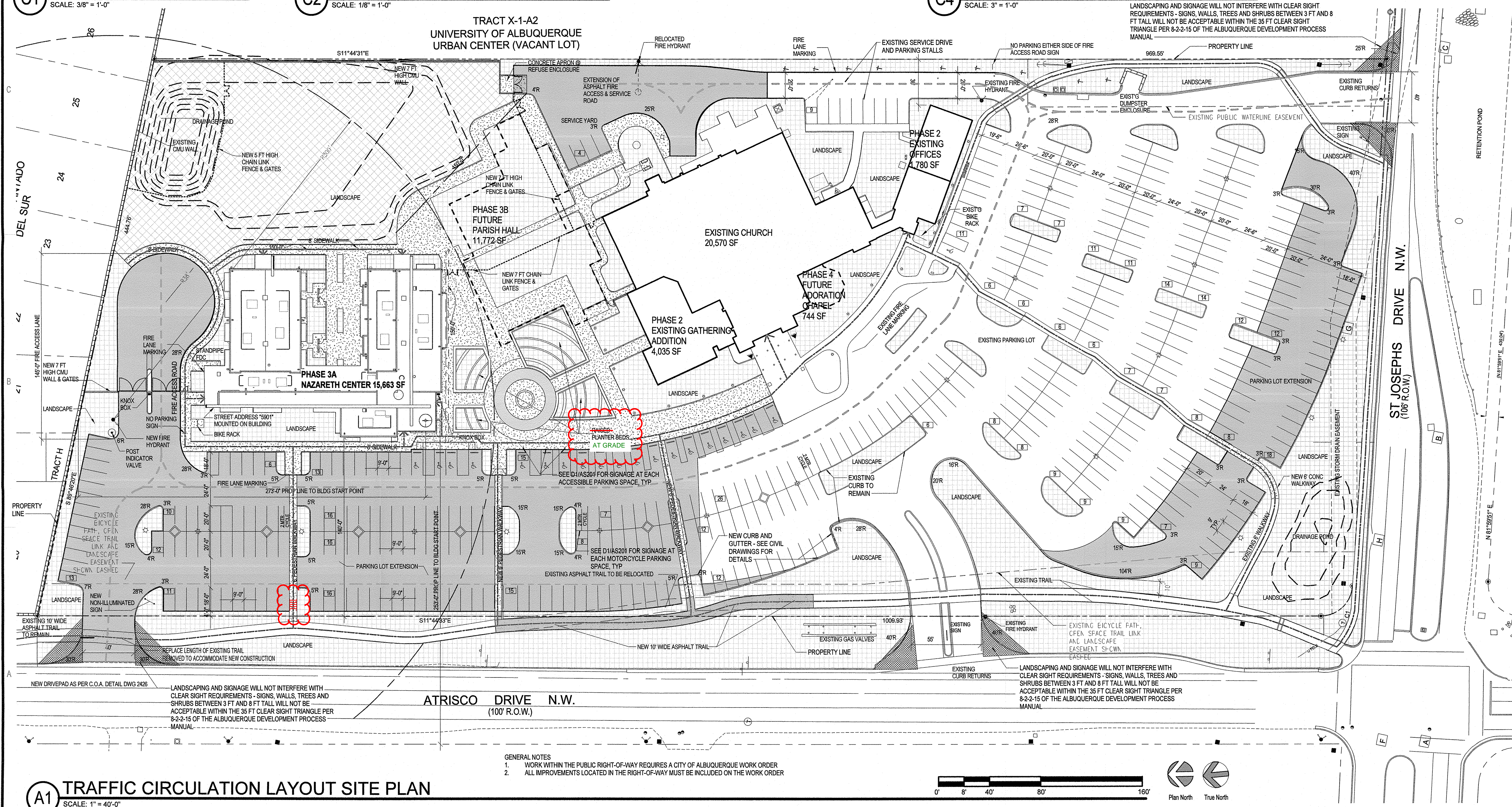
Marine Storage Center

Plaza High School

North

**C4 VICINITY MAP**  
SCALE: 3" = 1'-0"

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS - SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 FT AND 8 FT TALL WILL NOT BE ACCEPTABLE WITHIN THE 35 FT CLEAR SIGHT TRIANGLE PER 8-2-2-15 OF THE ALBUQUERQUE DEVELOPMENT PROCESS



GENERAL NOTES

1. WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES A CITY OF ALBUQUERQUE WORK ORDER
2. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER

Plan North      True North

PHASE 2 - EXISTING MEETING & OFFICE EXPANSION  
BUILDING AREA = 5,815 SF

PHASE 3A - FAITH FORMATION & MINISTRY CENTER  
BUILDING AREA = 15,663 SF

PHASE 3B - FUTURE PARISH HALL & KITCHEN  
BUILDING AREA = 11,772 SF

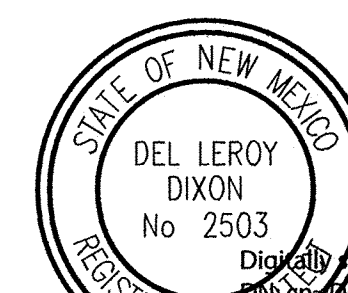
PHASE 4 - FUTURE ADORATION CHAPEL  
BUILDING AREA = 744 SF

PHASE 5 - CAMPUS FUTURE FACILITY EXPANSION  
BUILDING AREA = 19,994 SF

TOTAL ESTIMATED GROSS BUILDING AREA = 74,558 SF

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SE	Architect	Engineer
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Digitally signed by Del L. Dixon  
DN: cn=Del L. Dixon, o=Studio  
Swardwest Architects Inc., ou,  
email=ddixon@studiosward.com, c=US  
Date: 2018.07.03 11:01:57 -0600

5901 ST JOSEPHS PLACE NW  
ALBUQUERQUE NM 87120

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

Signed 07/03/12  
Date

RECEIVED  
JUL -3 2018  
LAND DEVELOPMENT SECTION

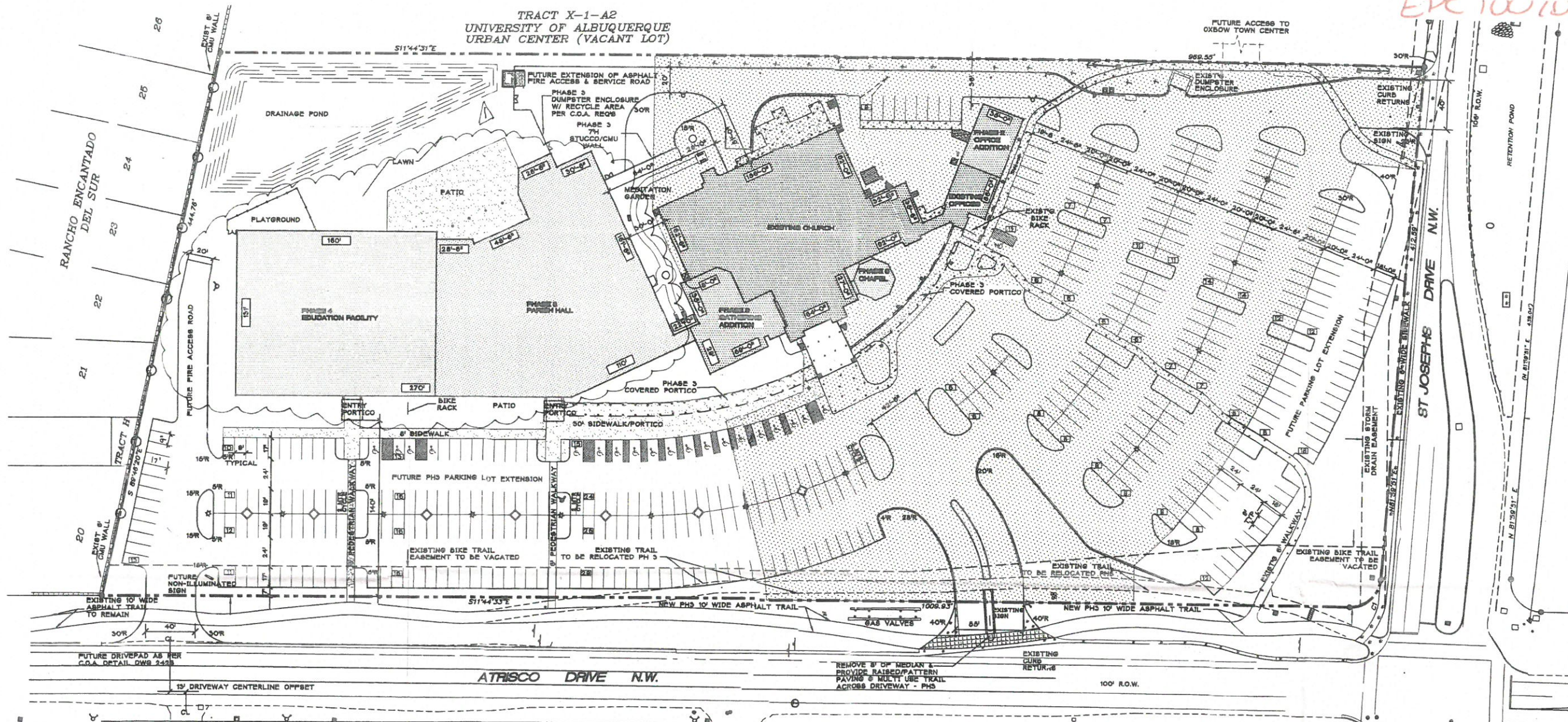
E	07-03-2018	TCL REVISIONS
No	Date	Description
Revision Schedule		
ISSUE:	TCL SUBMITTAL	
PROJECT NUMBER:	1708	
FILE:	0000AS-201.RVT	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	May 23, 2018	

SHEET TITLE

# TRAFFIC CIRCULATION LAYOUT

# AS-201





**SITE PLAN**  
SCALE: 1" = 40' - 0"

**LEGEND**

- FIRE HYDRANT
- STREET SIGN
- POWER POLE
- POLE LIGHT
- GROUND LIGHT
- PARKING COUNT
- 5' X 5' PARKING LOT TREE PLANTER
- BENCH
- 27'0" BUILDING DIMENSION
- EXISTING ASPHALT PAVEMENT AREA

### OFF STREET PARKING

**REQUIRED OFF STREET PARKING SPACES:**  
NOTE: CHURCH OCCUPANCY DETERMINES REQ'D PARKING, ALL RELATED SITE USES ARE ACCESSORY TO CHURCH USE, FULL OCCUPANCY OF RELATED USE FACILITIES DOES NOT OCCUR CONCURRENTLY WITH THE USE OF THE CHURCH.

EXISTING CHURCH ACTUAL SEATS  
0 130' PEW LENGTH - CHAIRS = 896 SEATS  
REQUIRED PARKING SPACES AT 1 SPACE PER 4 SEATS = 249

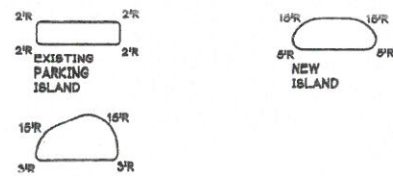
REQUIRED PARKING SPACES = 249  
PROVIDED MASTER PLAN PARKING SPACES = 467  
REQUIRED DISABLED SPACES = 8  
PROVIDED DISABLED SPACES = 20

REQUIRED MOTORCYCLE SPACES = 5  
PROVIDED MOTORCYCLE SPACES = 6

REQUIRED BICYCLE SPACES = 12  
PROVIDED BICYCLE SPACES = 12

EXISTING DEVELOPED AREA PERMANENT PARKING SPACES = 250  
EXISTING TEMPORARY PARKING SPACES = 137

### TYPICAL: DRIVE AISLE ISLAND RADII



### ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE, NM  
ZONE ATLAS PAGE: G-11-Z  
ZONE CLASSIFICATION: SU-3, CHURCH & RELATED FACILITIES

LOT AREA = 10 AC  
TOTAL ESTIMATED MAXIMUM GROSS BUILDING AREA FOR ALL PROPOSED BUILDINGS = APPROXIMATELY 74,568 SQ. FT.  
MAXIMUM GROSS BUILDING AREA-TO-LOT RATIO = 17.1% DENSITY

REQUIRED LANDSCAPE AREA = 15% OF NLA  
LANDSCAPE AREA PROVIDED = 26% OF NLA  
SEE LANDSCAPE PLAN FOR COMPLETE ANALYSIS

PROPOSED MINIMUM SETBACKS AT PHASES 2, 3 & 4:  
FRONT - 140', REAR - 35', SIDE - 32'

MAXIMUM BUILDING HEIGHT FOR FUTURE PHASES 3 & 4:  
SHALL BE NO GREATER THAN 26' AT THE SETBACK LINES, WITH HEIGHTS FALLING WITHIN A 45 DEGREE ANGLE PLANE DRAWN FROM THE HORIZONTAL MEAN GRADE ALONG EACH INTERNAL SITE BOUNDARY & ADJACENT RIGHT OF WAY CENTERLINE.  
ZONING CODE EXEMPTS ARCHITECTURAL PROJECTIONS FROM HEIGHT REQUIREMENTS.

### HANDICAP PARKING ACCESS

TYPICAL DETAIL FOR EACH NEW HANDICAP ACCESS PARKING SPACE.

SIDEWALK/PORTICO

HC SIGN @ EACH DESIGNATED SPACE

TOP OF PAVEMENT FLUSH @ ASPHALT/SIDEWALK

PROVIDE WHEEL STOP @ EACH SPACE

TYPICAL ACCESS AISLE - 5' WIDE VAN ACCESS AISLE - 8' WIDE

TYPICAL PARKING SPACE SHALL BE 8' WIDE X 17' DEEP WITH ADDITIONAL 2' OVERHANG

### LEGAL DESCRIPTION

Legal Description: Tract X-1-A1 of Albuquerque Urban Center, within the Town of Albuquerque Grant, City of Albuquerque, Bernalillo County, New Mexico.

### BUILDING DATA

**PHASE 1 - EXISTING CHURCH & OFFICES**  
EXISTING AREA = 20,870 SF

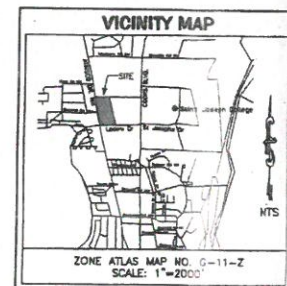
**PHASE 2 - MEETING ROOMS, OFFICE EXTENSION & STORAGE AREAS**  
OFFICE AREA = 1,773 SF  
MEETING AREA = 4,042 S.F.  
PHASE 2 TOTAL = 5,815 S.F.

**PHASE 3a - PARISH HALL AND KITCHEN**  
BUILDING AREA = 26,570 SF

**PHASE 3b - ADORATION CHAPEL**  
BUILDING AREA = 744 SF

**PHASE 4 - EDUCATION FACILITY**  
BUILDING AREA = 20,856 SF  
PHASE 3&4 TOTAL = 48,173 S.F.

TOTAL ESTIMATED GROSS BUILDING AREA = 74,568 SF



VICINITY MAP

PROJECT NO. **1007015**  
APPLICATION NO. **08 EPC 40003**

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
YES ( ) NO (X) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

**DRG SITE DEVELOPMENT PLAN APPROVAL:**

TRAFFIC ENGINEERING  
TRANSPORTATION DIVISION  
DATE: 04/29/09

WATER UTILITY DEPARTMENT  
DATE: 6-25-08

PARKS & RECREATION DEPARTMENT  
DATE: 6/25/08

CITY ENGINEER  
DATE: 6/25/08

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE: N/A

SOLID WASTE MANAGEMENT  
DATE: 8-27-09

DRG CHAIRPERSON, PLANNING DEPT.  
DATE: 8-27-09

**CHURCH OF ST. JOSEPH**  
on the RIO GRANDE  
6901 ST. JOSEPH'S DRIVE NW  
ALBUQUERQUE, NM 87120



**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

JOB NUMBER: 0745  
DATE: 6/16/08  
REVISIONS: 1  
SHEET: C-1.0  
2 OF 39

**DORMAN and BREEN**  
RICHARD DORMAN F.A.I.A.  
ALBUQUERQUE, NM 805-893-8640  
LAURENCE BREEN A.I.A.





EXISTING CHURCH ACTUAL SEATS  
@ 1:30 FEW LENGTH CHAIRS = 396 SEATS  
REQUIRED PARKING SPACES AT 1 SPACE PER 4 SEATS = 249

REQUIRED PARKING SPACES = 249  
PROVIDED NEW SPACES = 457

REQUIRED DISABLED SPACES = 8  
PROVIDED NEW DISABLED SPACES = 20

REQUIRED MOTORCYCLE SPACES = 5  
PROVIDED NEW MOTORCYCLE SPACES = 8

REQUIRED BICYCLE SPACES = 12  
EXISTING BICYCLE SPACES = 12

EXISTING PARKING SPACES = 732 (INCLUDING 1 DISABLED SPACE)

5901 ST JOSEPHS PLACE NW  
ALBUQUERQUE NM 87120

SHEET TITLE  
ARCHITECTURAL SITE  
PLAN

# AS-101





September 11, 2019

City of Albuquerque (CoA)

Re: CoA Transportation Submittal for Certificate of Occupancy

Project: SJRG Nazareth Center  
5901 St. Josephs Drive NW  
Albuquerque, NM 87120  
CoA Building Permit No: BP-2018-16134

I, Del L. Dixon, NMRA, AIA, NCARB, of the firm Studio Southwest Architects, Inc., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 07/03/2018. The record information edited onto the original design document has been obtained by Del L. Dixon, NMRA, AIA, NCARB, of the firm Studio Southwest Architects, Inc. I further certify that I have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Signed, dated and stamped:



File: p:\1708 sjrg nazareth center\80-archived submittals\6-record\drawings\9-transportation co\backup\transportation co letter.docx



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** SJRG Nazareth Center **Building Permit #:** BP-2018-16134 **Hydrology File #:** G11D014A  
**DRB#:** \_\_\_\_\_ **EPC#:** 1007015 **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract X-1-A1 of Tracts X-1-A1 & X-1-A2 University Albuquerque Urban Center  
**City Address:** 5901 St. Josephs Drive NW

**Applicant:** St. Joseph on the Rio Grande Church (by Studio SW Architects, Inc.) **Contact:** Del L. Dixon, AIA  
**Address:** 5901 St. Josephs Drive NW; Albuquerque, NM 87120  
**Phone#:** (505) 843-9639 (Studio SW Office) **Fax#:** (505) 843-9683 (Studio SW Office) **E-mail:** ddixon@studioswarch.com

**Other Contact:** Studio SW Architects, Inc. **Contact:** Del L. Dixon, AIA  
**Address:** 2101 Mountain Road NW; Albuquerque, NM 87104  
**Phone#:** (505) 385-3408 **Fax#:** (505) 843-9683 **E-mail:** ddixon@studioswarch.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 09/12/2019 **By:** Del L. Dixon, AIA - Studio SW Architects, Inc.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_