

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

G-11/D014A

PROJECT TITLE: Church of St. Joseph on the Rio Grande (Tracts 1-A-1)
ZONE MAP: G-11
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: SEE ROUGH GRADING PLAN FOR LEGAL DESCRIPTION
CITY ADDRESS: _____

ENGINEERING FIRM: GND, LLC CONTACT: Jason Woodruff
ADDRESS: 5643 Paradise Blvd PHONE: 899-6182
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

OWNER: _____ CONTACT: Same as above
ADDRESS: _____ PHONE: 899-6182
CITY, STATE: Albuquerque, NM 87110 ZIP CODE: 87110

ARCHITECT: Dorman & Breen CONTACT: Mark Baczek
ADDRESS: 13604 Rebonito Court NE PHONE: 299-5940
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

SURVEYOR: Surv-Tek CONTACT: Russ Hugg
ADDRESS: 9384 Valley View Drive PHONE: 897-3366
CITY, STATE: Albuquerque, NM ZIP CODE: 87114

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D APPROVAL
☒ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER - Rough Grading Permit Approval CO

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 1-10-08 BY: J Woodruff

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

LOW
impervious
values!

DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Joseph on the Rio Grande ZONE ATLAS/DRNG. FILE # G-11-Z -014

DRB #: HA EPC #: _____ WORK ORDER #: NA

LEGAL DESCRIPTION: Tract X-1-A1

CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: _____

ADDRESS: _____

ARCHITECT: RD Habiger & Associates, Inc.

ADDRESS: 201 Coal Ave SW, Alb. NM 87102

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: Kevin Patton

PHONE: (505) 823-1000

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☒ FINAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

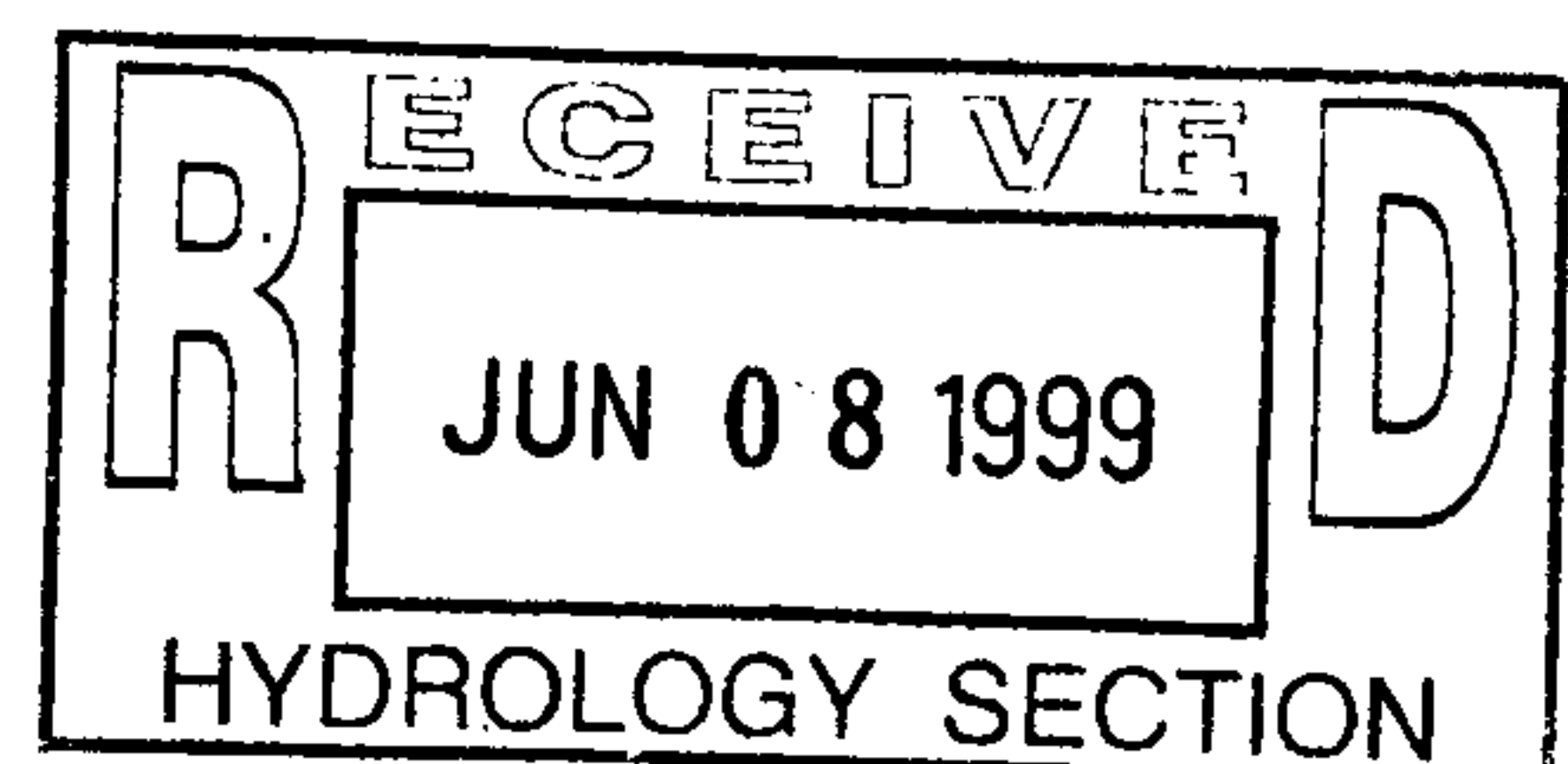
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB&D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: _____

Revised 02/98





BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

June 8, 1999

Susan Calongne, P.E.
City/County Floodplain Administrator
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Grading and Drainage Plan for St. Joseph's on the Rio Grande (Tract X-1-A1)

Dear Susan:

The purpose of this letter is to submit a conceptual grading and drainage plan for the above referenced development. The grading and drainage plan enclosed is designed in accordance with the "Master Drainage Plan for Altura West and Archdiocese of Santa Fe Properties near St. Pius High School" dated October 21, 1997. (COA DWG # G11-D14)

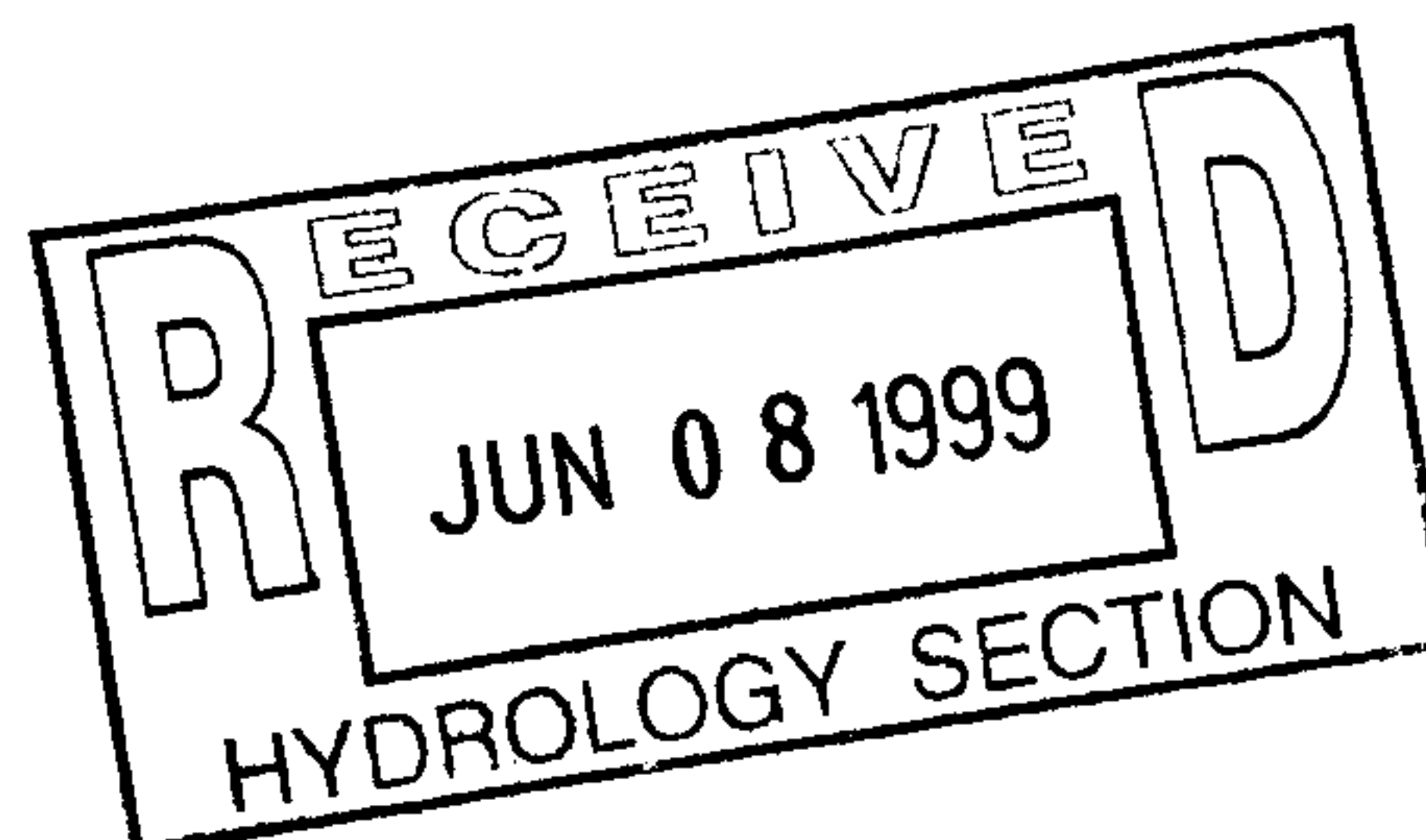
The plan has been slightly modified to accommodate the subdivision of the 30-acre parcel into one 10-acre parcel and one 20-acre parcel. It is anticipated that this 20-acre parcel will be subdivided into two 10-acre parcels in the near future. The ultimate development of each of the three 10-acre tracts must coordinate drainage connection to the master storm drain that will be constructed in the future.

The submittal is only for the 10-acre parcel, Tract X-1-A1, north of Ladera Drive and west of Atrisco Drive. The above referenced development has been submitted to the Environmental Planning Commission (EPC) and is scheduled to be heard June 17.

Sincerely,
Bohannon Huston Inc.

Kevin Patton, P.E.
Community Development
and Planning Group

KP/am
Enclosure





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 17, 1999

Kevin Patton, P.E.
Bohannon Huston
7500 Jefferson St. NE
Albuquerque, New Mexico 87111

RE: Grading and Drainage Plan for St. Joseph on the Rio Grande (G11/D14), Submitted for Site Development Plan for Building Permit, and Building Release, Engineer's Stamp Dated 9/17/99.

Dear Mr. Patton:

Based on the information provided, the above referenced plan is approved for Site Development Plan approval by the DRB and for Building Permit release.

As you are aware, the Engineer's Certification is required prior to release of the Certificate of Occupancy for this site.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Whitney Reiersen, City Hydrology
John Huchmala, The Archdiocese of Santa Fe
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Joseph's on the Plaza ZONE ATLAS/DRNG. FILE # 6-11/10014

DRB #: 99-237 EPC #: Z-99-70 WORK ORDER #: _____

LEGAL DESCRIPTION: LOT X-1-A-1, University of Albuquerque Urban Center

CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: The Archdiocese of Santa Fe

ADDRESS: 4000 St. Joseph's Place

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: Kevin Patten

PHONE: (505) 823-1000

CONTACT: John Huchmala

PHONE: 831-8300

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ FINAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

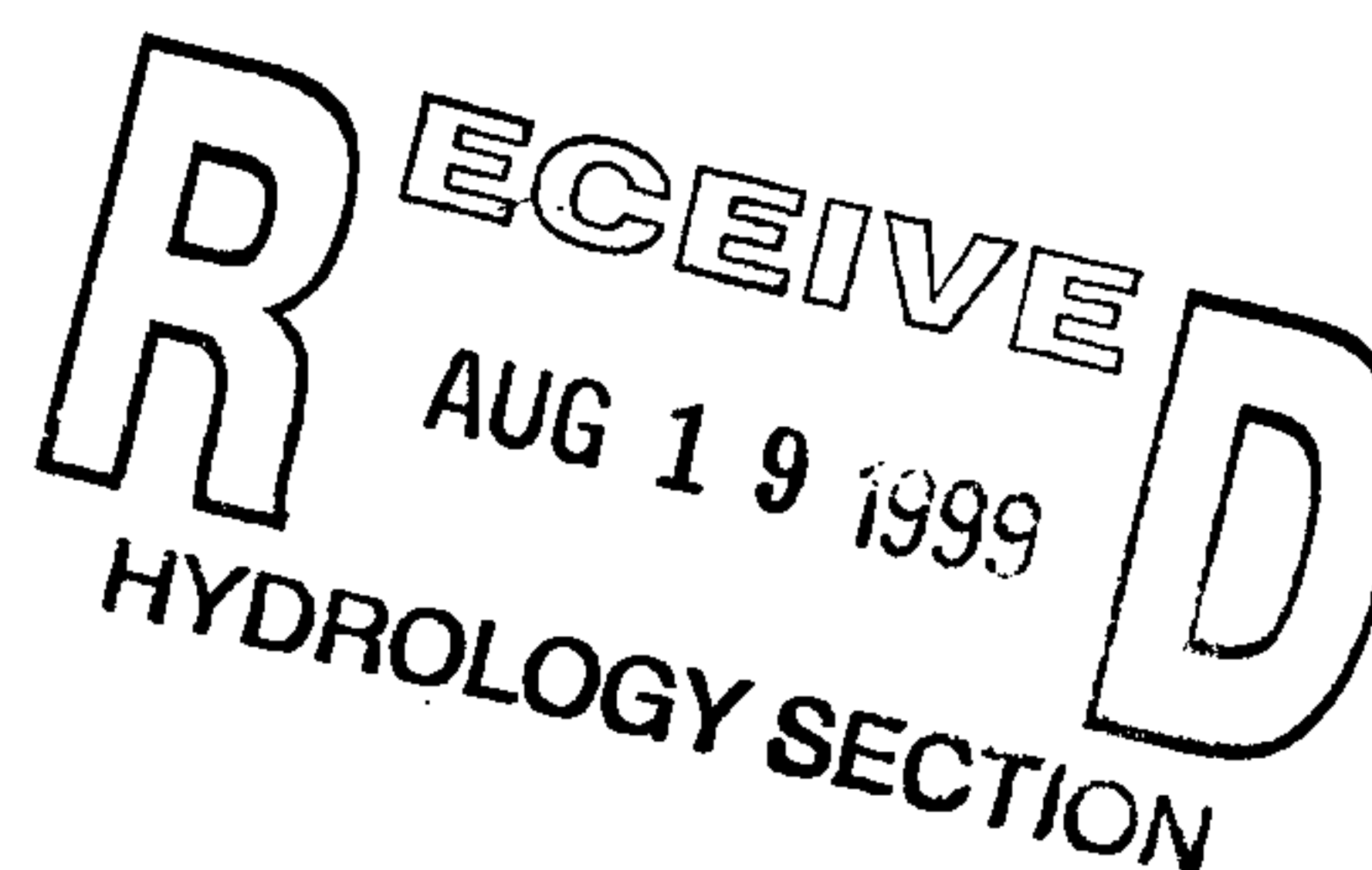
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB&D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: Kevin Patten

Revised 02/98



CLIENT/COURIER TRANSMITTAL

6-11/DO14

TO: Susan Calongne
400 2nd Street NW
2nd Floor
Albuquerque NM 87107

Requested By: Yolanda Padilla
 Date: 8/19/99

Time Due: ☒ This A.M. ☐ This P.M.
☐ Rush ☐ By Tomorrow

Job No.: 99520A03

Job Name: St Joseph's Church on Rio Grande.

DELIVERY VIA

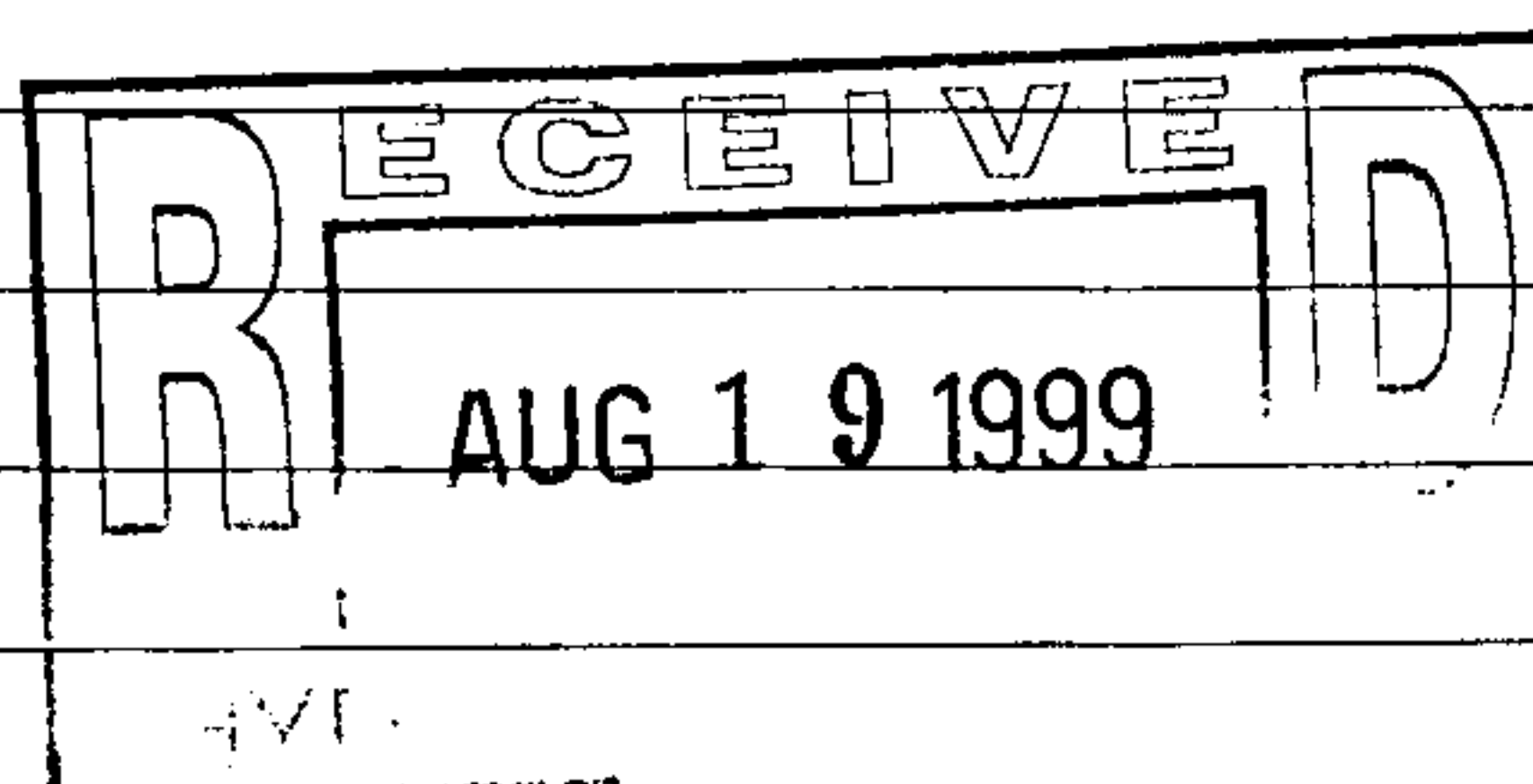
☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item:

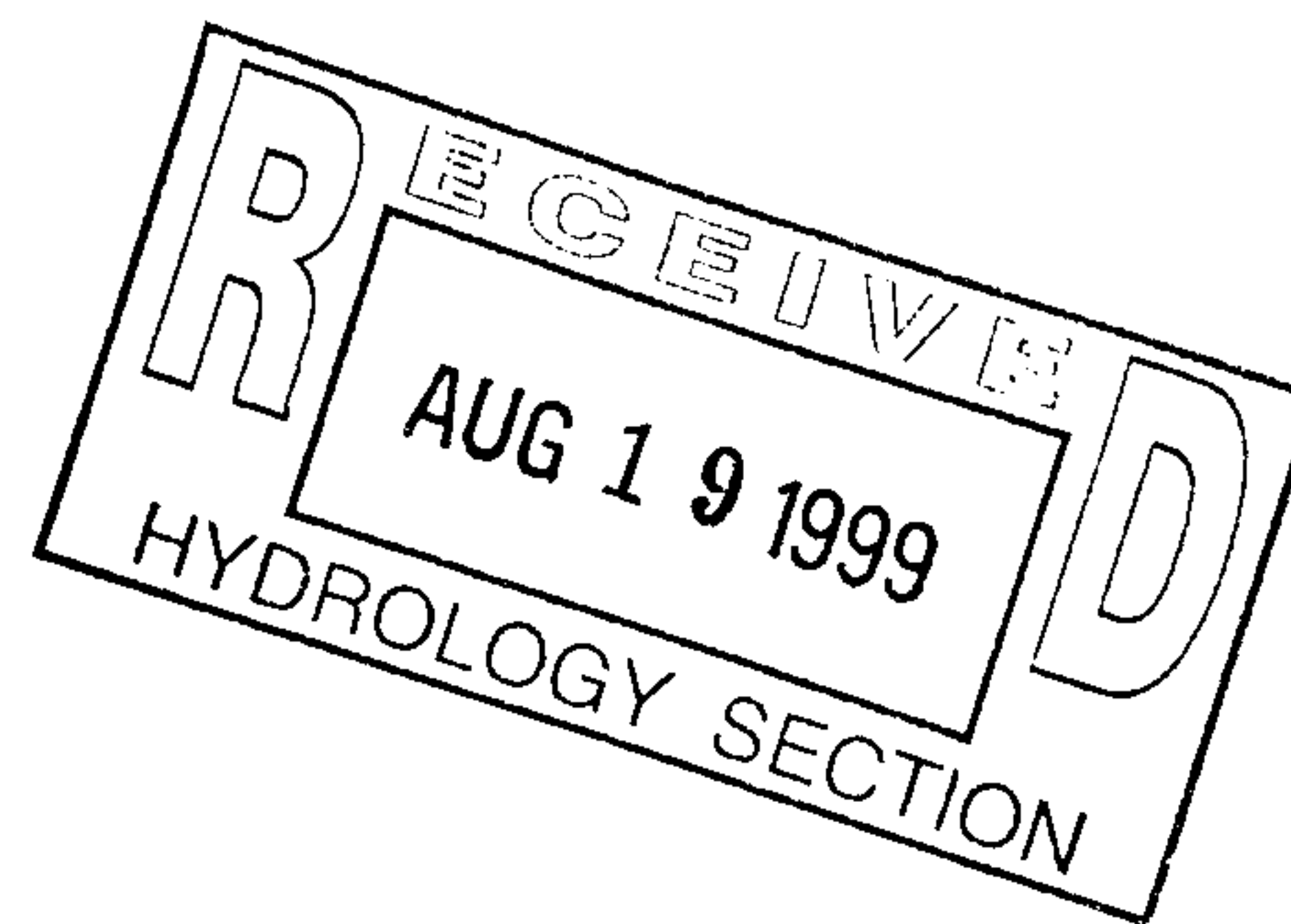
ITEM NO.	QUANTITY	DESCRIPTION
<u>1</u>	<u>1</u>	<u>letter</u>
<u>2</u>	<u>1</u>	<u>Grading Plan</u>

COMMENTS/INSTRUCTIONS



Received By: _____ Date: _____ Time: _____

August 18, 1999



Susan Calongne, P.E.
City/County Floodplain Administrator
Public Works Department / City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Re: Grading and Drainage Plan for St. Joseph on the Rio Grande (G11/D14)
Site Plan for Building Permit and Grading and Paving Permit Release

Dear Susan:

Enclosed for your review and approval is the revised Grading and Drainage Plan for the above referenced project. This revised plan incorporates the necessary changes you requested in your letter dated June 28, 1999 in order for us to obtain building, grading and paving permit release. Please note that the revised plan has been rotated 180 degrees from our original submittal in order to correspond to the architect's site plan. I have provided the following written responses to your comments to aid in the review of the revised plan.

- The phase I construction limits have been clearly labeled on the revised plan. Please note that it is our intent to grade the entire site at this time and that the Phase I construction limits refer to the limits of infrastructure improvements (i.e., building construction, paving, etc.) as approved by EPC.
- The temporary retention pond shown on the drainage plan is designed for the 100-year – 10-day storm event.
- The plan provides a line style for the invert of the proposed swales. This line style appears to indicate a flow course in the wrong direction. I have revised the line style for the proposed swale to correspond with the actual flow direction. There is a private 30" diameter RCP storm drain along the eastern boundary. A portion of this pipe is located under a proposed swale. The depth of this pipe ranges from 3.85 to 6.64 feet deep with a minimum 1.35 feet of cover. Please note that the proposed swale is at a minimal slope and low velocity.

I believe that the revised plan has addressed the changes you requested. Therefore, please provide the necessary approval(s) for building, grading and paving permit as required by your department. If you have any questions or require additional assistance, please give me a call at 823-1000.

Sincerely,
Bohannon-Huston, Inc.

A handwritten signature in black ink, appearing to read "Kevin Patton". The signature is written in a cursive, somewhat stylized font.

Kevin Patton, P.E.
Project Manager
Community Development and Planning Group

KP/am
Enclosures

P:\99520\cdp\corres\03-grade_dm_plan\Calongne,ltr2.doc



11/21

60-day
Temp C.O.,




November 21, 2000

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Loren Mainz, P.E.
Hydrology Division Manger
City of Albuquerque / PWD
P.O. Box 1293
Albuquerque, NM 87103

Re: Temporary Certificate of Occupancy - Engineer's Certification for St. Joseph on the Rio Grande
(COA Drainage File G11/D14)

Dear Loren:

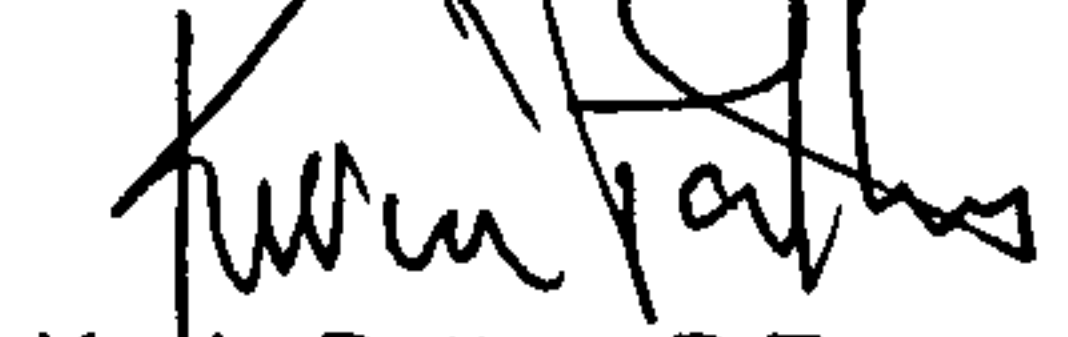
The purpose of this letter is to request a temporary certificate of occupancy (CO) for the above referenced project. The parish for the above church currently has a groundbreaking ceremony scheduled for this Sunday, November 26, 2000. They have asked their consultants to assist them in obtaining a temporary CO in order to move forward with the scheduled groundbreaking.

The contractor finished paving the parking lot on Monday afternoon, November 20, 2000. I currently have a survey crew at the site obtaining necessary as-built elevations in order to complete my drainage certification. I will be unable to review and complete my drainage certification in time for you to review and accept it before the Sunday ceremonies (this is due to a short week for Thanksgiving Holiday).

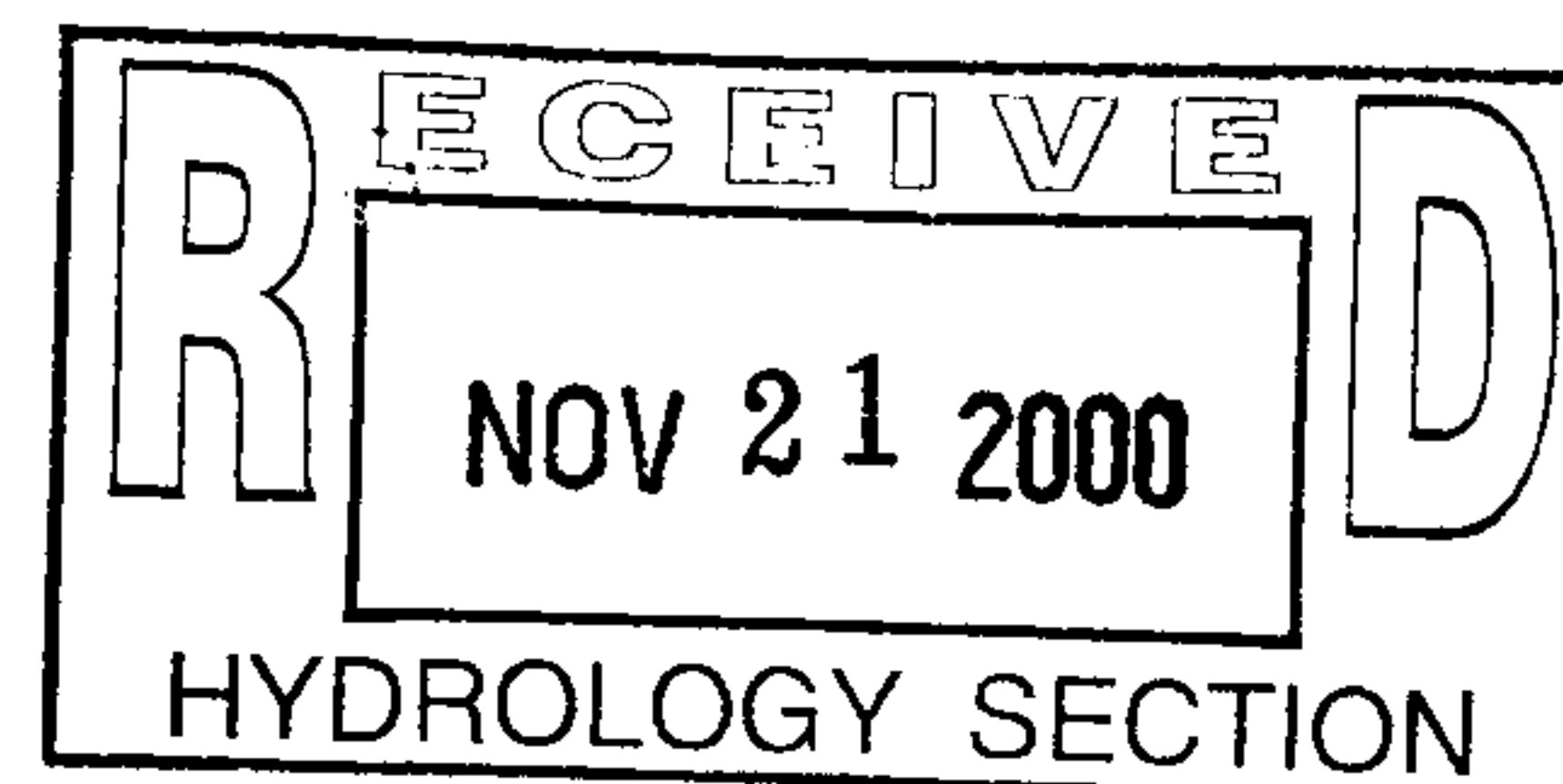
I visited the site on Tuesday, November 21, 2000 and believe the site is in substantial compliance with the approved grading and drainage plan. When visiting the site, I noticed that the approved temporary pond is constructed in the northeast corner, the onsite inlet and storm drain system has been constructed, and the off-site infrastructure is completed as detailed in the approved work order plans. The only item that remains is to obtain the as-built elevations and determine if the surrounding grades were built in accordance with the approved grading and drainage plan.

Therefore, I would request that the City Hydrology Department provide their concurrence of a temporary CO until a drainage certification has been provided. If you have any questions or require further information, please give me a call.

Sincerely,
Bohannon Huston, Inc.



Kevin Patton, P.E.
Project Manager
Community Development and Planning



KP/am

cc: Mr. John Huchmala, Archdiocese of Santa Fe
Mr. Paul Wymer, Bohannon Huston, Inc.

John - de for
temp. C.O. Final
Cart. to come later.

G-11
~~0000~~ D14
Loren

DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Joseph on the Rio Grande ZONE ATLAS/DRNG. FILE # G-11/D14

DRB # :99-237 EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Tract X-1-A1 University of Albuquerque Urban Center

CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ABQ. NM 87109

OWNER: Archdiocese of Santa Fe

ADDRESS: 4000 St. Joseph's Place 87120

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: Kevin Patton

PHONE: (505) 823-1000

CONTACT: John Huchmala

PHONE: (505) 831-8100

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ FINAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

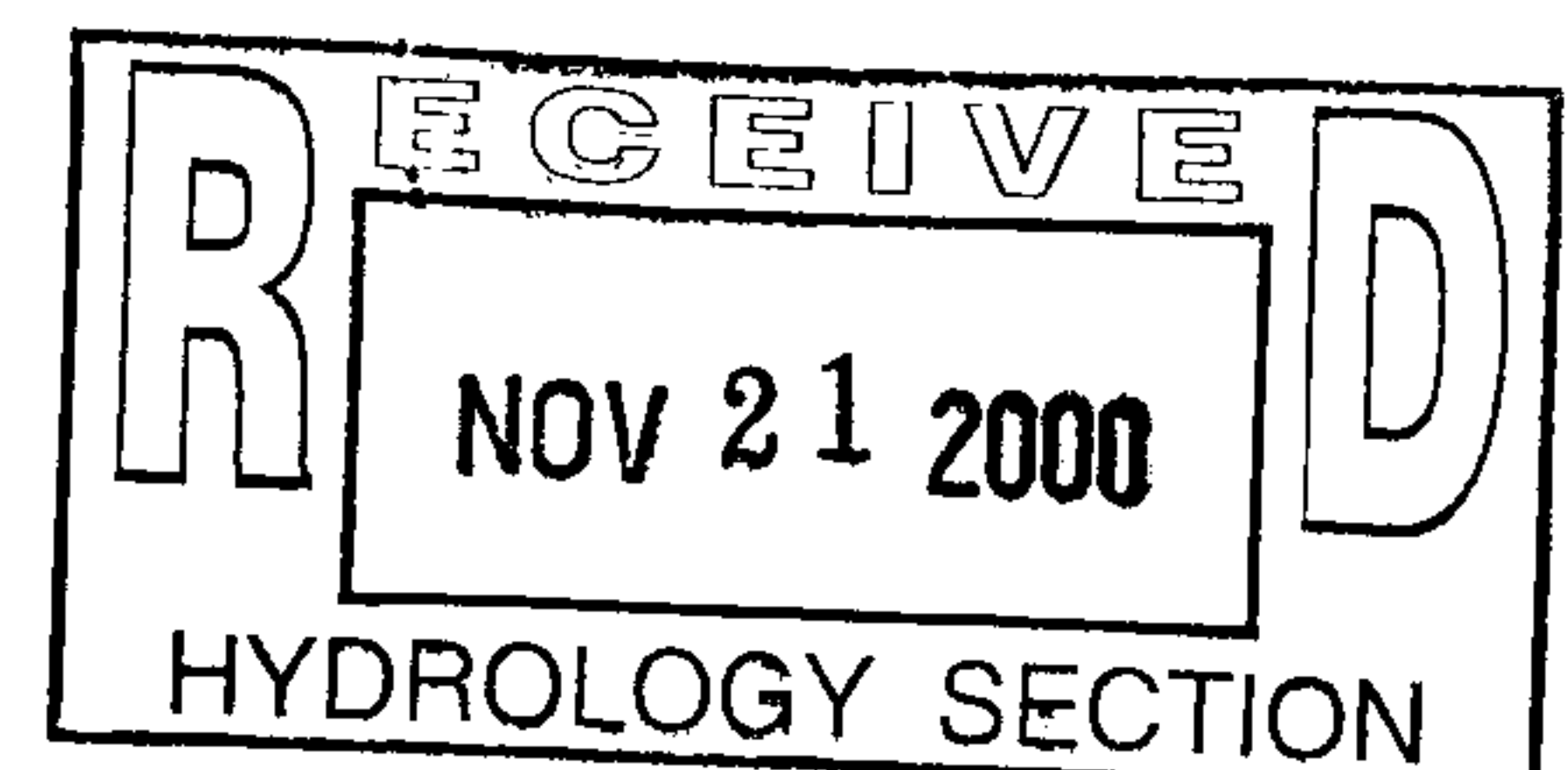
☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB. D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER

DATE SUBMITTED: November 20, 2000

BY: _____



Revised 02/98



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 28, 1999

Kevin Patton, P.E.
Bohannon Huston
7500 Jefferson St. NE
Albuquerque, New Mexico 87111

RE: Grading and Drainage Plan for St. Joseph on the Rio Grande (G11/D14), Submitted for Site Development Plan for Subdivision, Site Plan for Building Permit, and Grading and Paving Permit Release, Engineer's Stamp Dated 6/7/99.

Dear Mr. Patton:

Based on the information provided with the submittal of June 8, 1999, the above referenced conceptual plan is acceptable for Site Development Plan approval by the DRB.

Prior to Building Permit, Grading Permit or Paving Permit release, however, the following comments must be addressed:

1. The Phase I construction limits were not clear on the plan. How does the runoff from the church reach the temporary retention pond? Are temporary ponds, or berms, needed between phases, or between this tract and Tract X-1-A2?
2. Is the temporary retention pond designed for the 100-year, 10-day storm?
3. The plan shows flow lines for drainage swales, however it appears that the flow arrows are pointing in the wrong direction. Please revise these. Is the 30" storm drain located under the swale on the east side of the tract? How deep is this pipe?

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: File

CLIENT/COURIER TRANSMITTAL

TO: Susan Calongne, P.E.
600 2nd St NW
2nd floor
Alb NM 87103

Requested By: Yolanda Padilla
 Date: 6/8/99

Time Due: ☐ This A.M. ☐ This P.M.
☒ Rush ☐ By Tomorrow

Job No.: 99520 A03

Job Name: St Joseph on the Rio Grande



BOHANNAN HUSTON

Courtyard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

DELIVERY VIA

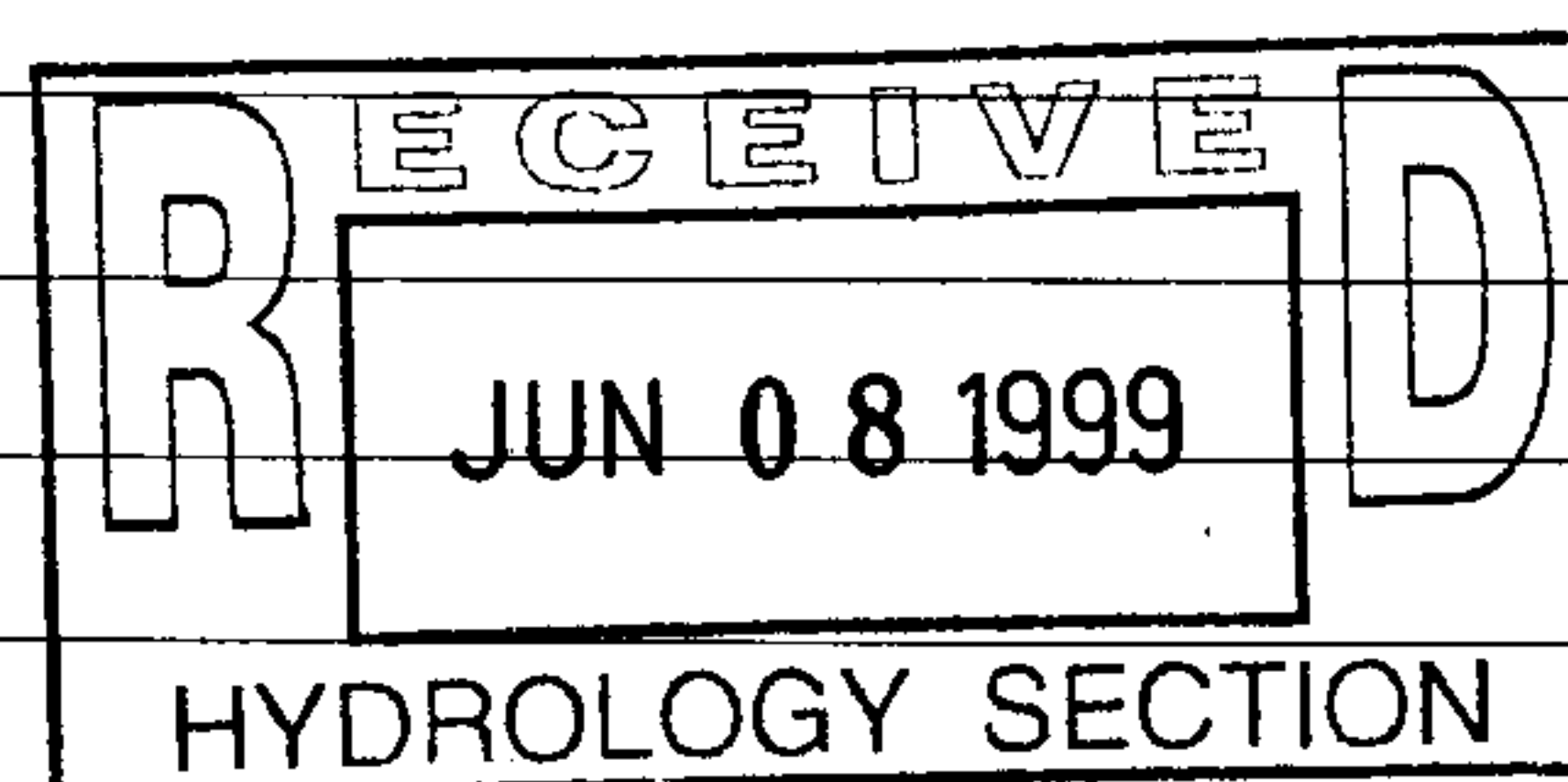
- ☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other _____

PICK UP

Item: _____

ITEM NO.	QUANTITY	DESCRIPTION
<u>1</u>	<u>1</u>	<u>Drainage info sheet</u>
<u>2</u>	<u>1</u>	<u>Letter to Susan</u>
<u>3</u>	<u>1</u>	<u>Copy of Letter date 11/17/97</u>
<u>4</u>	<u>1</u>	<u>grading & Drainage Plan</u>
<u>5</u>	<u>2</u>	<u>Basin Maps</u>

COMMENTS/INSTRUCTIONS



Received By: _____ Date: _____ Time: _____

CITY OF ALBUQUERQUE



February 21, 2008

Jason Woodruff, P.E.
GND, LLC
5643 Paradise Blvd NW.
Albuquerque, NM 87114

Re: Church Of St. Joseph on the Rio Grande Conceptual Grading and Drainage Plan

Engineer's Stamp dated 1-3-08 (C13-D28)

Dear Mr. Woodruff,

Based upon the information provided in your submittal dated 1-11-08, the above referenced plan cannot be approved for Site Plan for Subdivision or Site Plan for Building Permit until the following comments are addressed.

- Before this plan can be approved, even for Site Plan signoff from DRB, written approval of the pond encroachment onto the adjoining property must be provided. Please provide exhibits of the Oxbow DMP to verify what runoff is being accommodated by that project.
- The drainage of Atrisco and St. Joseph R/W (along your frontage) must be addressed with this plan.

Sincerely

Bradley L. Bingham

Principal Engineer, Planning Department.
Building and Development Services

C:

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



ACADEMY REPROGRAPHICS

PICK-UP / DELIVERY REQUEST FORM

300 Central Ave SE
Albuquerque, NM 87102
505-764-0000 or 505-764-0004
E-mail - plot66@acadrepro.com

Date: 6-18-14

CRO _____

PLEASE CALL/DELIVER COPIES & INVOICE TO:

Name: Bar Kendra Chavez, Parsons Brinckerhoff.
Address: 6100 Uptown Blvd NE. Suite 700
Phone: 878-6551

PLEASE RETURN ORIGINALS

TO: City of Albuquerque
Planning Department/Publications
Ground Floor, West side Lobby
600 2nd St. NW Suite 201

CONTACT: Vanessa Segura-----924-3895
Annette Ortiz -----924-3463

Document: H11/D000 I-40, Master Plan + all exhibits
G11/D14A - Large Size Exhibits Pulled Out of File.

G11/D067- @ Oxbow Town Center Master Drainage Plan - Document including
G11/D14 - Master Plan for Altura West - Doc + all exhibits. exhibits.

Number of Copies 1 Black _____ Color _____

Special Instructions: ~~please put documents on CD~~

please put documents on CD
please call if more clarification needed.

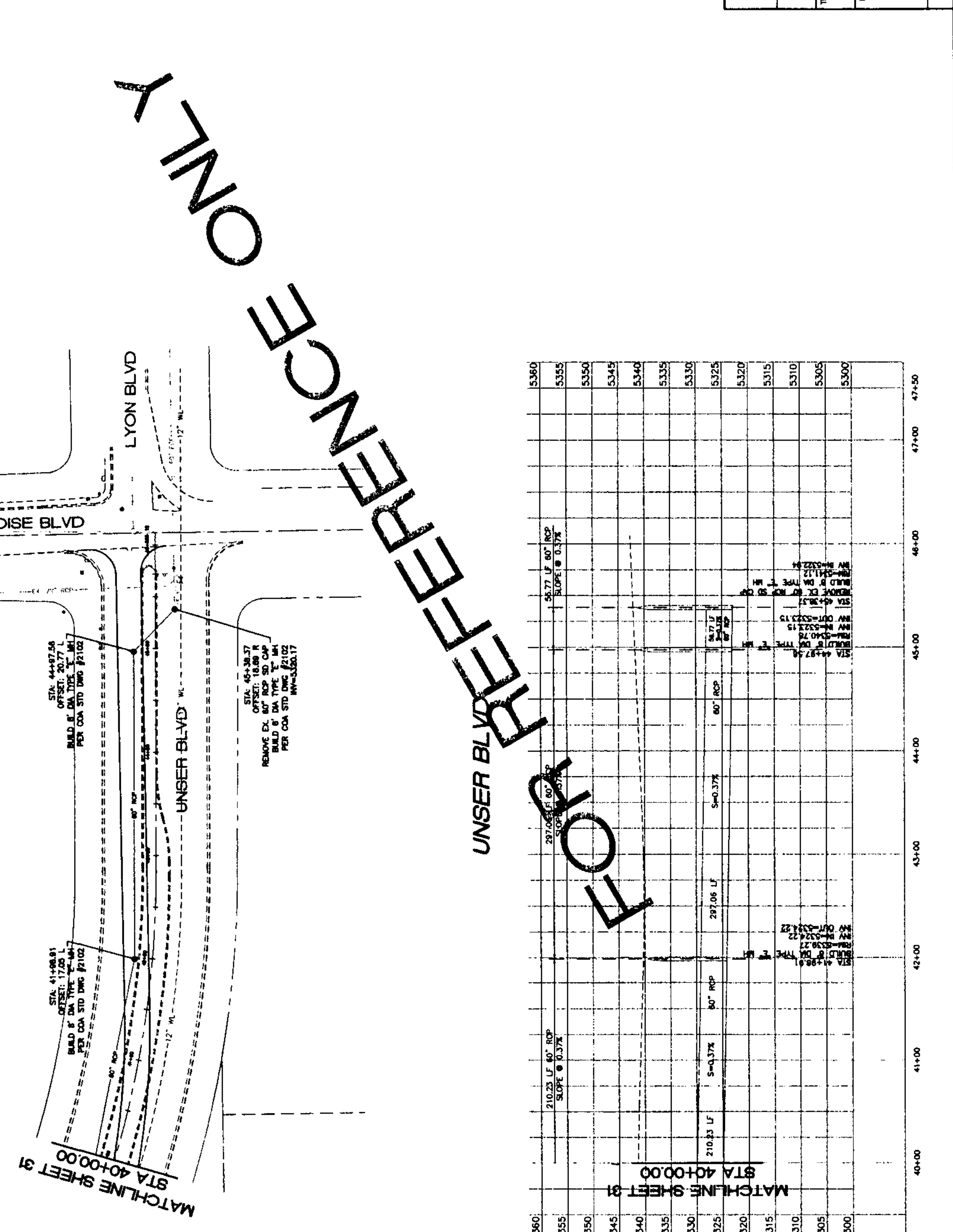
Released To: Jon Egan

Date: 6/18/14

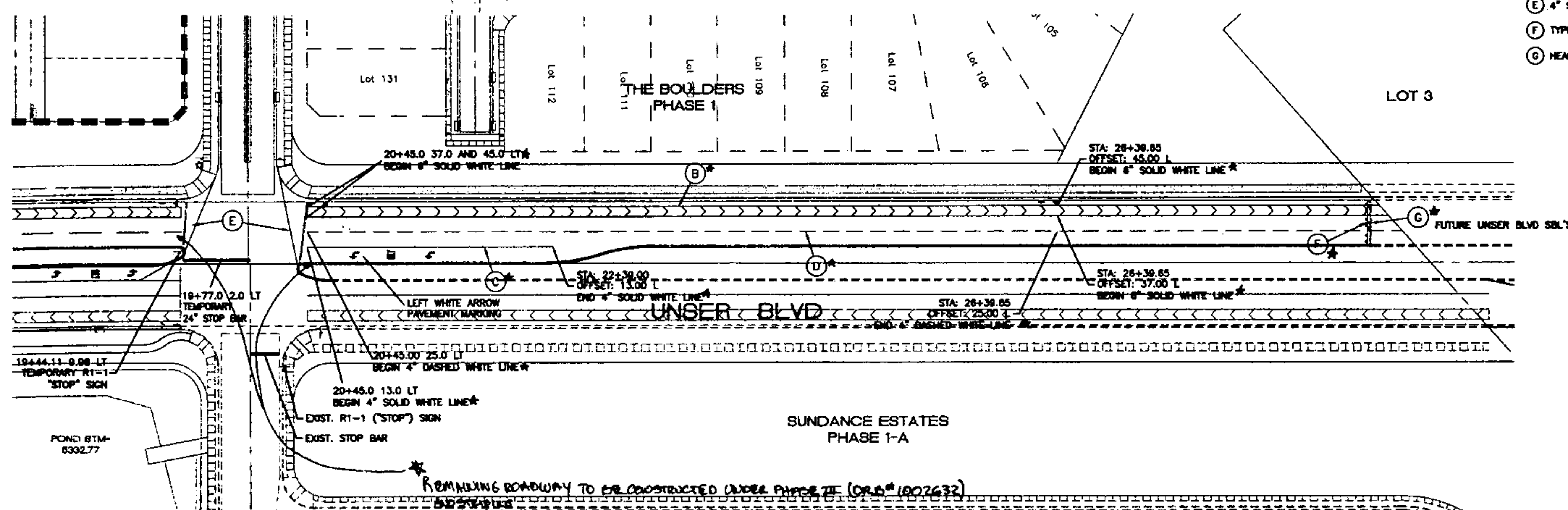
Returned To: _____

Date: _____

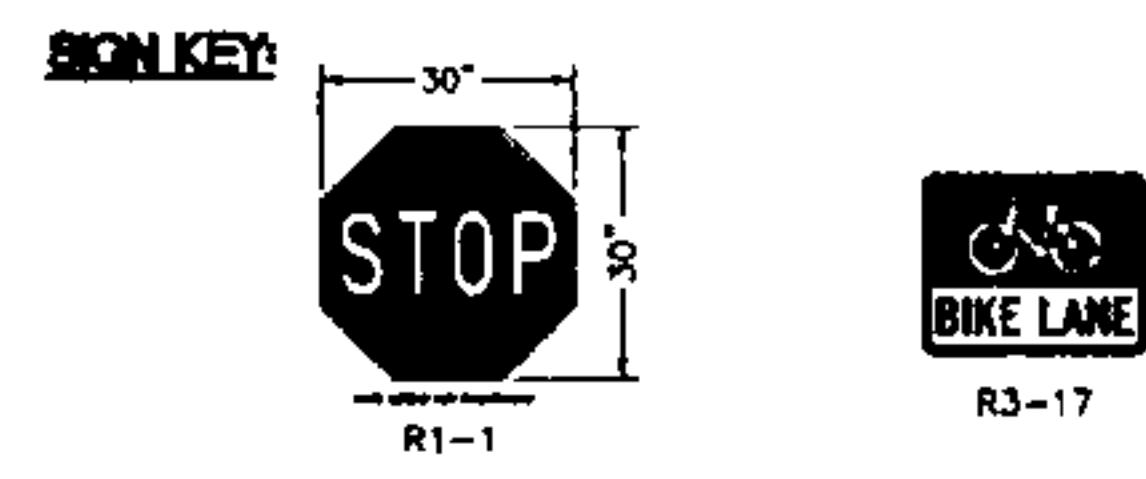
City of Albuq. Planning-Parson Brinckerhoff
6-19



ENGINEER'S
PLAN NO. 761786

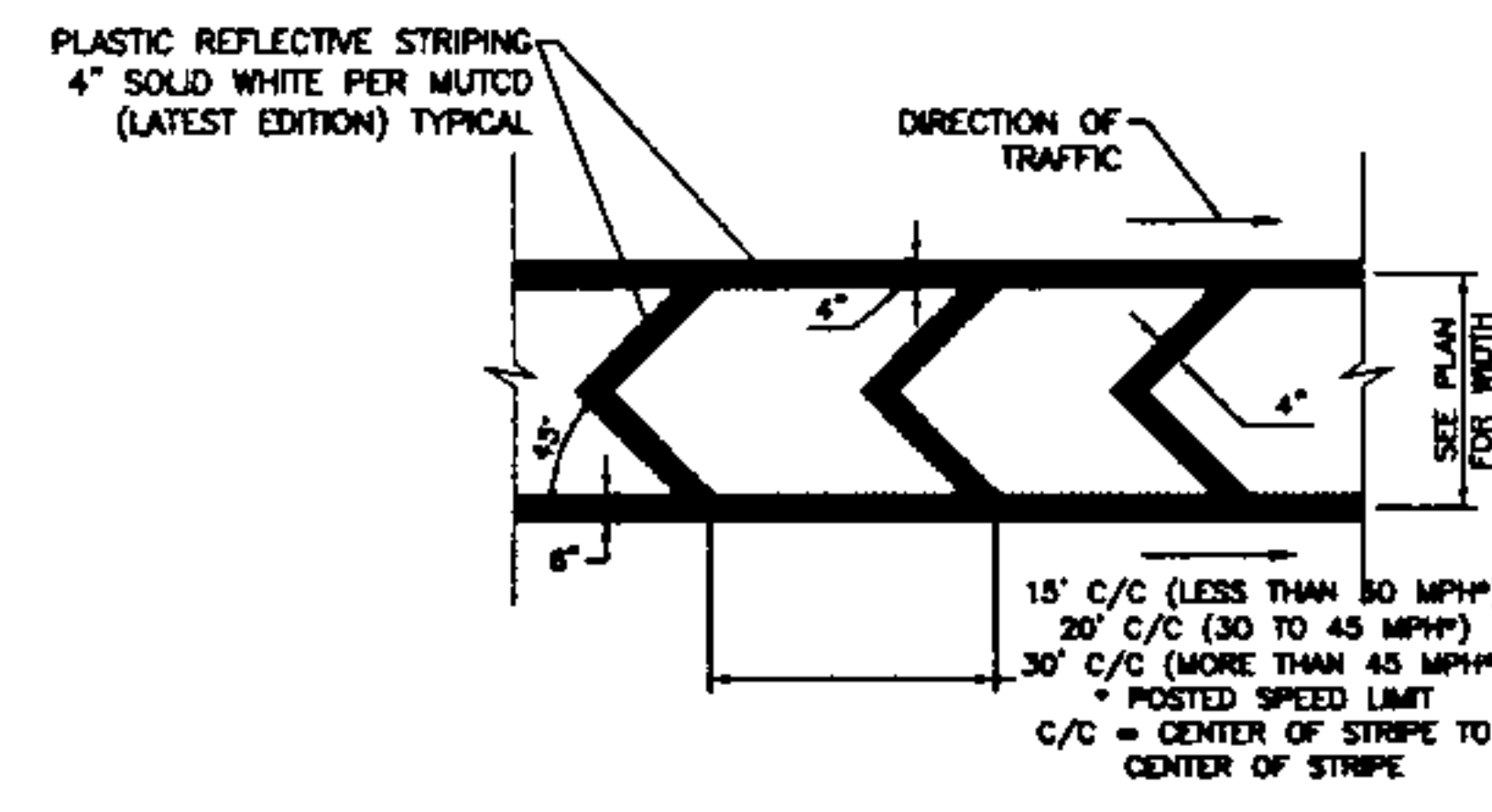


- KEYED NOTES:**
- (A) MEDIAN NOSE PAINTED YELLOW
 - (B) THERMOPLASTIC REFLECTIVE CHEVRON STRIPING (WHITE)
 - (C) 4" SOLID WHITE STRIPE
 - (D) 4" BROKEN WHITE LINE (10' STRIPE, 30' GAP)
 - (E) 4" SOLID WHITE STRIPE
 - (F) TYPE III BARRICADE W/ "ROAD CLOSED" R11-2 SIGN
 - (G) HEADER CURB PER COA STD DWG 24158

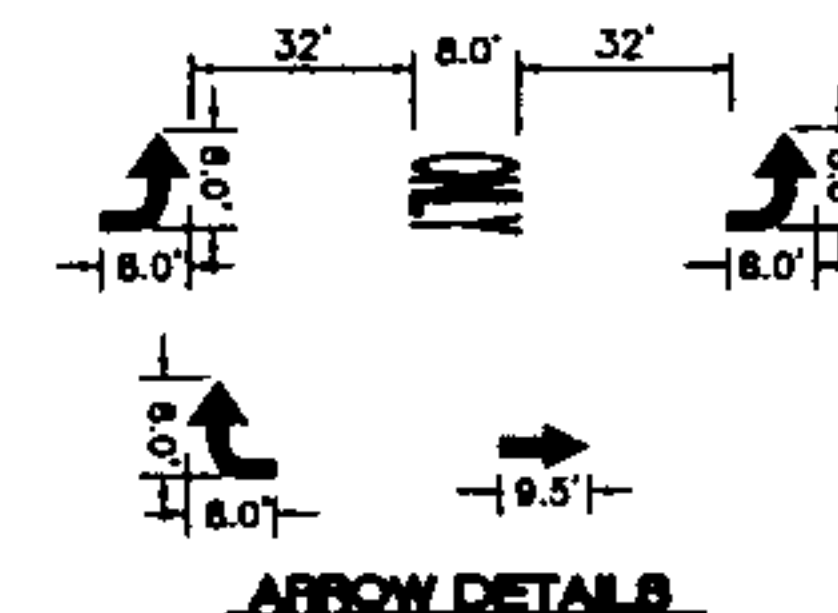
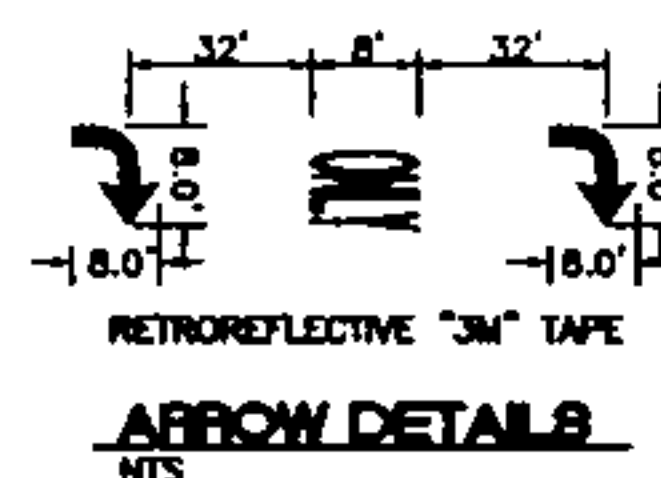


* SIGN FACES SHOWN FOR REFERENCE; CONTRACTOR SHALL VERIFY DIRECTION OF ARROW TO CORRELATE WITH INSTALLATION LOCATION AND TRAFFIC MOVEMENTS.

** CONTRACTOR SHALL COORDINATE WITH TRAFFIC OPERATIONS PRIOR SIGNING AND STRIPING



CHEVRON STRIPES DETAIL
NTS



NOTE:
ALL SYMBOLS, STOP BARS AND CROSSWALKS SHALL BE PREFORMED THERMOPLASTIC TAPE.



GRAPHIC SCALE

SCALE: 1"=50'

RECORD DRAWING

TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87110 (505) 858-3100 www.tierrawest.com	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: THE BOULDERS PHASE I STRIPING PLAN	
DESIGN REVIEW COMMITTEE APPROVE JAN 26 2011 REVIEWER	CITY ENGINEER APPROVAL APPROVE AUG 03 2011 CITY ENGINEER
NO./REV./YR.	NO./REV./YR.
761786	33 OF 33

CONCEPTUAL
PLANNING

NOTES

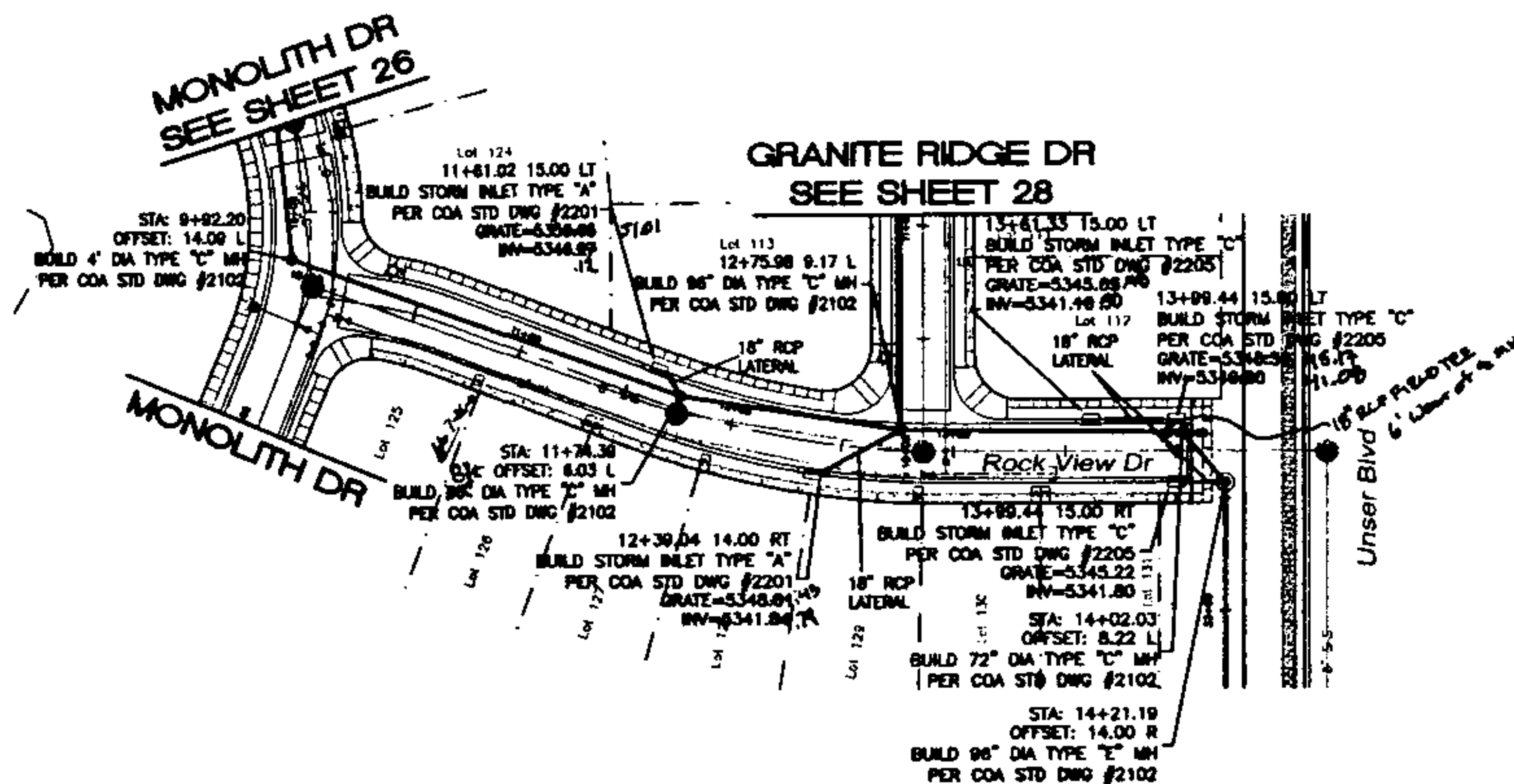
1. ALL RCP STORM DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED
2. ALL INLET GRATES WILL BE PER COA STD DWG 2220.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF THIS PROJECT.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

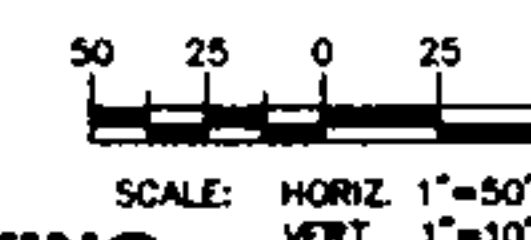


CERTIFICATE OF SUBSTANTIAL COMPLIANCE (CITIZENS)

I, **Ronald R. Bohannon**, of the firm of **Tierra West, LLC**, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certification is based on the inspection by me, or personnel under my direction with survey information provided by **Ram, Hogg, of Santa Fe, NM**, H&S number **1720**.



GRAPHIC SCALE

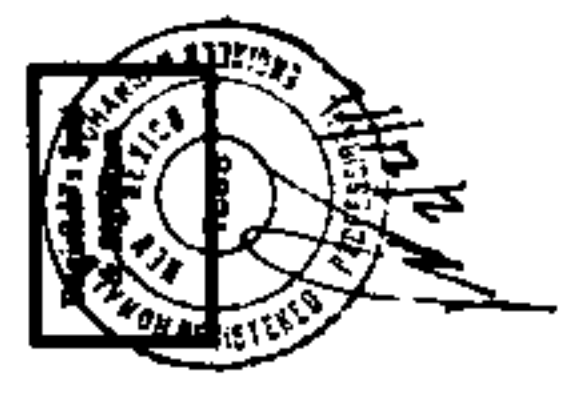


RECORD DRAWING

TIERRA WEST, LLC 5571 MONDAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
TITLE: THE BOULDERS PHASE 1 STORM DRAIN IMPROVEMENTS ROCK VIEW DR	
DESIGN REVIEW COMMITTEE APPROVED JUL 26 2011 REVIEWED BY: [Signature]	CITY ENGINEER APPROVAL APPROVED JUL 26 2011 CITY ENGINEER: [Signature]
NO. DATE	NO. DATE
DESIGNED BY: VC	NO. DATE
DRAWN BY: DT	NO. DATE
DRAWING NAME: 2011000-SH27-ROCKVIEW-SD	NO. DATE
CHECKED BY: VC	NO. DATE
ZONE MAP NO. 761786 SHEET 27 OF 33	



I, **Donald E. Robinson**, of the firm of **Terrill West LLC**, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure identified as part of this project has been inspected by me or a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer. That the original design intent of the approved plans has been met, except as noted by me on the attached Addendum to the Plans. That the construction was completed in accordance with the approved plans and specifications. This Certification is based on the data submitted by me, or personnel under my direction with survey and construction provided by **Barth Bros., Inc.**, **NO. 0075** number **5726**.



RECORD DRAWING

GRAPHIC SCALE

SCALE: HORIZ. 1"=50'
VERT. 1"=10'



TIERRA WEST, LLC
5571 MENWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 838-3100
www.tierrawestllc.com

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

TITLE: THE BOULDERS PHASE I
STORM DRAIN IMPROVEMENTS
GRANITE RIDGE RD / STA: 10+00.00 TO 10+00.00

DESIGN APPROVAL
GRANITE RIDGE RD / STA. 100+
CITY ENGINEER APPROVAL

DESIGN
REVIEW & CHECK
DATE

JUL 26 2011

APPROVED
AUG 03 2011

ZONE 1

761786
ZONE MAP NO.
9-10-72 & 9-11-72

LEAF 28 OF 33

ZONE MAP NO.
B-16-2 & B-11-2

761786

EROSION CONTROL NOTES:

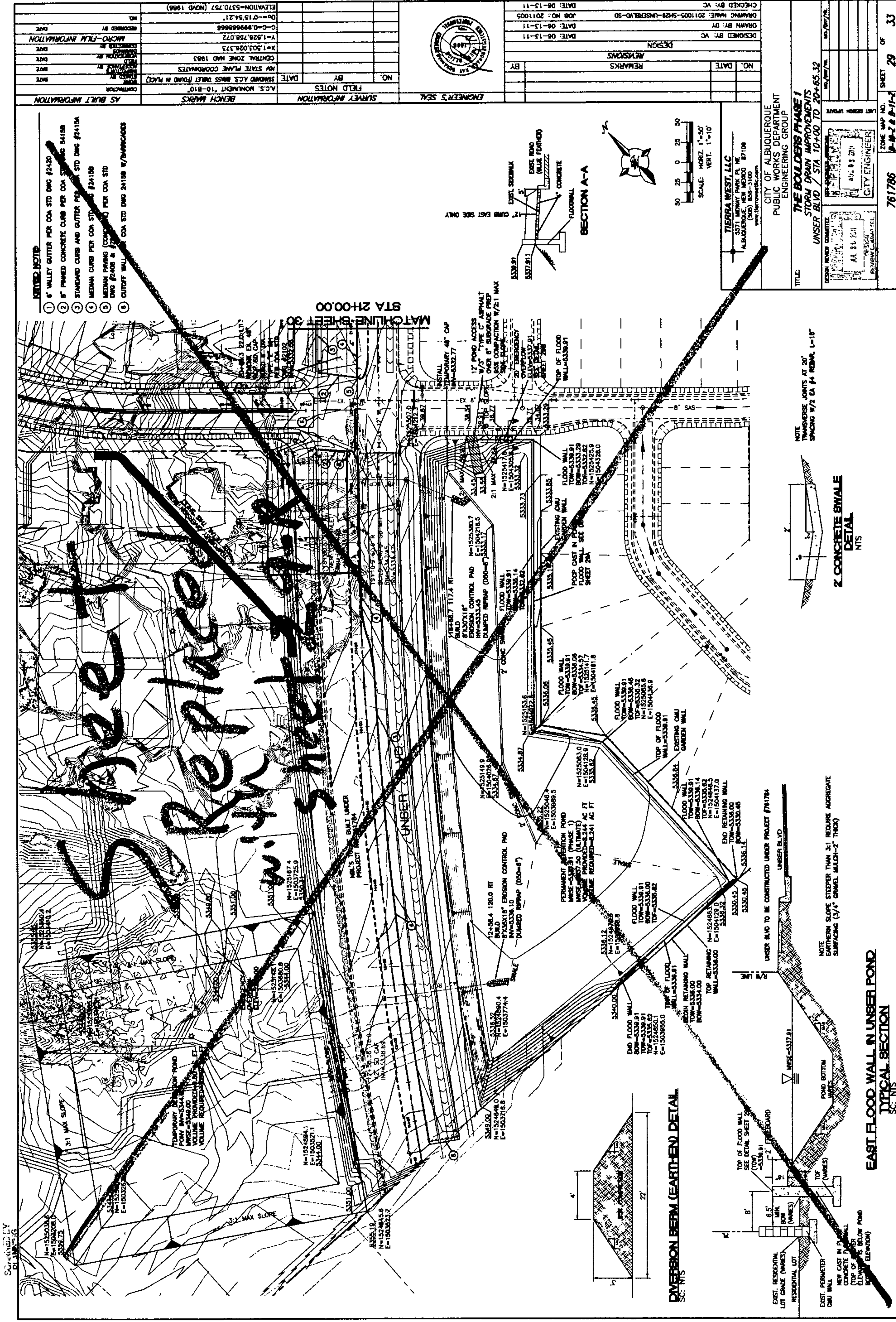
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
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5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF THIS PROJECT.

NOTES

1. ALL RCP STORM DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED
2. ALL INLET GRATES WILL BE PER CCA STD DWG 2220.

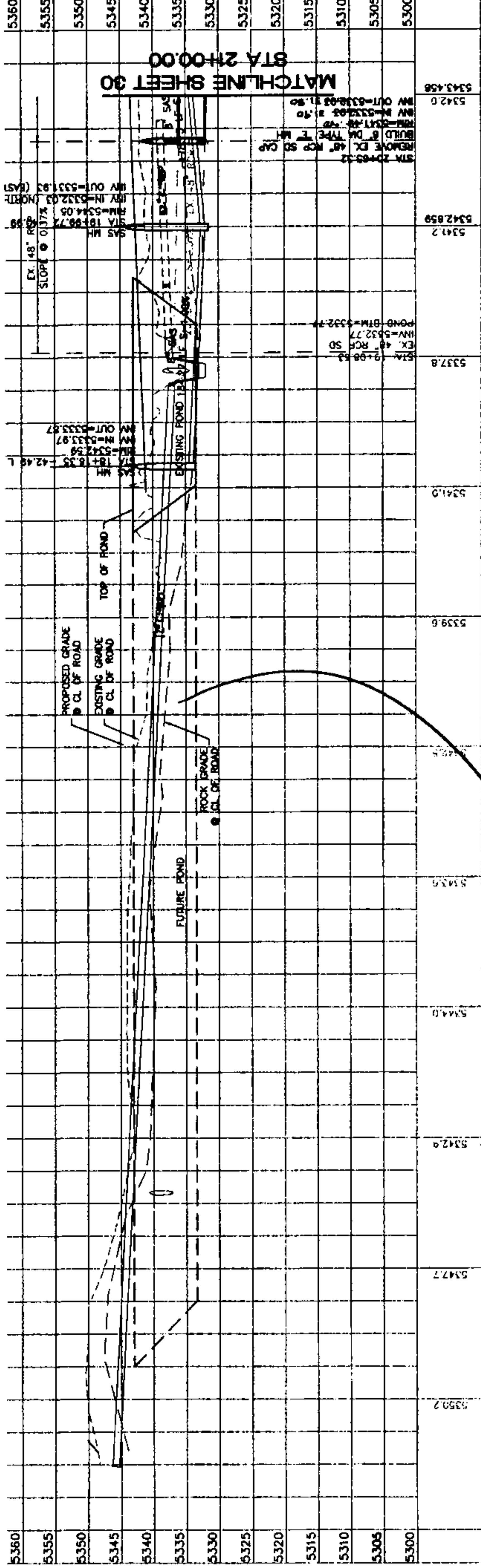
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND AROUND ANY OCCUPATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES, AND TO NOTIFY THE UTILITIES PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



REVISION
P. 10/10/10

UNSER BLVD



CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald A. Williams, of the firm of Terra West, LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify that the plans and specifications for the project described herein have been prepared by me or by a qualified person under my direct supervision and that the project has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certificate is based on the information provided by me, or personnel under my direction with access to information provided by Terra West, LLC, and is not intended to be a warranty of any kind.



POND IMPROVEMENTS TO BE BUILT IN (AREA) (SEE 80 10 10)



ENGINEER'S SEAL		NO.		DATE	
BY		BY		DATE	
FIELD NOTES		BY		DATE	
A.C.S. MONUMENT 10-810		BY		DATE	
STANDARD A.C.S. MASS TABLE (ROUND IN PLACE)		BY		DATE	
NAD STATE PLANE COORDINATES		BY		DATE	
CENTRAL ZONE NAD 1983		BY		DATE	
Y=1,526,726.072		BY		DATE	
X=1,503,026.373		BY		DATE	
G=0-0.9966666666		BY		DATE	
D=0-0.155421		BY		DATE	
ELEVATION=5370.757 (NGVD 1986)		BY		DATE	
NO.		DATE		BY	
REMARKS		DATE		BY	
DESIGN		DATE		BY	
DESIGNED BY: VC		DATE: 08-13-11		BY	
DRAWN BY: DY		DATE: 08-13-11		BY	
CHECKED BY: VC		DATE: 08-13-11		BY	
DRAWING NAME: 2011005-SH28-UNSERBLVD-S0		JOB NO: 2011005		DATE: 08-13-11	



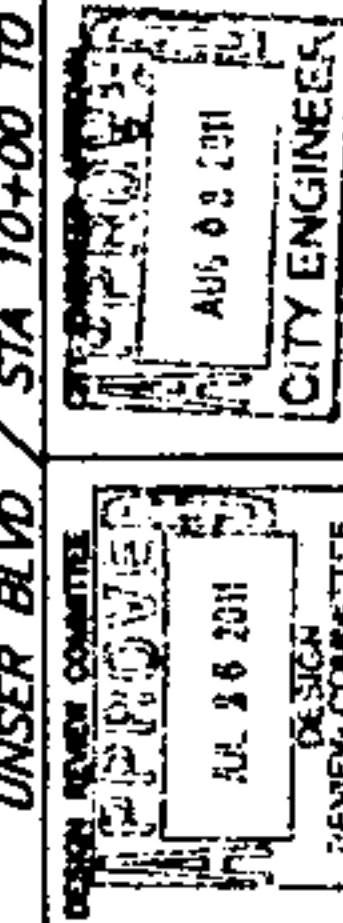
SCALE: HORIZ. 1"=50'
VERT. 1"=10'

RECORD DRAWING

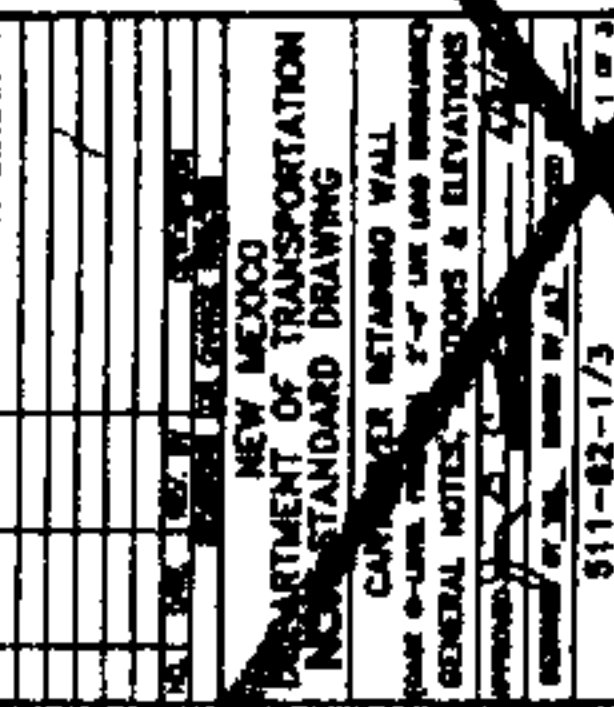
TERRA WEST, LLC
5071 MONTE VISTA PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87110
(505) 856-3100
www.terrawest.com

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

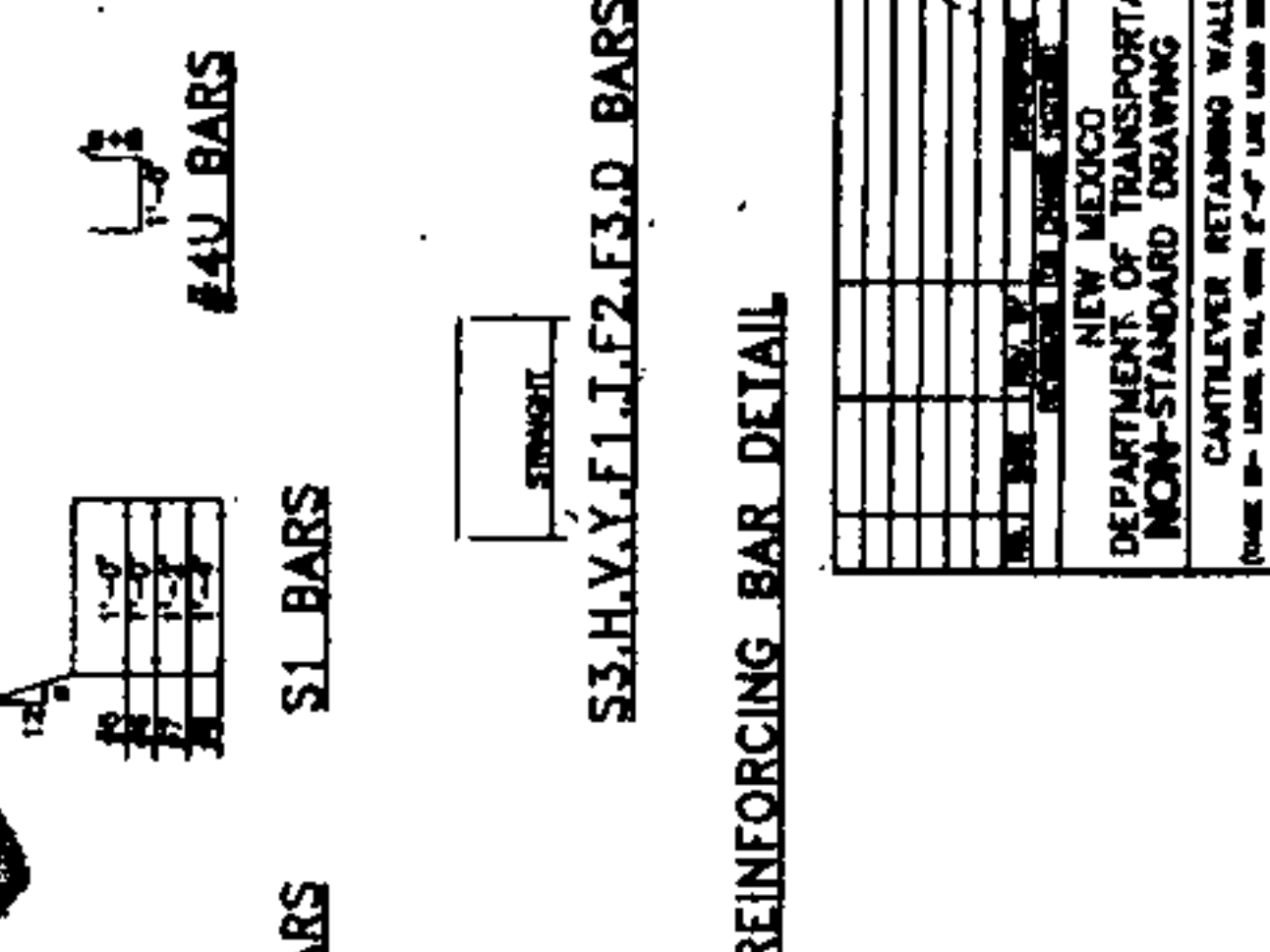
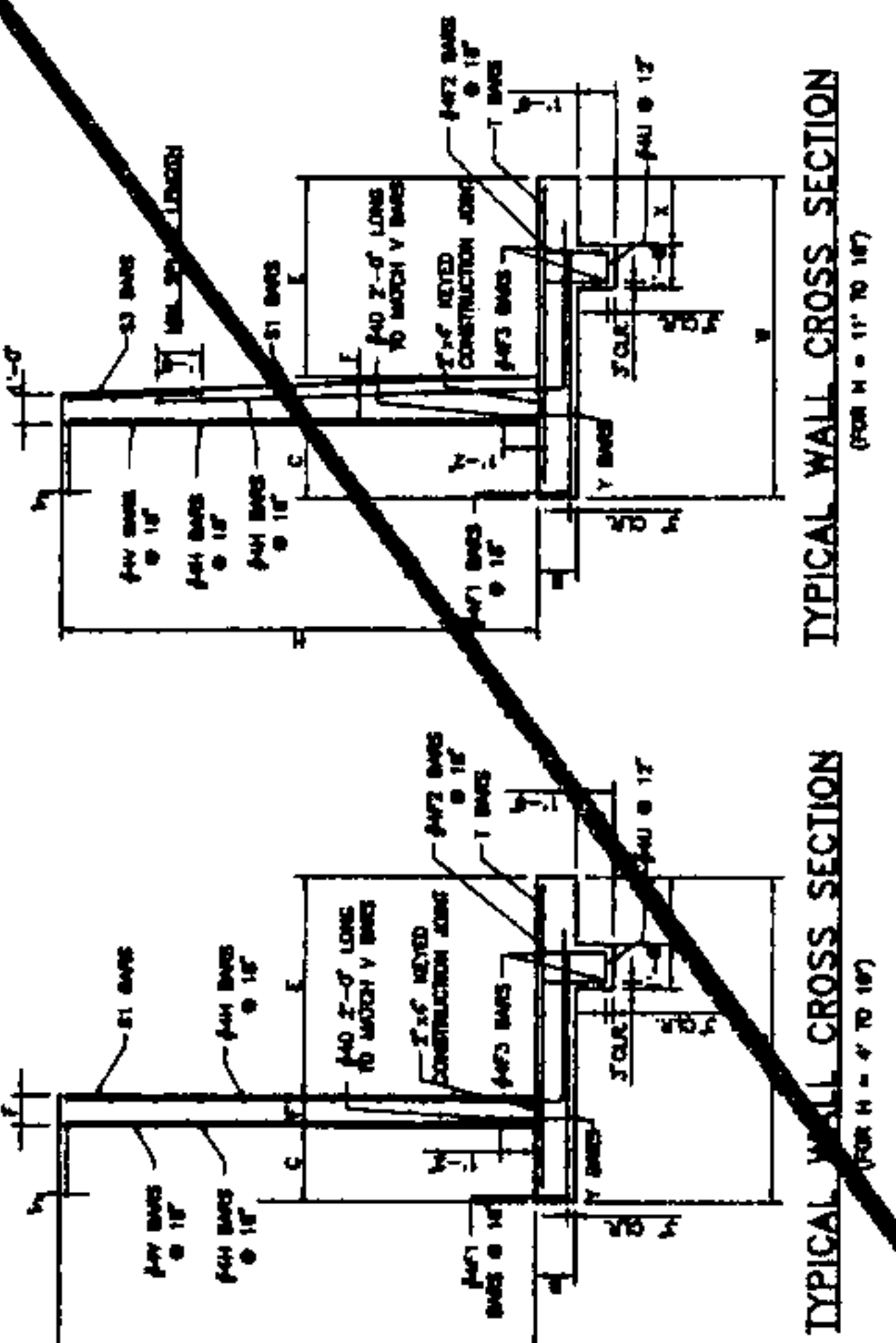
TITLE: THE BOLLINGER PHASE 1
STORM DRAIN IMPROVEMENTS
UNSER BLVD / STA 10+00 TO 20+65.32-PROFILE



ZONE MAP NO. 761786
SHEET 29A OF 33

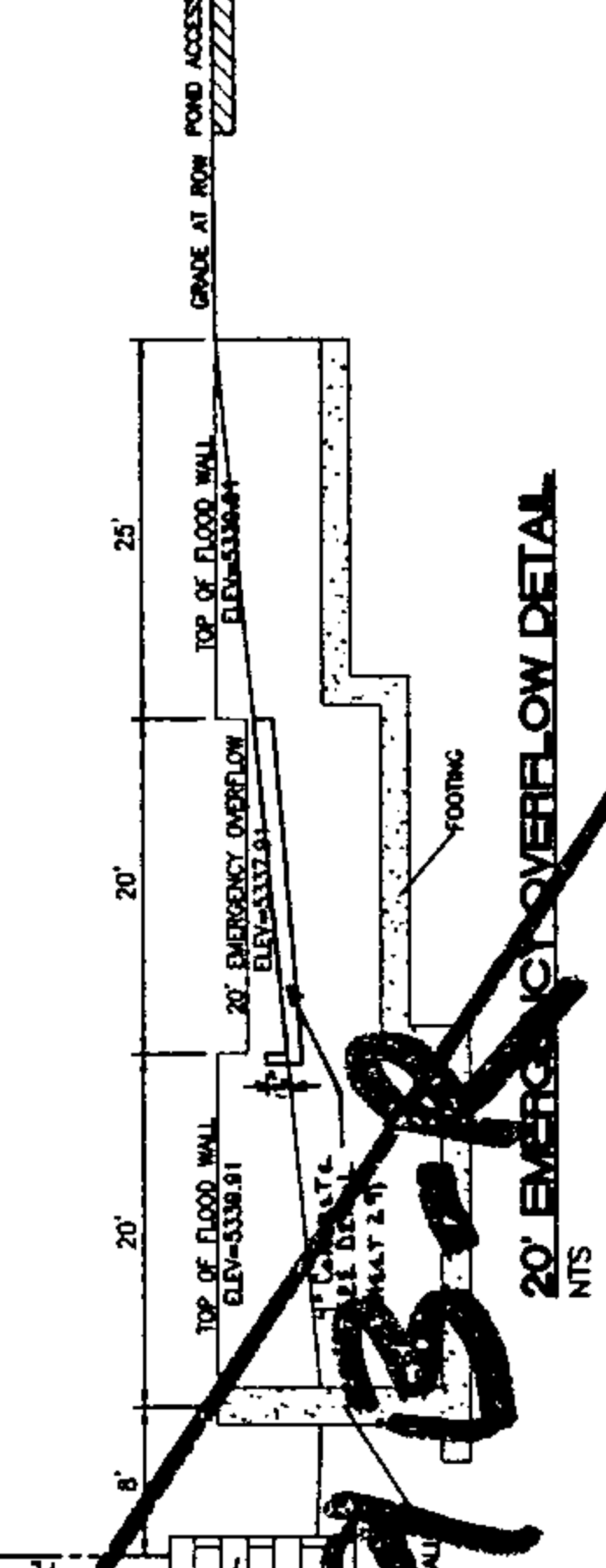


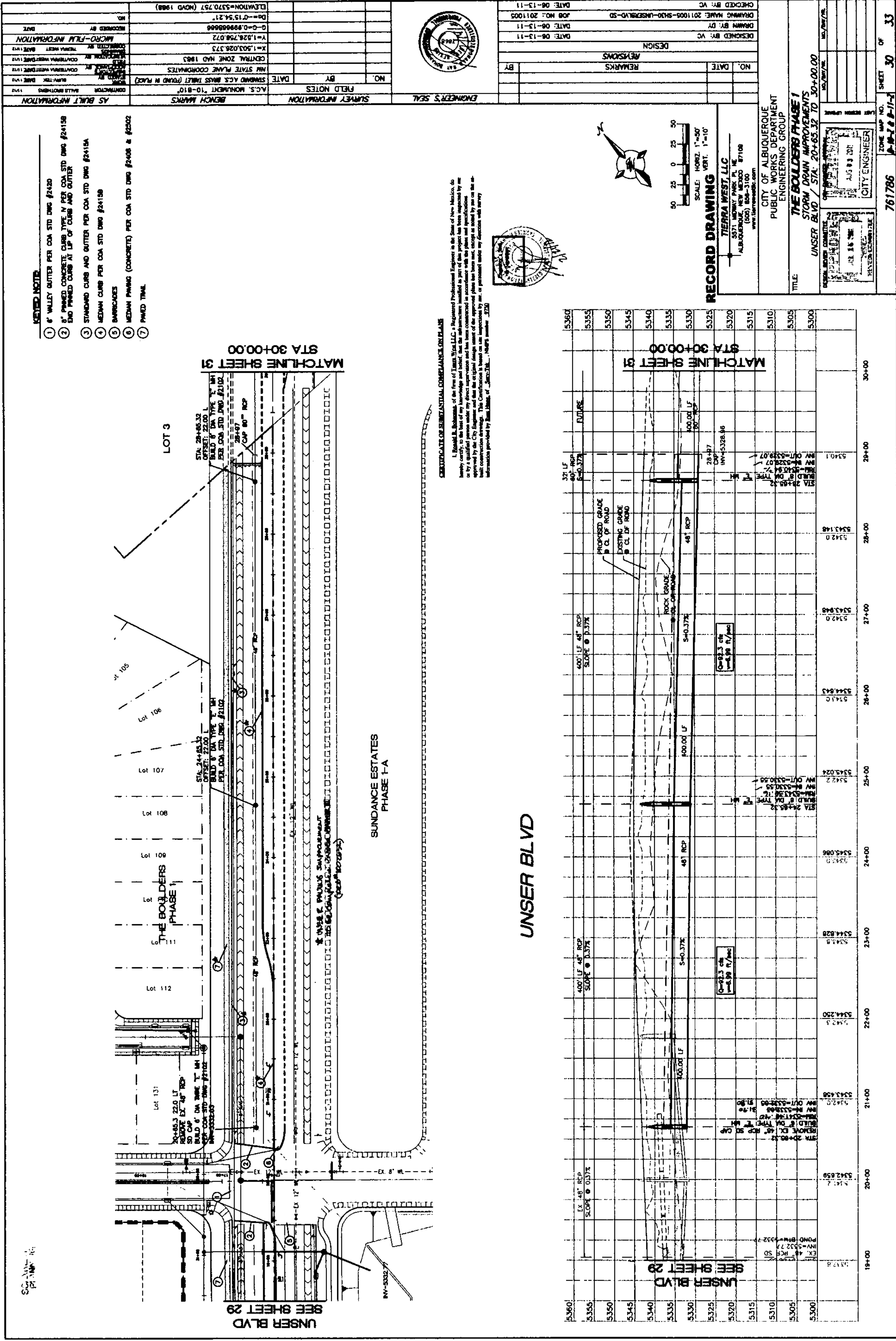
WALL DIMENSIONS										CASE III - LEVEL FILL WITH 2'-0" LIVE LOAD SURCHARGE • DENOTES THE TOTAL NUMBERS OF BARS IN EACH SECTION																				EXTENDING QUANTITY PER 10' OF WALL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																	
1	2	3	4	5	6	7	8	9	10	S1		S2		S3		S4		S5		S6		S7		S8		S9		S10		S11		S12		S13		S14		S15		S16		S17		S18		S19		S20		S21		S22		S23		S24		S25		S26		S27		S28		S29		S30		S31		S32		S33		S34		S35		S36		S37		S38		S39		S40		S41		S42		S43		S44		S45		S46		S47		S48		S49		S50		S51		S52		S53		S54		S55		S56		S57		S58		S59		S60		S61		S62		S63		S64		S65		S66		S67		S68		S69		S70		S71		S72		S73		S74		S75		S76		S77		S78		S79		S80		S81		S82		S83		S84		S85		S86		S87		S88		S89		S90		S91		S92		S93		S94		S95		S96		S97		S98		S99		S100		S101		S102		S103		S104		S105		S106		S107		S108		S109		S110		S111		S112		S113		S114		S115		S116		S117		S118		S119		S120		S121		S122		S123		S124		S125		S126		S127		S128		S129		S130		S131		S132		S133		S134		S135		S136		S137		S138		S139		S140		S141		S142		S143		S144		S145		S146		S147		S148		S149		S150		S151		S152		S153		S154		S155		S156		S157		S158		S159		S160		S161		S162		S163		S164		S165		S166		S167		S168		S169		S170		S171		S172		S173		S174		S175		S176		S177		S178		S179		S180		S181		S182		S183		S184		S185		S186		S187		S188		S189		S190		S191		S192		S193		S194		S195		S196		S197		S198		S199		S200		S201		S202		S203		S204		S205		S206		S207		S208		S209		S210		S211		S212		S213		S214		S215		S216		S217		S218		S219		S220		S221		S222		S223		S224		S225		S226		S227		S228		S229		S230		S231		S232		S233		S234		S235		S236		S237		S238		S239		S240		S241		S242		S243		S244		S245		S246		S247		S248		S249		S250		S251		S252		S253		S254		S255		S256		S257		S258		S259		S260		S261		S262		S263		S264		S265		S266		S267		S268		S269		S270		S271		S272		S273		S274		S275		S276		S277		S278		S279		S280		S281		S282		S283		S284		S285		S286		S287		S288		S289		S290		S291		S292		S293		S294		S295		S296		S297		S298		S299		S300		S301		S302		S303		S304		S305		S306		S307		S308		S309		S310		S311		S312		S313		S314		S315		S316		S317		S318		S319		S320		S321		S322		S323		S324		S325		S326		S327		S328		S329		S330		S331		S332		S333		S334		S335		S336		S337		S338		S339		S340		S341		S342		S343		S344		S345		S346		S347		S348		S349		S350		S351		S352		S353		S354		S355		S356		S357		S358		S359		S360		S361		S362		S363		S364		S365		S366		S367		S368		S369		S370		S371		S372		S373		S374		S375		S376		S377		S378		S379		S380		S381		S382		S383		S384		S385		S386		S387		S388		S389		S390		S391		S392		S393		S394		S395		S396		S397		S398		S399		S400		S401		S402		S403		S404		S405		S406		S407		S408		S409		S410		S411		S412		S413		S414		S415		S416		S417		S418		S419		S420		S421		S422		S423		S424		S425		S426		S427		S428		S429		S430		S431		S432		S433		S434		S435		S436		S437		S438		S439		S440		S441		S442		S443		S444		S445		S446		S447		S448		S449		S450		S451		S452		S453		S454		S455		S456		S457		S458		S459		S460		S461		S462		S463		S464		S465		S466		S467		S468		S469		S470		S471		S472		S473		S474		S475		S476		S477		S478		S479		S480		S481		S482		S483		S484		S485		S486		S487		S488		S489		S490		S491		S492		S493		S494		S495		S496		S497		S498		S499		S500		S501		S502		S503		S504		S505		S506		S507		S508		S509		S510		S511		S512		S513		S514		S515		S516		S517		S518		S519		S520		S521		S522		S523		S524		S525		S526		S527		S528		S529		S530		S531		S532		S533		S534		S535		S536		S537		S538		S539		S540		S541		S542		S543		S544		S545		S546		S547		S548		S549		S550		S551		S552		S553		S554		S555		S556		S557		S558		S559		S560		S561		S562		S563		S564		S565		S566		S567		S568		S569		S570		S571		S572		S573		S574		S575		S576		S577		S578		S579		S580		S581		S582		S583		S584		S585		S586		S587		S588		S589		S590		S591		S592		S593		S594		S595		S596		S597		S598		S599		S600		S601		S602		S603		S604		S605		S606		S607		S608		S609		S610		S611		S612		S613		S614		S615		S616		S617		S618		S619		S620		S621		S622		S623		S624		S625		S626		S627		S628		S629		S630		S631		S632		S633		S634		S635		S636		S637		S638		S639		S640		S641		S642		S643		S644		S645		S646		S647		S648		S649		S650		S651		S652		S653		S654		S655		S656		S657		S658		S659		S660		S661		S662		S663		S664		S665		S666		S667		S668		S669		S670		S671		S672		S673		S674		S675		S676		S677		S678		S679		S680		S681		S682		S683		S684		S685		S686		S687		S688		S689		S690		S691		S692		S693		S694		S695		S696		S697		S698		S699		S700		S701		S702		S703		S704		S705		S706		S707		S708		S709		S710		S711		S712		S713		S714		S715		S716		S717		S718		S719		S720		S721		S722		S723		S724		S725		S726		S727		S728		S729		S730		S731		S732		S733		S734		S735		S736		S737		S738		S739		S740		S741		S742		S743		S744		S745		S746		S747		S748		S749		S750		S751		S752		S753		S754		S755		S756		S757		S758		S759		S760		S761		S762		S763		S764		S765		S766		S767		S768		S769		S770		S771		S772		S773		S774		S775		S776		S777		S778		S779		S780		S781		S782		S783		S784		S785		S786		S787		S788		S789		S790		S791		S792		S793		S794		S795		S796		S797		S798		S799		S800		S801		S802		S803		S804		S805		S806		S807		S808		S809		S810		S811		S812		S813		S814		S815		S816		S817		S818		S819		S820		S821		S822		S823		S824		S825		S826		S827		S828		S829		S830		S831		S832		S833		S834		S835		S836		S837		S838		S839		S840		S841		S842		S843		S844		S845		S846		S847		S848		S849		S850		S851		S852		S853		S854		S855		S856		S857		S858		S859		S860		S861		S862		S863		S864		S865		S866		S867		S868		S869		S870		S871		S872		S873		S874		S875		S876		S877		S878		S879		S880		S881		S882		S883		S884		S885		S886		S887		S888		S889		S890		S891		S892		S893		S894		S895		S896		S897		S898		S899		S900		S901		S902		S903		S904		S905		S906		S907		S908		S909		S910		S911		S912		S913		S914		S915		S916		S917		S918		S919		S920		S921		S922		S923		S924		S925		S926		S927		S928		S929		S930		S931		S932		S933		S934		S935		S936		S937		S938		S939		S940		S941		S942		S943		S944		S945		S946		S947		S948		S949		S950		S951		S952		S953		S954		S955		S956		S957		S958		S959		S960		S961		S962		S963		S964		S965		S966		S967		S968		S969		S970		S971		S972		S973		S974		S975		S976		S977		S978		S979		S980		S981		S982		S983		S984		S985		S986		S987		S988		S989		S990		S991		S992		S993		S994		S995		S996		S997		S998		S999		S1000		S1001		S1002		S1003		S1004		S1005		S1006		S1007		S1008		S1009		S1010		S1011		S1012		S1013		S1014		S1015		S1016		S1017		S1018		S1019		S1020		S1021		S1022		S1023		S1024		S1025		S1026		S1027</	

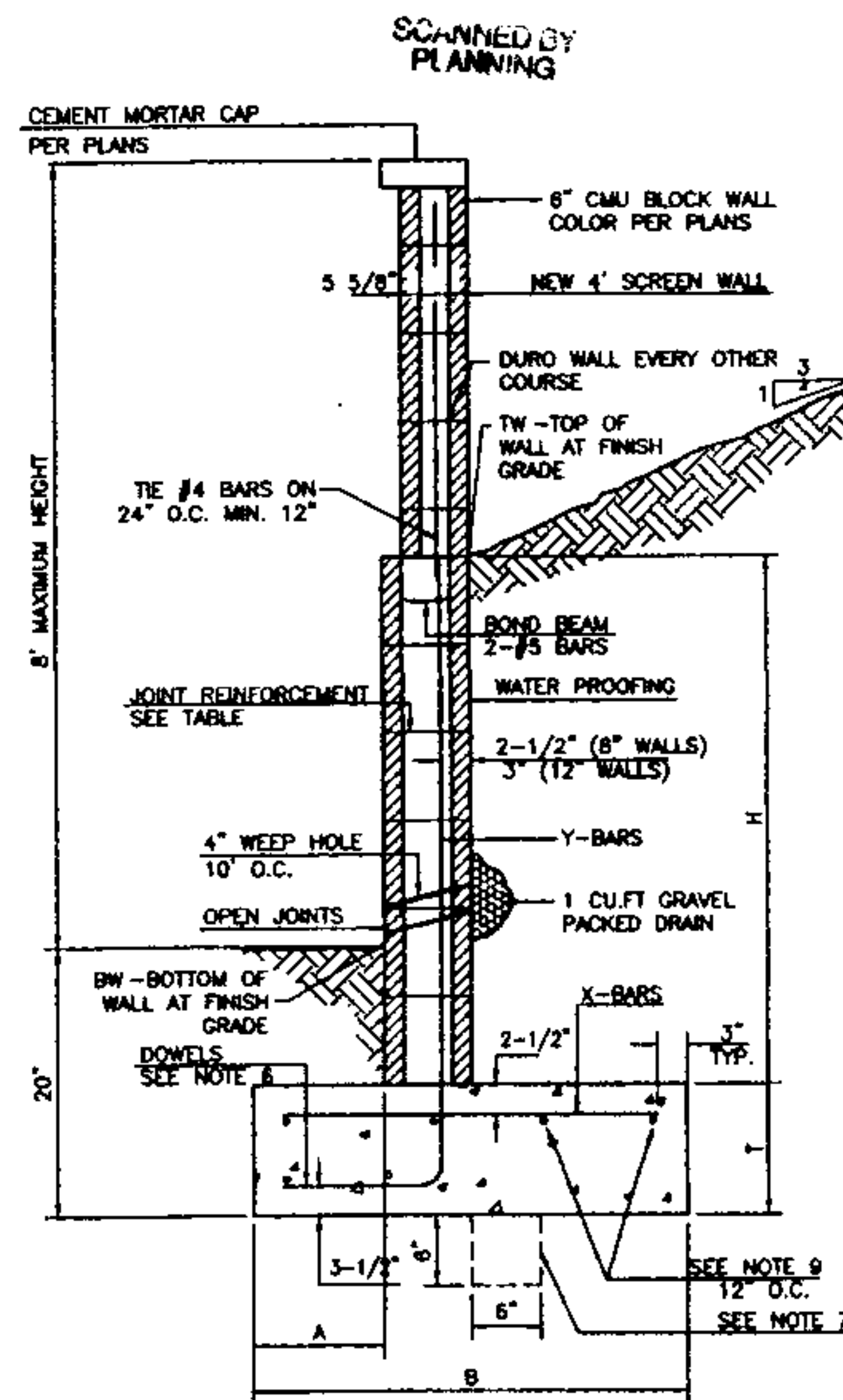


NOTES TO CONTRACTOR:

1. CONCRETE SHALL BE 4000 PSI @ 28 DAY.
2. SHEET PILING OF 3. EXPANSION ASSEMBLY DETAIL DOES NOT APPLY TO THIS PROJECT AND IS THEREFORE NOT SHOWN.
3. WATER STOP DRAMPFELDS AND WEED HOLES SHALL BE CONSTRUCTED WITH THIS FLOOD WALL.
4. EXPANSION CONCRETE JOINT WATER STOP (WATER STOP ROD 100 OR EQUIV.) SHALL BE APPLIED TO ALL CONSTRUCTION JOINTS.
5. WATER PROOF INSIDE FACE OF RETAINING WALL (BELOW GRADE).

[illegible]





RETAINING W/ SCREEN WALL DETAIL

NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

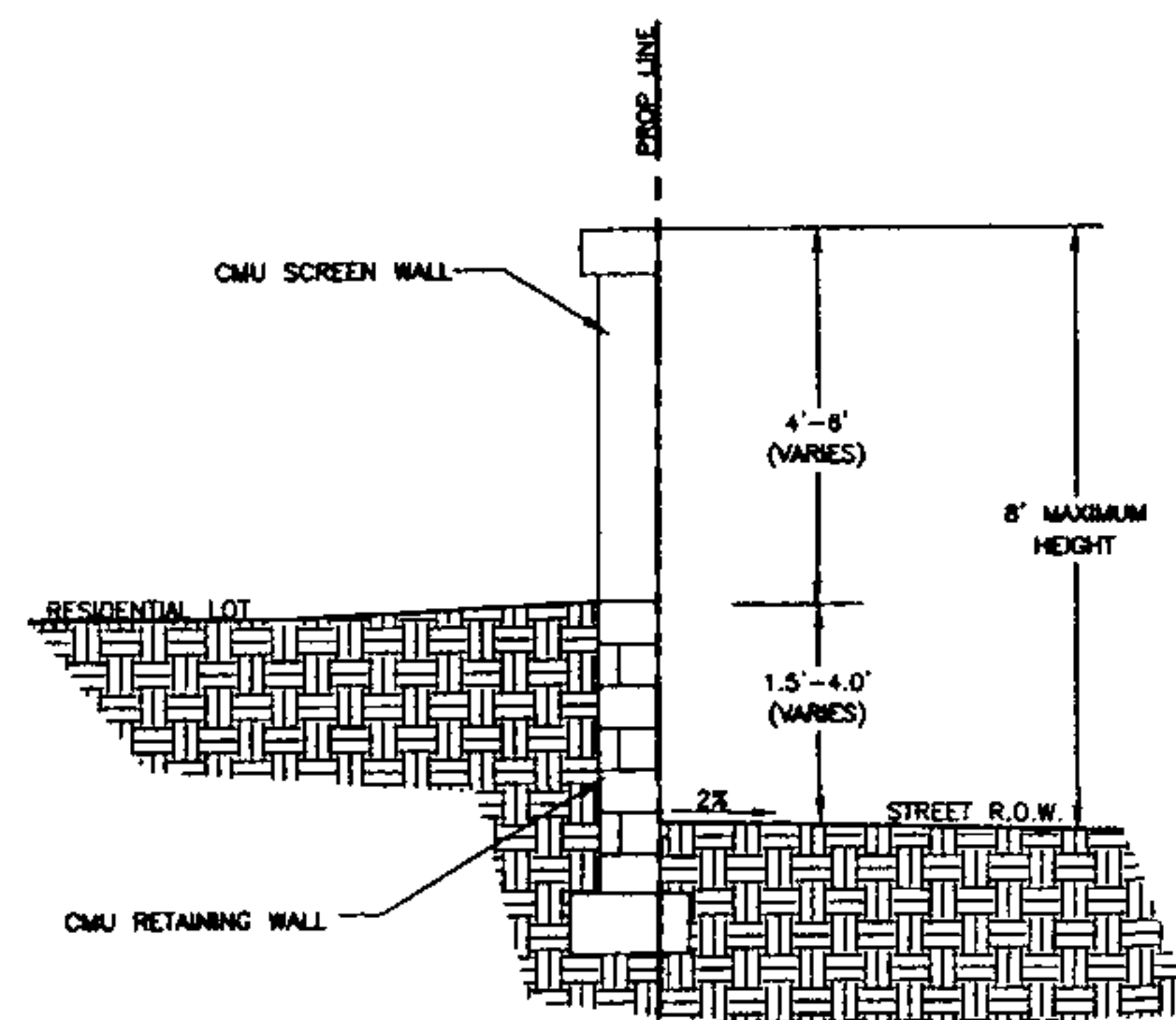
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
2'-6"	1'-9"	8"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
3'-4"	2'-5"	8"	2'-4"	9"	#3 @32" O.C.	#3 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#3 @27" O.C.
4'-6"	3'-7"	10"	3'-4"	10"	#5 @32" O.C.	#3 @27" O.C.
5'-4"	4'-5"	14"	3'-8"	10"	#4 @16" O.C.	#4 @30" O.C.
6'-0"	5'-3"	18"	4'-2"	12"	#6 @24" O.C.	#4 @25" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
5'-4"	4'-8"	14"	3'-8"	10"	#4 @24" O.C.	#3 @25" O.C.
6'-0"	5'-4"	18"	4'-2"	12"	#6 @16" O.C.	#4 @30" O.C.
6'-6"	6'-0"	18"	4'-8"	12"	#6 @24" O.C.	#4 @22" O.C.
7'-4"	6'-8"	18"	4'-10"	12"	#5 @16" O.C.	#5 @28" O.C.
8'-0"	7'-4"	20"	5'-4"	12"	#7 @24" O.C.	#5 @21" O.C.
8'-6"	8'-0"	20"	5'-8"	12"	#7 @16" O.C.	#5 @21" O.C.

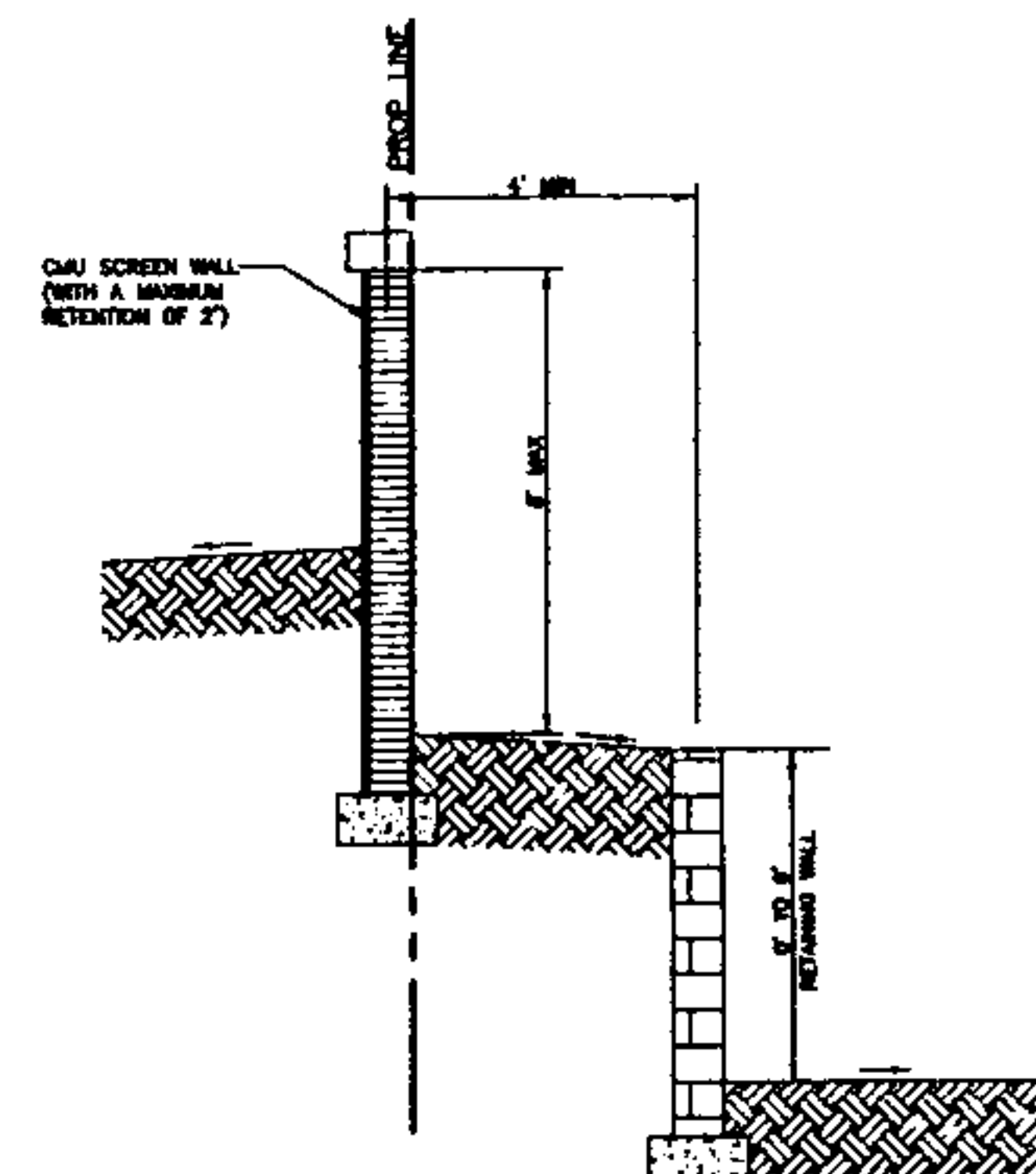
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2\%$ OF OPTIMUM.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0".
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.
9. #3 BARS TO BE USED ON WALLS LESS THAN 2'-8" IN HEIGHT.
10. #4 BARS TO BE USED ON WALLS GREATER THAN OR EQUAL TO 2'-8".
11. #5 BARS TO BE USED ON WALLS EXCEEDING 2'-8".
12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



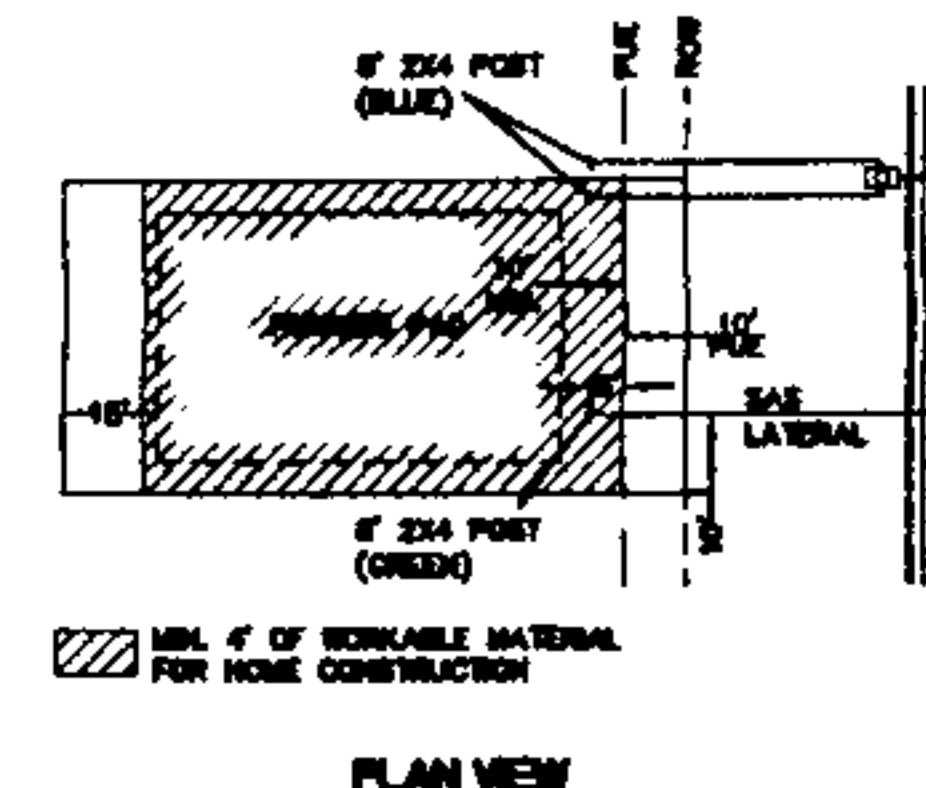
RETAINING WALL W/ SCREEN WALL DETAIL- TYPICAL

NTS

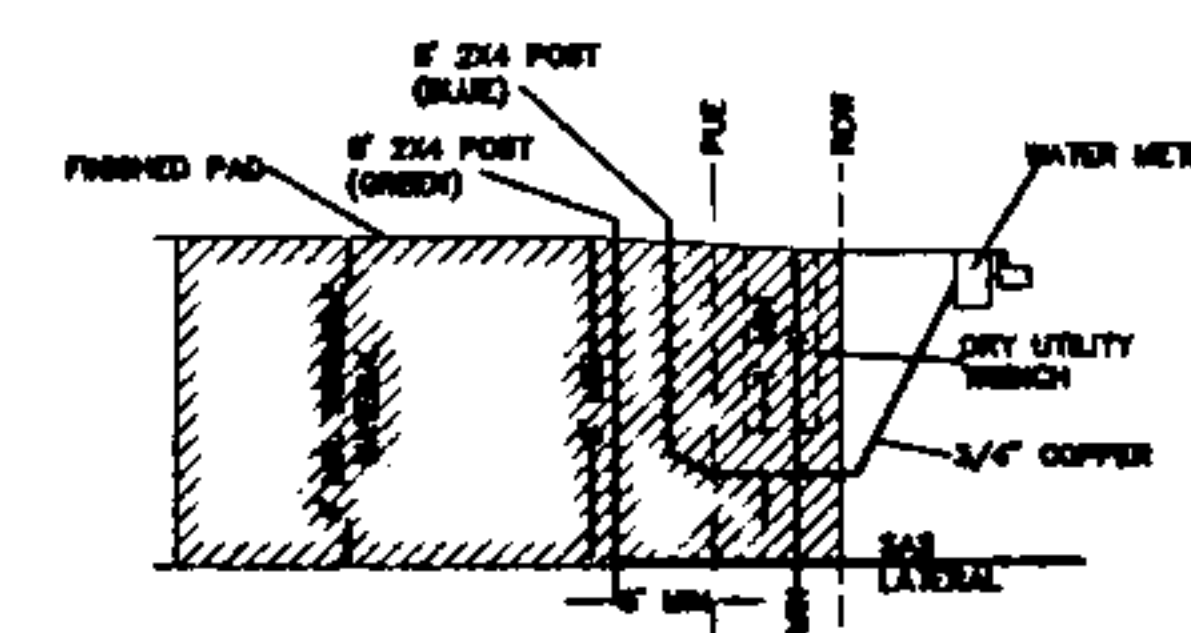


RETAINING WALL W/ SCREEN WALL DETAIL

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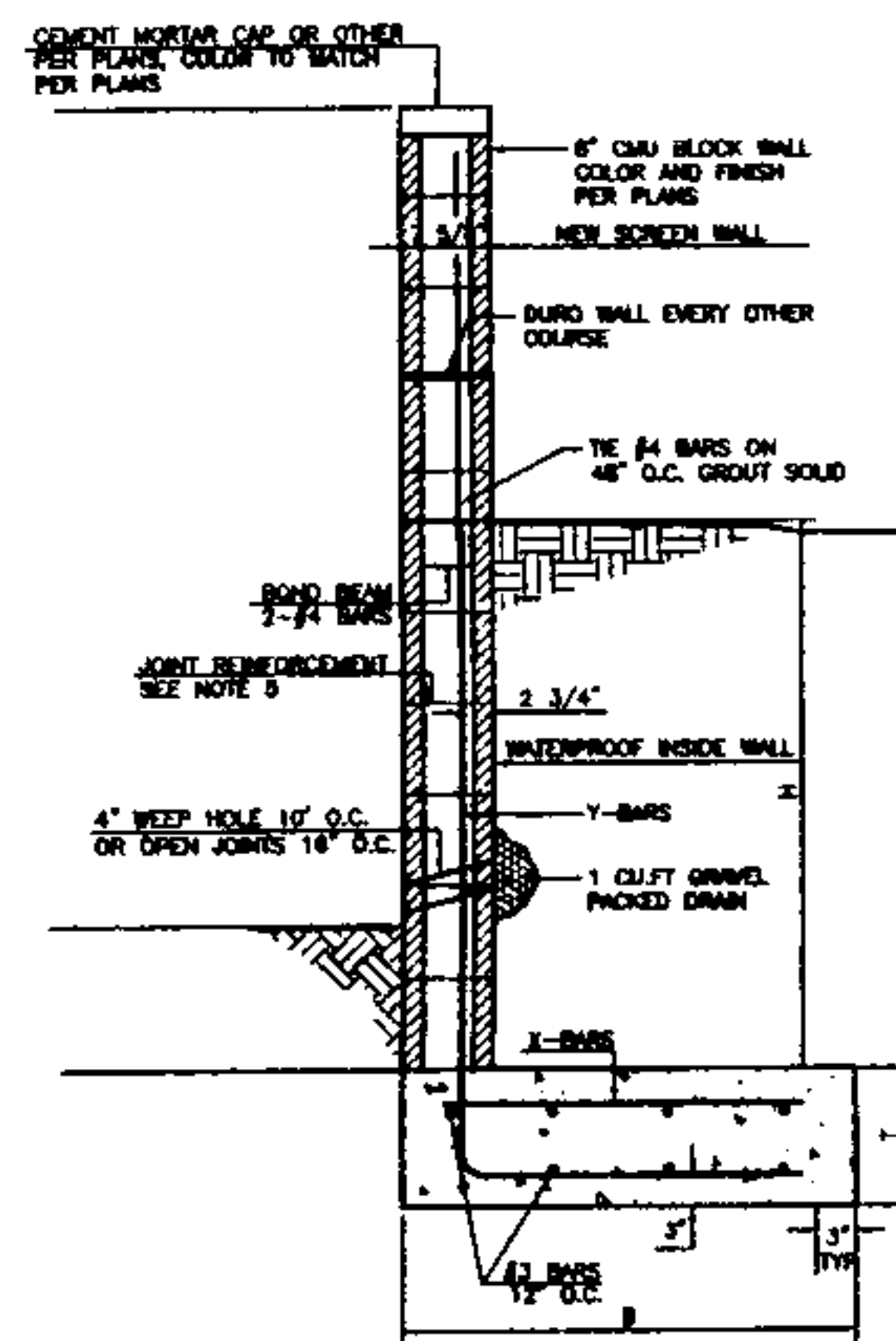


PLAN VIEW



SECTION VIEW
THE BOULDERS
UTILITY SERVICE DETAIL

FOR INFORMATION ONLY



L-FOOTING
RETAINING WALL DETAIL

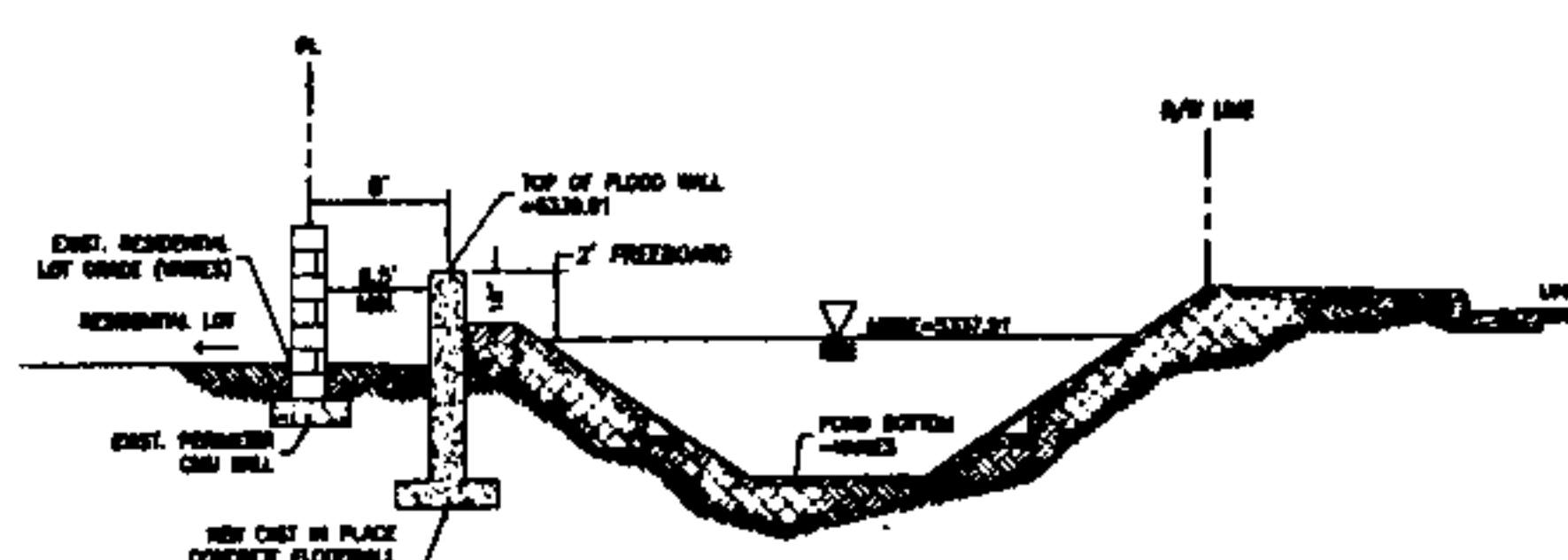
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2\%$ OF OPTIMUM.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

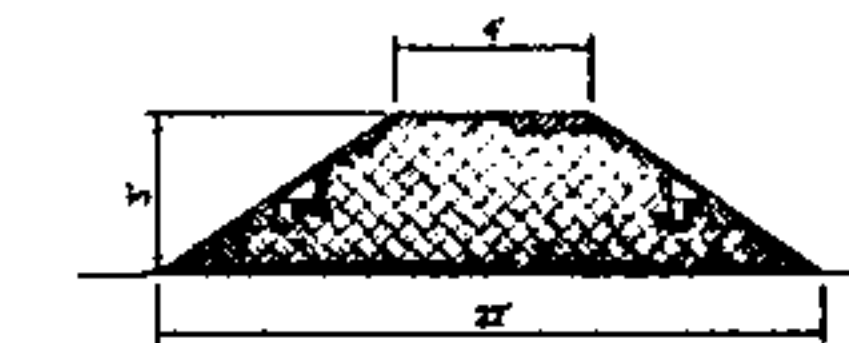
8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-6"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-6"	4'-0"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
5'-4"	5'-0"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.
6'-0"	5'-6"	12"	#4 @ 8" O.C.	#4 @ 8" O.C.



EAST FLOOD WALL IN UNDER POND
TYPICAL SECTION

SC: NTS



DIMENSION BERM (EARTH) DETAIL

SC: NTS

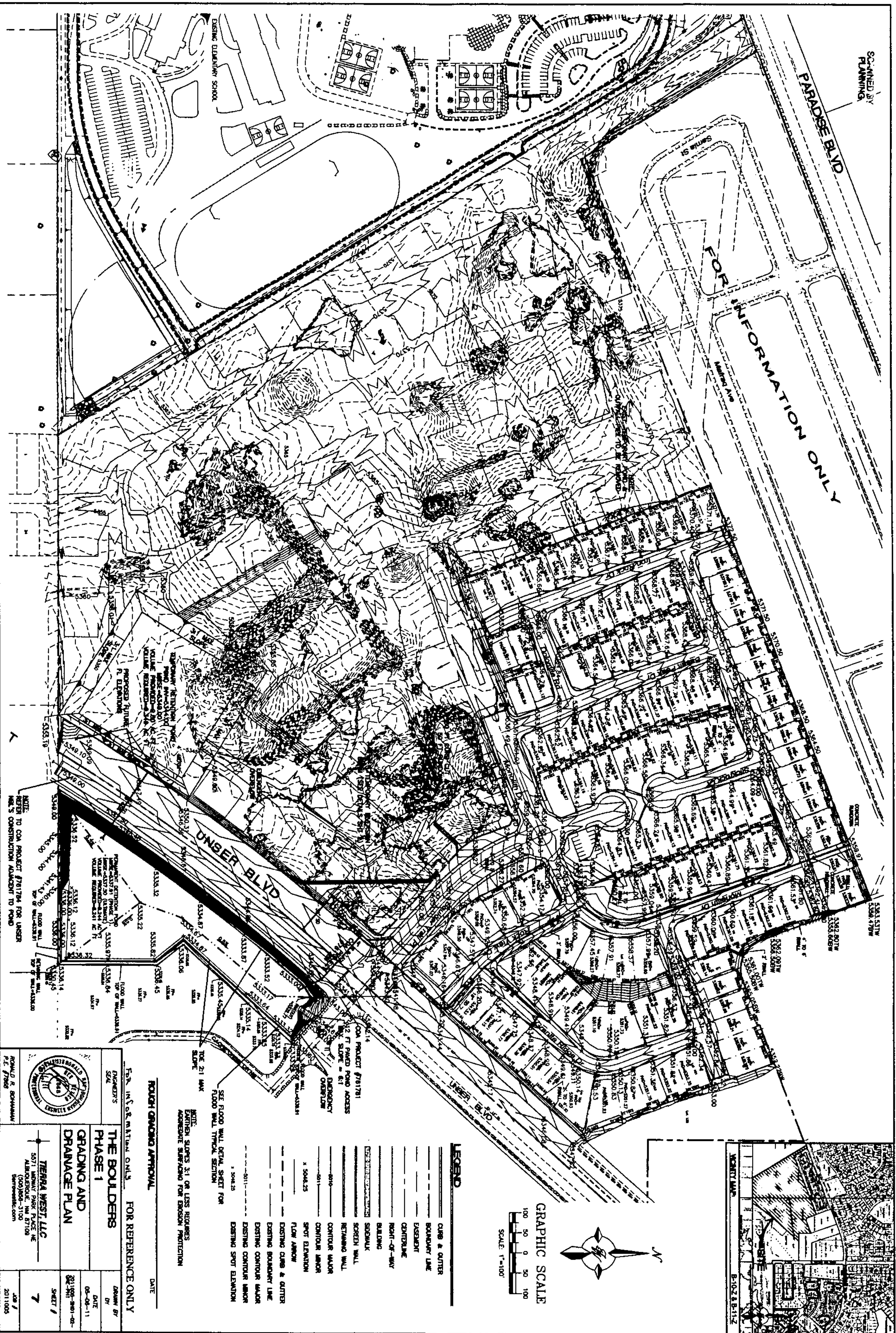
FOR INFORMATION ONLY

FOR REFERENCE ONLY

ENGINEER'S SEAL	THE BOULDERS PHASE 1 DETAILS	DRAWN BY DY
DATE 05-08-11	2011005-DETAILS	SHEET # 8
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100 terrawestllc.com		JOB # 2011005

SCANNED BY
PLANNING

PHASE 1
FOR
INFORMATION ONLY



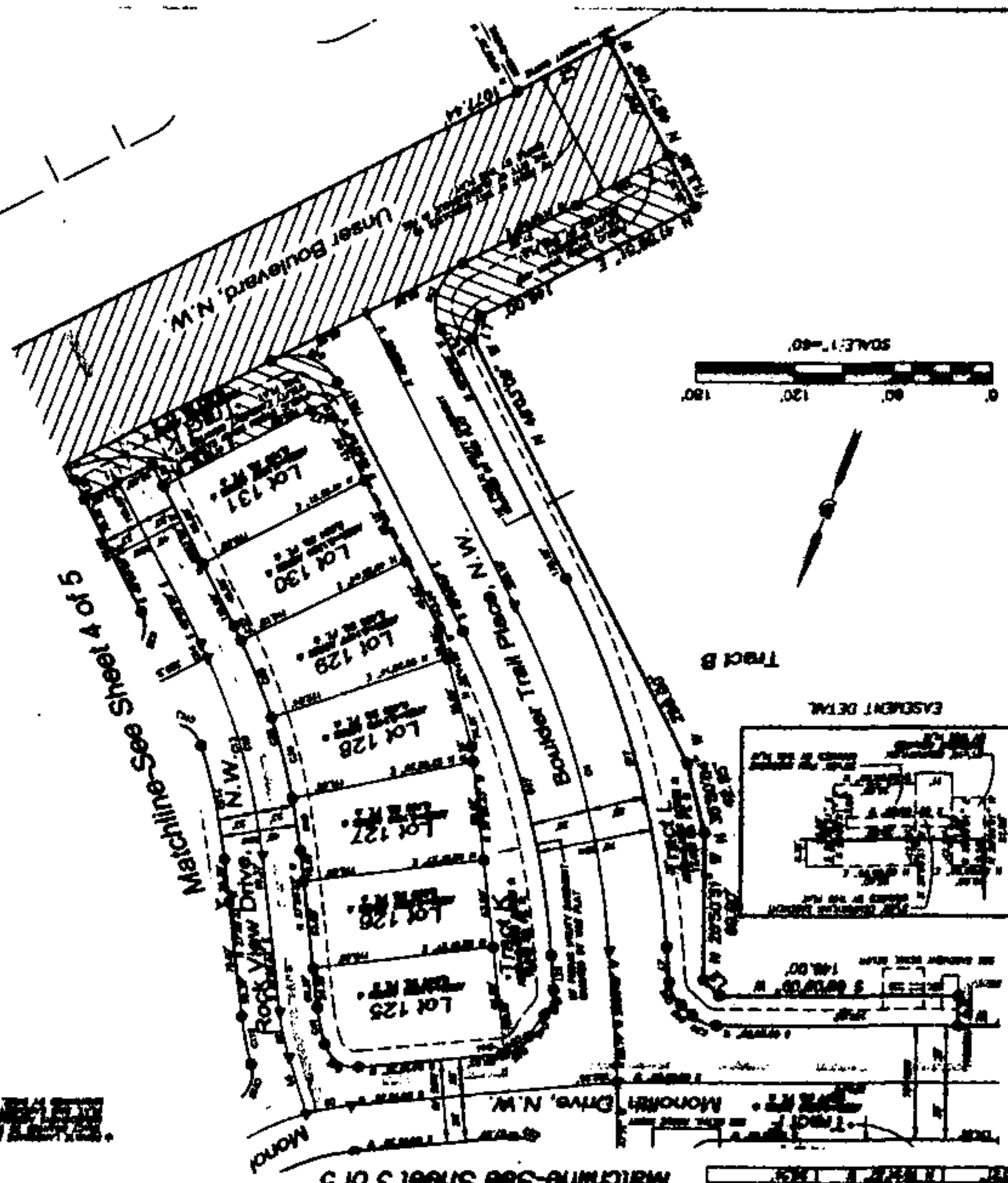
PRECISION SURVEYS, INC.
 10000 N. 10th Ave., Suite 100
 Aurora, CO 80015
 (303) 751-1000
 www.precision-survey.com

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 Aurora, CO 80015
 (303) 751-1000
 www.precision-survey.com

NO.	DESCRIPTION	DATE	BY	CHECKED
1	FIELD SURVEY	11/11/11	J. J. J.	J. J. J.
2	OFFICE CALCULATION	11/11/11	J. J. J.	J. J. J.
3	FINAL CHECK	11/11/11	J. J. J.	J. J. J.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	FIELD SURVEY	11/11/11	J. J. J.	J. J. J.
2	OFFICE CALCULATION	11/11/11	J. J. J.	J. J. J.
3	FINAL CHECK	11/11/11	J. J. J.	J. J. J.

THE BOULDERS
 SUBDIVISION
 SECTION 10 AND 11 TOWNSHIP 11 N. RANGE 2 E.
 COUNTY OF BERNILLO, NEW MEXICO



Curve Table

Station	Curve Data
1+00	100.00'
1+20	100.00'
1+40	100.00'
1+60	100.00'
1+80	100.00'
2+00	100.00'
2+20	100.00'
2+40	100.00'
2+60	100.00'
2+80	100.00'
3+00	100.00'
3+20	100.00'
3+40	100.00'
3+60	100.00'
3+80	100.00'
4+00	100.00'
4+20	100.00'
4+40	100.00'
4+60	100.00'
4+80	100.00'
5+00	100.00'
5+20	100.00'
5+40	100.00'
5+60	100.00'
5+80	100.00'
6+00	100.00'
6+20	100.00'
6+40	100.00'
6+60	100.00'
6+80	100.00'
7+00	100.00'
7+20	100.00'
7+40	100.00'
7+60	100.00'
7+80	100.00'
8+00	100.00'
8+20	100.00'
8+40	100.00'
8+60	100.00'
8+80	100.00'
9+00	100.00'
9+20	100.00'
9+40	100.00'
9+60	100.00'
9+80	100.00'
10+00	100.00'

Matchline-See Sheet 3 of 5

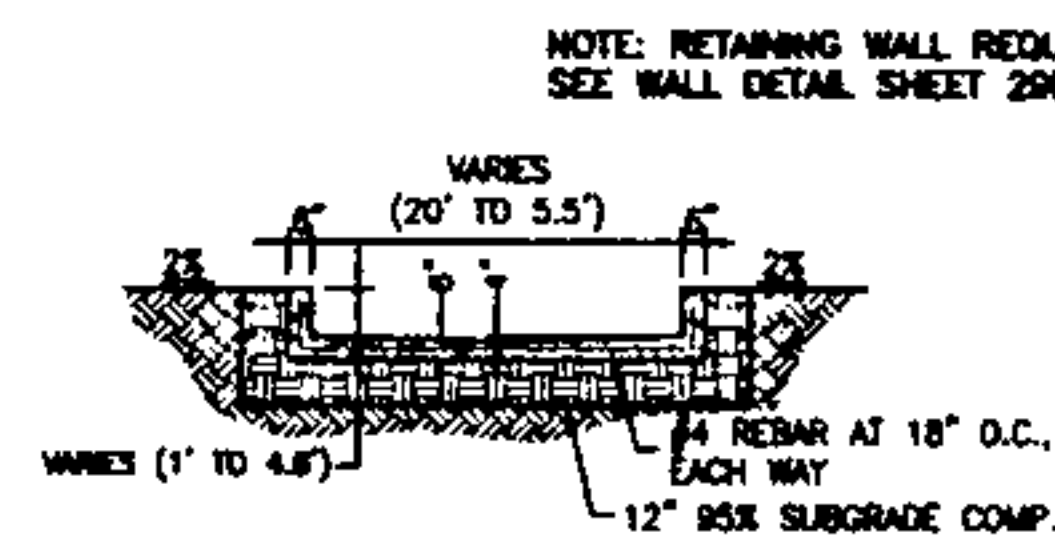
Station	Curve Data
1+00	100.00'
1+20	100.00'
1+40	100.00'
1+60	100.00'
1+80	100.00'
2+00	100.00'
2+20	100.00'
2+40	100.00'
2+60	100.00'
2+80	100.00'
3+00	100.00'
3+20	100.00'
3+40	100.00'
3+60	100.00'
3+80	100.00'
4+00	100.00'
4+20	100.00'
4+40	100.00'
4+60	100.00'
4+80	100.00'
5+00	100.00'
5+20	100.00'
5+40	100.00'
5+60	100.00'
5+80	100.00'
6+00	100.00'
6+20	100.00'
6+40	100.00'
6+60	100.00'
6+80	100.00'
7+00	100.00'
7+20	100.00'
7+40	100.00'
7+60	100.00'
7+80	100.00'
8+00	100.00'
8+20	100.00'
8+40	100.00'
8+60	100.00'
8+80	100.00'
9+00	100.00'
9+20	100.00'
9+40	100.00'
9+60	100.00'
9+80	100.00'
10+00	100.00'

Curve Table

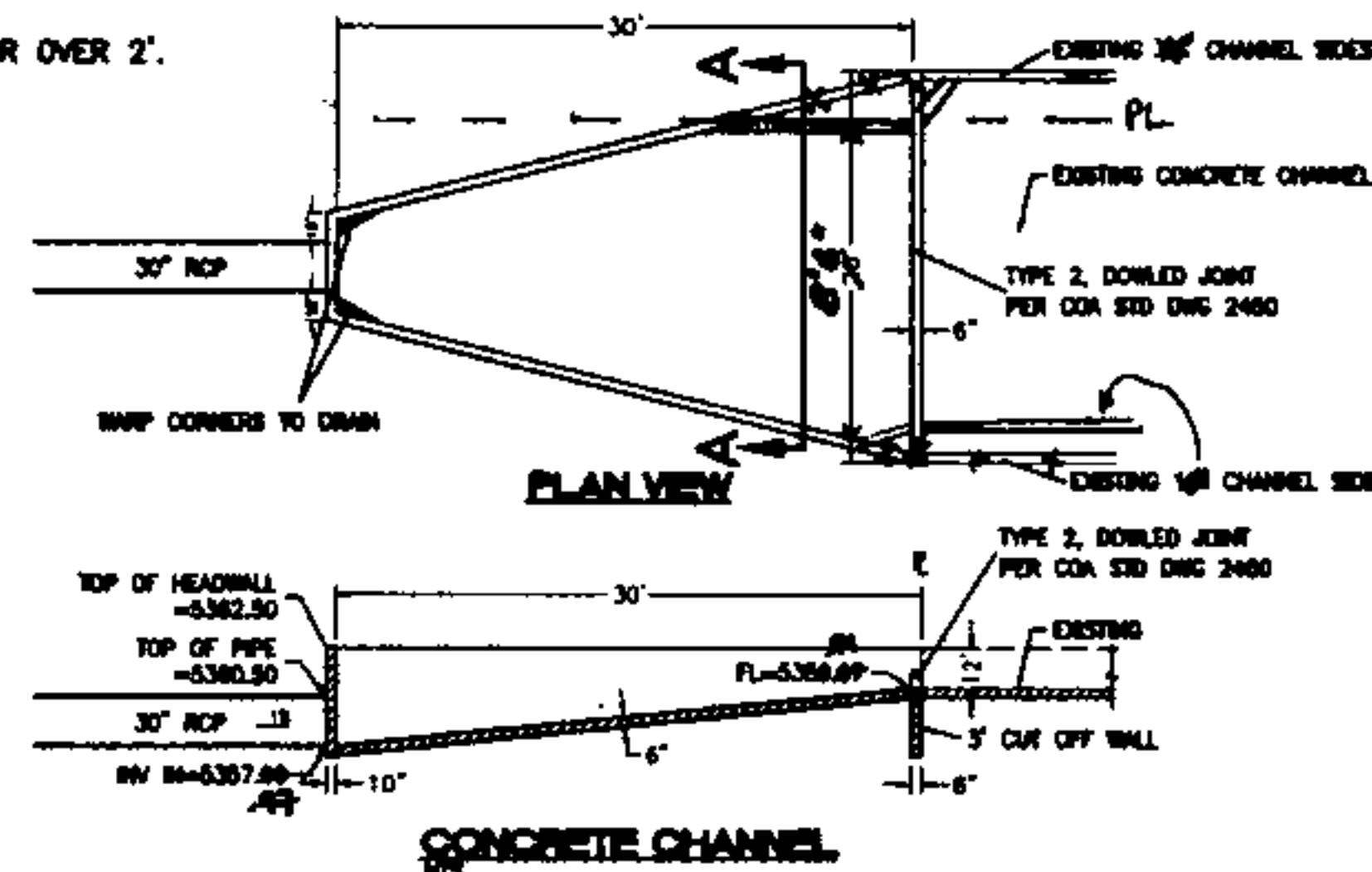
Station	Curve Data
1+00	100.00'
1+20	100.00'
1+40	100.00'
1+60	100.00'
1+80	100.00'
2+00	100.00'
2+20	100.00'
2+40	100.00'
2+60	100.00'
2+80	100.00'
3+00	100.00'
3+20	100.00'
3+40	100.00'
3+60	100.00'
3+80	100.00'
4+00	100.00'
4+20	100.00'
4+40	100.00'
4+60	100.00'
4+80	100.00'
5+00	100.00'
5+20	100.00'
5+40	100.00'
5+60	100.00'
5+80	100.00'
6+00	100.00'
6+20	100.00'
6+40	100.00'
6+60	100.00'
6+80	100.00'
7+00	100.00'
7+20	100.00'
7+40	100.00'
7+60	100.00'
7+80	100.00'
8+00	100.00'
8+20	100.00'
8+40	100.00'
8+60	100.00'
8+80	100.00'
9+00	100.00'
9+20	100.00'
9+40	100.00'
9+60	100.00'
9+80	100.00'
10+00	100.00'

SCANNED BY
 PLANNING

ENGINEER
PLANNING



**SECTION A-A
CONCRETE CHANNEL DETAIL**
APPLIES WHEN UNDER 2'
SC: NTS

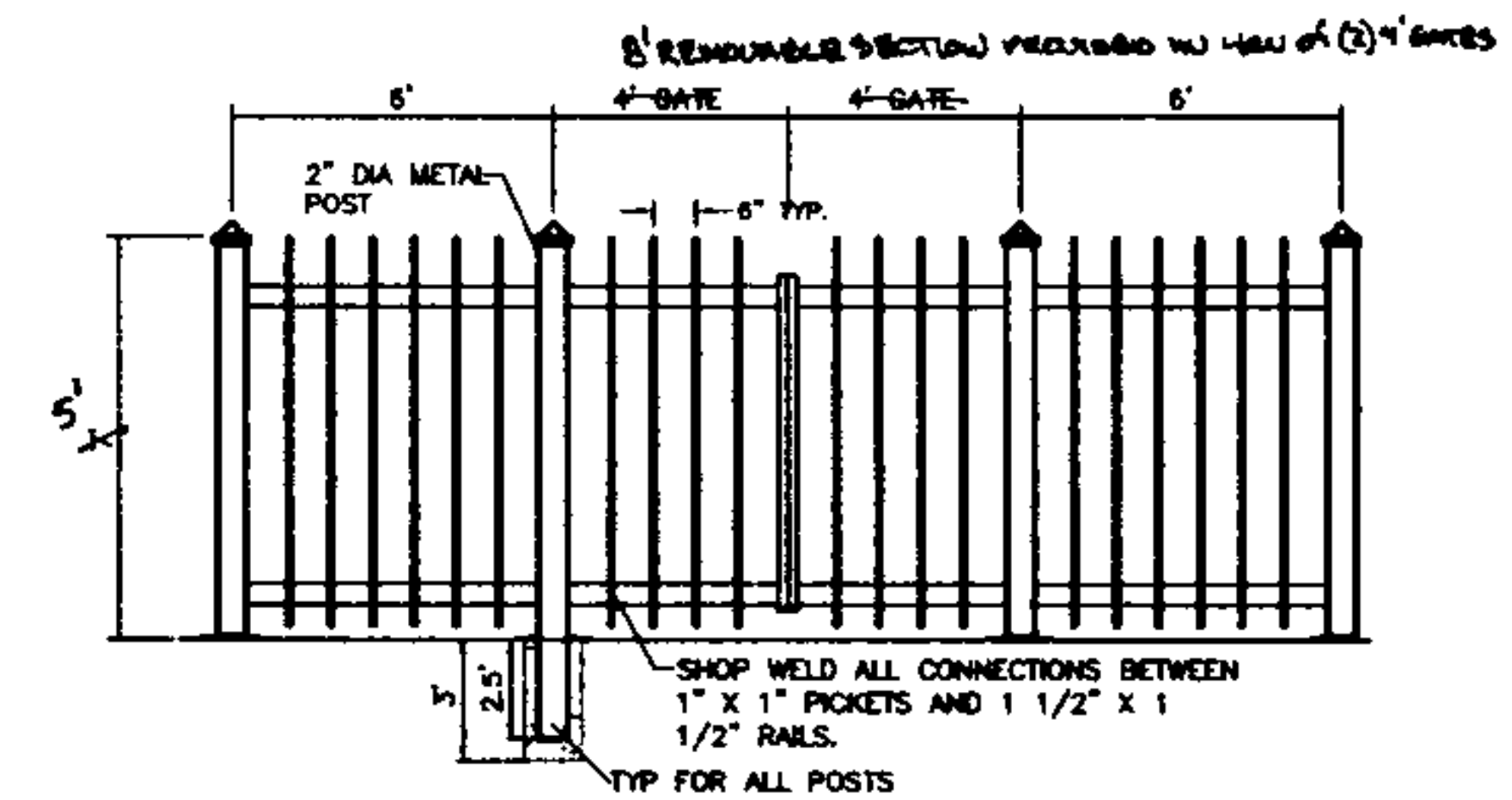
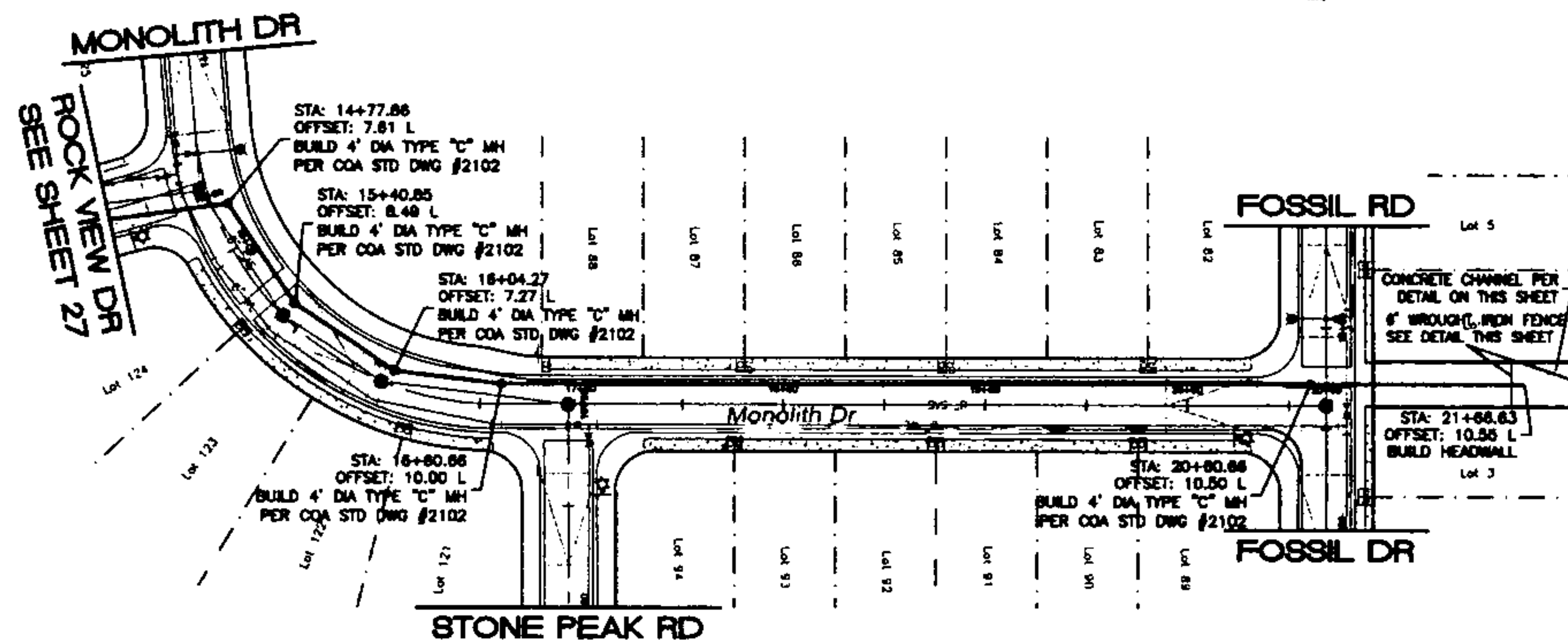


EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF THIS PROJECT.

NOTES

1. ALL ROP STORM DRAIN PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED
2. ALL INLET GRATES WILL BE PER COA STD DWG 2220.



WROUGHT IRON FENCE DETAIL
NTS

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Ronald R. Robinson, of the firm of Tierra West, LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Engineer and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This Certificate is based on site inspection by me, or pursuant to my direction with survey information provided by Ram Hogg, of Tierra West, LLC, number 3720.



GRAPHIC SCALE



RECORD DRAWING

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87108
(505) 858-3100
www.tierrawestllc.com

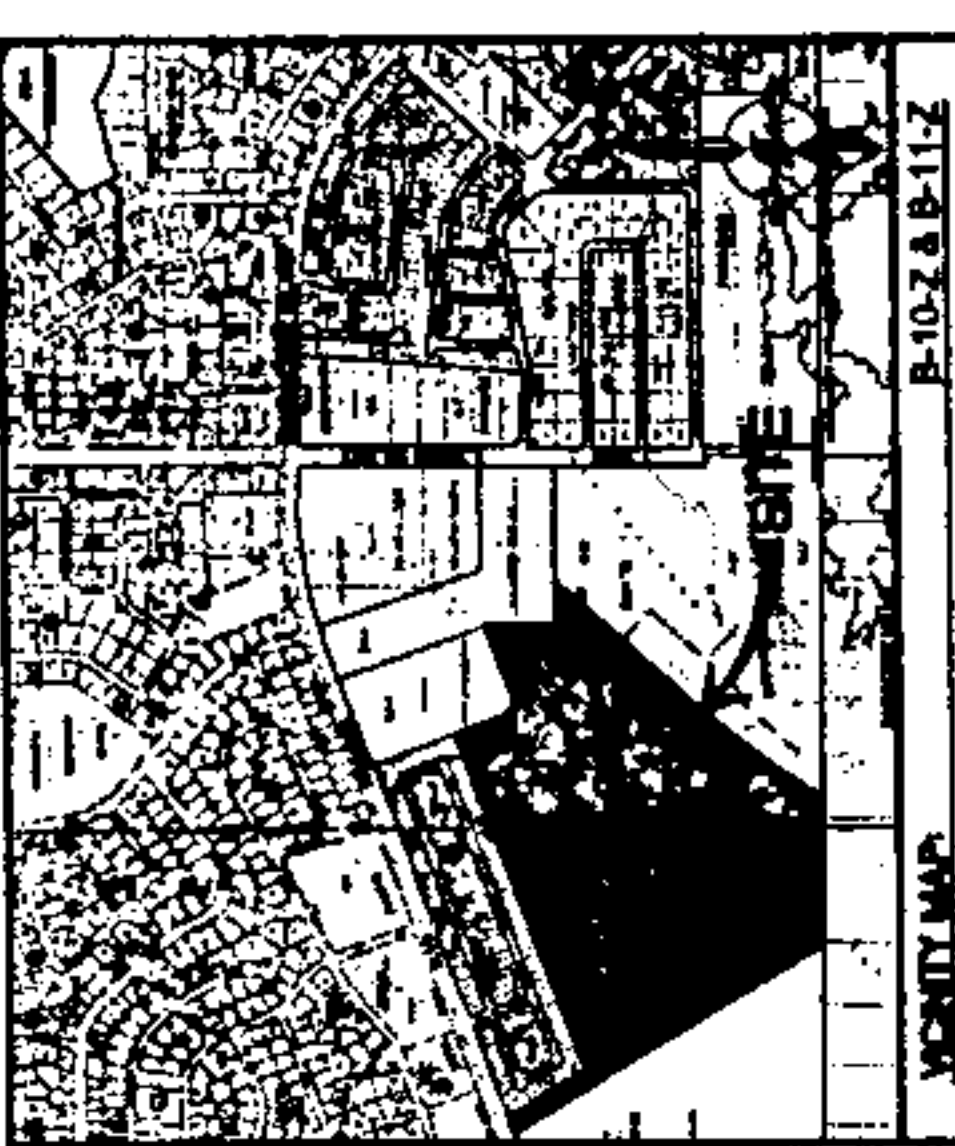
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

TITLE: THE BOULDERS PHASE 1 STORM DRAIN IMPROVEMENTS MONOLITH DR / STA: 9+50.00 TO 20+77.49	
DESIGN REVIEW COMMITTEE JUL 26 2011	CITY ENGINEER AUG 3 2011
DESIGNER JUL 26 2011	CITY ENGINEER AUG 3 2011
SHEET 26 OF 33	

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

SCANNED BY
PLANNING



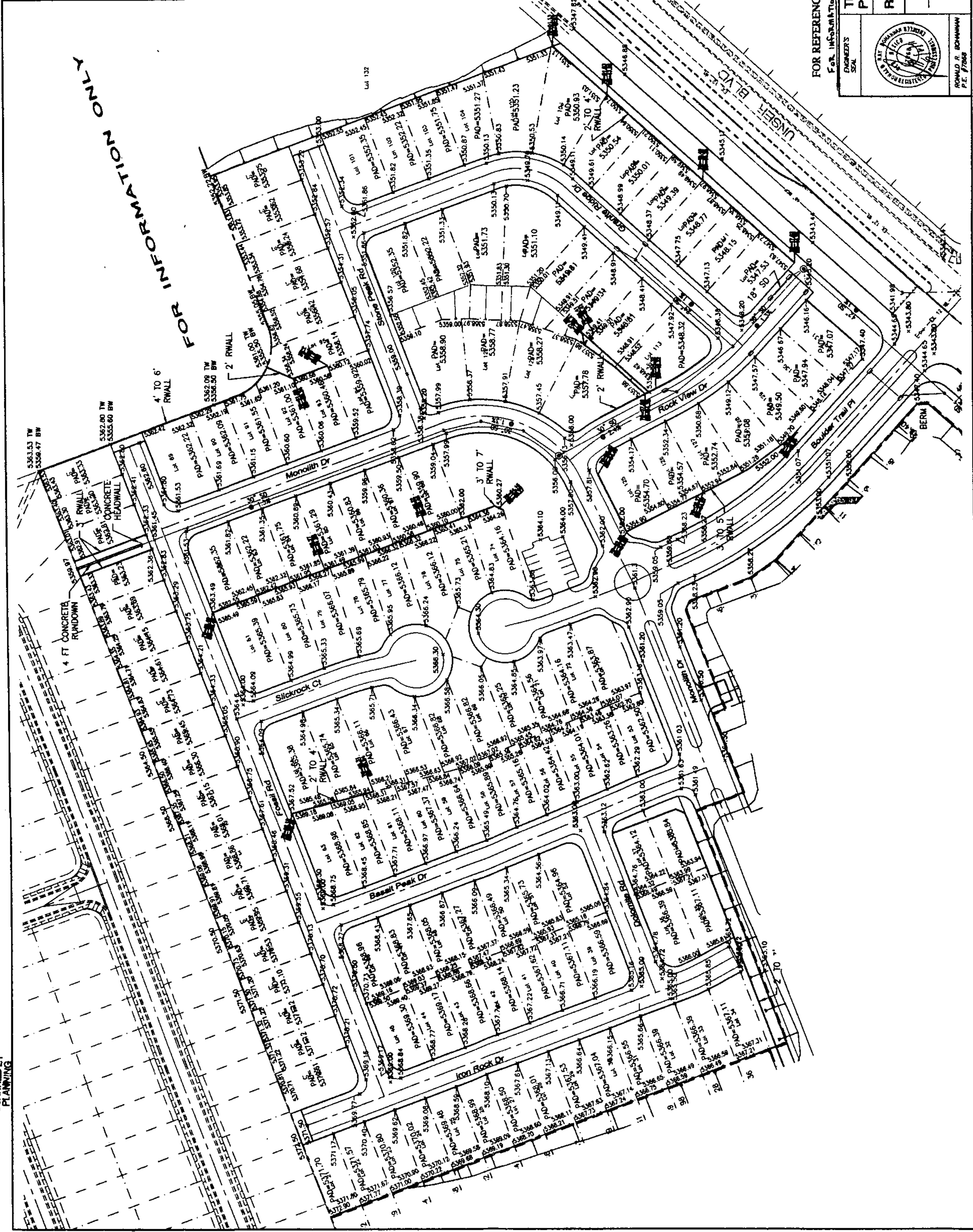
GRAPHIC SCALE
0 30 60
SCALE: 1"=60'

LEGEND

- CLUB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

FOR REFERENCE ONLY
For information only

THE BOULDERS PHASE 1		OWNER TERRA WEST, LLC 5571 NEWAY PARK PLACE NE ALBUQUERQUE, NM 87110 twest@terrawest.com	DATE 05-08-11	BY 201005-001-02	SHEET / 8A	JOB / 2011005
RETAINING WALLS						
FOR REFERENCE ONLY For information only						





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 24, 2001

Kevin Patton, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE
Albuquerque, NM 87109

RE: **Grading and Drainage Certification**
Saint Joseph on the Rio Grande Church (PHASE 1 ONLY)
(G-11/D014) (4000 St. Joseph's Place)
Engineer's Stamp dated 9/17/2000
Engineering Certification dated 1/23/2001

Dear Mr. Patton:

Based upon the information provided in your Engineers Certification submittal dated 1/23/2001, the above referenced site is approved for Certificate of Occupancy for PHASE 1 only.

If I can be of further assistance, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Senior Civil Engineer, PWD

C: Vickie Chavez, COA
Teresa Martin, COA
✓ file

DRAINAGE INFORMATION SHEET

PROJECT TITLE: St. Joseph on the Rio Grande ZONE ATLAS/DRNG. FILE # G-11/D14DRB #: 99-237 EPC #: _____ WORK ORDER #: 672381LEGAL DESCRIPTION: Tract X-1-A1 University of Albuquerque Urban Center

CITY ADDRESS: _____

ENGINEERING FIRM: BOHANNAN-HUSTON INC.ADDRESS: 7500 JEFFERSON NE, ABO. NM 87109OWNER: Archdiocese of Santa FeADDRESS: 4000 St. Joseph's Place 87120

ARCHITECT: _____

ADDRESS: _____

SURVEYOR: _____

ADDRESS: _____

CONTRACTOR: _____

ADDRESS: _____

CONTACT: Kevin PattonPHONE: (505) 823-1000CONTACT: John HuchmalaPHONE: (505) 831-8100

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

CONTACT: _____

PHONE: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ FINAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☐ YES
☒ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB. D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☐ OTHER

DATE SUBMITTED: November 20, 2000

BY: _____

RECEIVED
JAN 24 2001
HYDROLOGY SECTION

Bohannon & Huston

FACSIMILE TRANSMITTAL COVER SHEET



BOHANNAN HUSTON

Court yard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

Date: January 24, 2001**To:** Terri Martin**Company:****Fax No.:** 924-3864**From:** Kevin Patton**Project No:****Project Name:****Number of Pages to follow (including cover)** 2**Re:****Comments:****Original to Follow:** ☐ Yes

If you do not receive all pages, please contact _____ at 823-1000



January 23, 2001

BOHANNAN-HUSTON, INC.

Courtyard One

7500 JEFFERSON NE

Albuquerque

NM 87109-4335

voice 505.823.1000

fax 505.821.0892

Terri Martin
Hydrology Section/Administration
City of Albuquerque / PWD
P.O. Box 1293
Albuquerque, NM 87103

Re: Certificate of Occupancy - Engineer's Certification for Phase One of St. Joseph on the Rio Grande
(COA Drainage File G11/D14)

Dear Terri:

The purpose of this letter is to request a certificate of occupancy (CO) for Phase One of the above referenced project.

I have had a survey crew obtain the necessary as-built elevations in order to complete my drainage certification for the first phase. I have enclosed a copy of the as-built plan with my certification. Please note that the culvert crossing at the entrance off of Atrisco Drive originally noted on the approved grading plan was replaced with a valley gutter as required by the Gas Company of New Mexico, due to a high-pressure gas line located beneath the proposed culvert. This revision was discussed with and approved by Fred Aguirre, City Engineer. It was requested that this information be placed on the certified plan. After reviewing this information and visiting the site, I am able to certify that the site was graded in substantial compliance with the approved grading and drainage plan.

Therefore, I request that the City Hydrology Department provide a permanent certificate of occupancy for Phase One. If you have any questions or require further information, please give me a call.

Sincerely,
Bohannon Huston, Inc.

Kevin Patton, P.E.
Project Manager
Community Development and Planning

KP/am
Enclosure

cc: Mr. John Huchmala, Archdiocese of Santa Fe
Ms. Michele Culver, Britton Construction
Mr. Paul Wymer, Bohannon Huston, Inc.