

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 21, 2018

Ron Hensley, P.E.
GND Engineering
11032 Dreamy Way Dr. NW
Albuquerque, NM 87114

**RE: St Joseph on the Rio Grande Church
5901 St Joseph Dr NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 6/12/18
Hydrology File: G11D014A**

Dear Mr. Hensley:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the information provided in your submittal received on 6/12/18, the Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit.

Prior to Work Order (For Information):

1. The sidewalk culverts will need to call-out std dwg 2236 and provide the culvert width; the diamond plates will need to be extended 1' past edge of sidewalk to avoid a drop-off. Because this is work in the ROW, no adjustments to the private grading plan are needed, but the work order plans will need to show these corrections.
2. A Bernalillo County Recorded [Agreement and Covenant](#) is required for the stormwater control pond (Atrisco Pond A2). The original notarized form, exhibit A, exhibit B (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process.
3. A public drainage easement is required for the stormwater control pond (Atrisco Pond A2) as it will be conveying public water.

Prior to Building Permit (For Information):

4. Remove all "Conceptual" markings.
5. A [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond (modified pond B). The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

- Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process.
6. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
 7. Provide invert-out elevation for both outfalls into the private pond.
 8. Provide an emergency spillways or 2x capacity for the private storm drain; this is applicable when the inlets are in a sump conditions. Provide supporting calculations for the chosen options.
 9. Additional comments can reasonably be expected at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.
 10. The resubmittal fee for this drainage submittal is: \$150.

Prior to Certificate of Occupancy (For Information):

PO Box 1293

11. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required. The submittal/resubmittal fee for this request is: \$150.

Albuquerque

12. The Drainage Covenant must be recorded with Bernalillo County and a copy included with the Engineer's Certification.

NM 87103

13. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

www.cabq.gov

14. Payment of Fee-in-Lieu will be required for any ponding areas not constructed and certified.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: Yes No

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

EXISTING CONDITIONS

THIS SITE FALLS UNDER THE APPROVED MASTER DRAINAGE PLANS FOR "OXBOW TOWN CENTER" (OCT 2, 2007) IN THE OXBOW DMP AND "COORS PAVILION" (FEB 22, 2017). THESE PRESCRIBE A DISCHARGE 10.90 CFS (100YR-24HR) ALLOWED BY EASEMENT TO FLOW TO THE DETENTION POND ON LOT 9 OF COORS PAVILION CONSTRUCTED UNDER COA PROJ. #622382. RUNOFF GENERATED WITHIN THE ST. JOSEPHS AND ATRISCO RIGHT-OF-WAYS DISCHARGE TO AN EXIST SUMP IN ST. JOSEPHS. ANALYSIS OF THESE FLOWS AND A PORTION OF THE SITE (BASINS 3 AND 4) WERE INCLUDED IN THE REPORT "LADERA DRIVE IMPROVEMENTS - GAVIN ROAD TO COORS BLVD." (AUG. 10, 2015), AND THE IMPROVEMENTS INDICATED IN THE REPORT WERE INCLUDED UNDER COA PROJ. #658892.

THE MAJORITY OF THE EXISTING 10 ACRE SITE (~60%) IS DEVELOPED AS PART OF THE EXISTING CHURCH. THE REMAINING PORTION OF THE SITE IS UNDEVELOPED AND PREDOMINATELY SILTY SANDS, MODERATELY VEGETATED WITH VARIOUS GRASSES AND SHRUBS. THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE DRAINS INTO A SINGLE SUMP INLET LOCATED ON THE EASTERN PROPERTY LINE NEAR THE ST. JOSEPH'S ENTRANCE. THIS EXISTING STORM DRAIN CONVEYS FLOWS TO THE EXISTING TEMPORARY RETENTION POND AT THE NE CORNER OF THE SITE (POND B). A SMALL PORTION (12%) OF THE SITE DEDICATED TO PARKING NORTH OF THE EXISTING CHURCH DRAINS INTO A SWALE CONVEYING FLOWS INTO THE EXISTING POND B. ANOTHER SMALL PORTION (10%) OF THE SITE SHEET FLOWS INTO A SMALL RETENTION POND ADJACENT TO ST. JOSEPHS DRIVE (POND A).

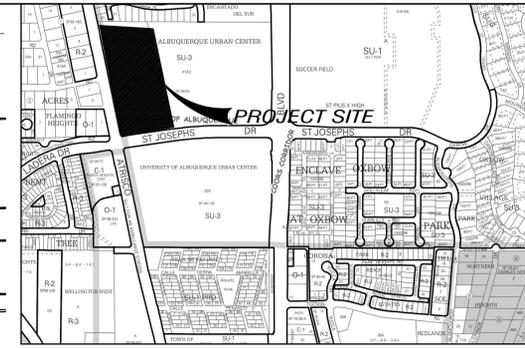
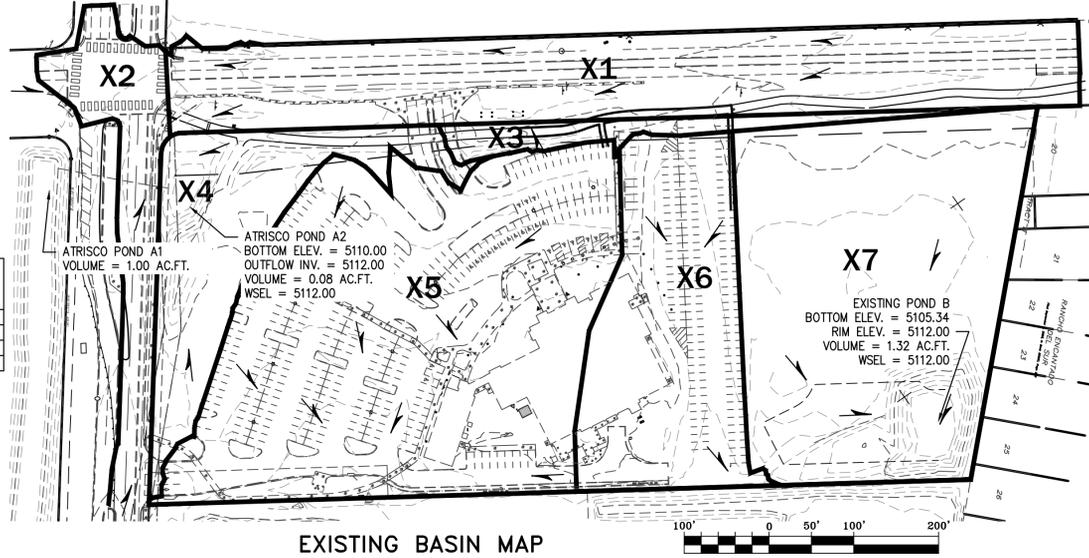
HYDROLOGIC DATA - EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X1*	1.49	0	0	10	90	4.22	6.29	0.28
X2*	2.91	0	0	14	86	4.15	12.04	0.53
X3*	0.49	0	0	72	28	3.29	1.61	0.05
X4*	1.47	0	0	80	20	3.17	4.65	0.14
POND A**	6.36						24.59	1.00

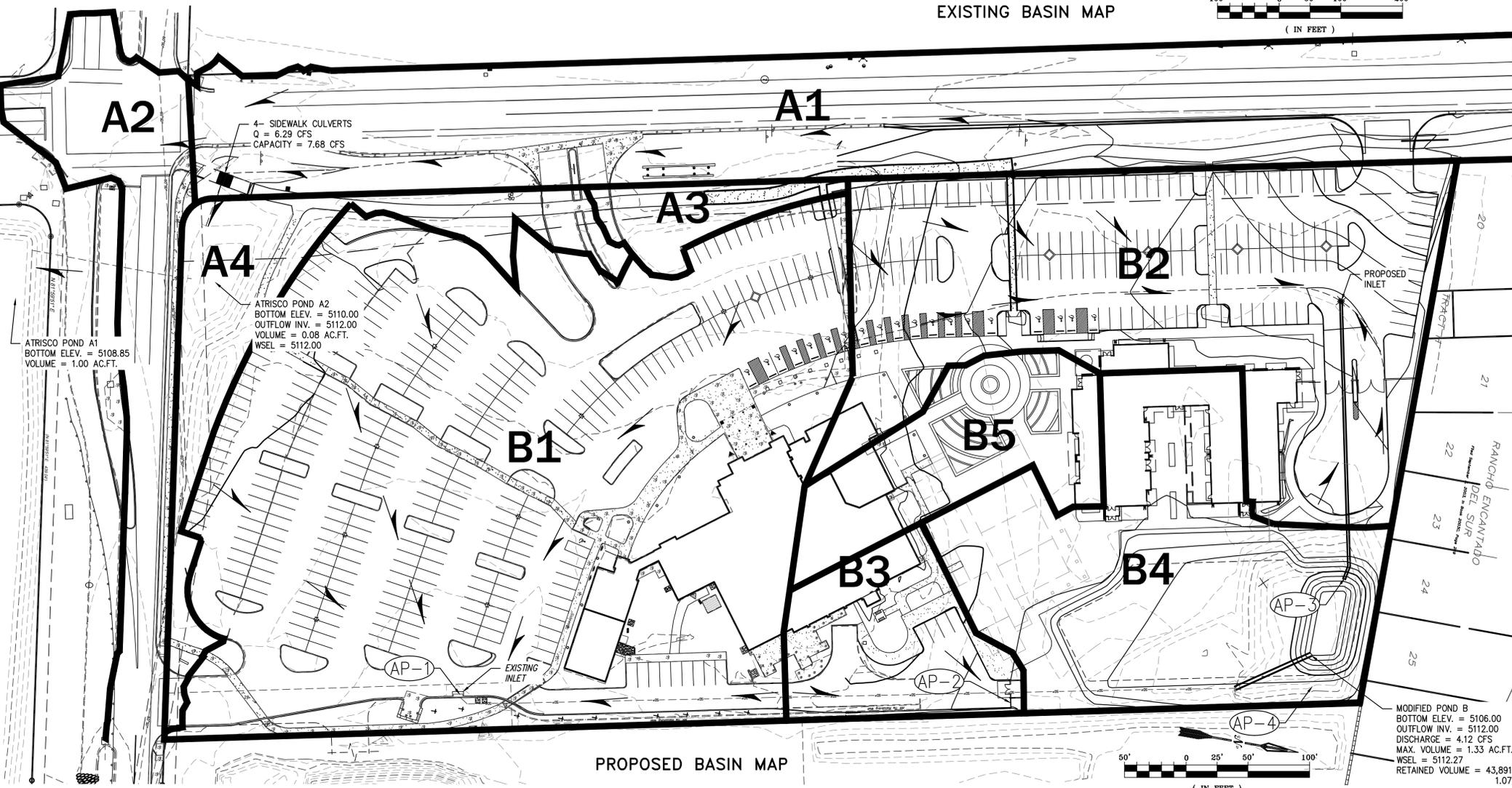
BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X5	3.94	0	0	10	90	3.82	11.12	0.54
X6	1.65	0	0	90	10	2.39	3.93	0.14
X7	3.10	0	0	100	0	2.49	7.70	0.26
POND B	8.68						22.75	0.94

PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

* PER LADERA DRIVE REPORT
 ** PARTIAL FLOW TO POND IS FROM THE BASINS INDICATED. ADDITIONAL BASINS ARE INCLUDED IN THE DESIGN FLOW TO THE POND. THE TOTAL FLOW INTERCEPTED BY THE ATRISCO PONDS PER THE LADERA DRIVE REPORT IS Q¹⁰⁰=27.91 CFS V¹⁰⁰=1.15 AC.FT.



LEGAL DESCRIPTION TRACT X-1-A1
 UNIVERSITY OF ALBUQUERQUE
 URBAN CENTER
 PROJECTED SECTION 2, T10N, R2E



- LEGEND**
- FLOW ARROW
 - A1** BASIN LINE AND DESIGNATION
 - AP-1 HYDRAULIC ANALYSIS POINT
 - RIP RAP
 - STORM DRAIN INLET
 - EXISTING CONTOURS
 - PROPOSED CONTOURS

GND, LLC
 CONSULTING ENGINEERS
 11632 Dreamway Way Dr. NW
 Albuquerque, NM 87114
 Phone: (505) 264-0472

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF ADDITIONAL BUILDINGS AND PARKING. THE CONDITIONS DEPICTED OF THE BUILDING CONSTRUCTION WILL BE PHASED. HOWEVER, THE DRAINAGE ANALYSIS ANTICIPATES FULL CONSTRUCTION

RUNOFF FROM THE PROPOSED EXPANSION WILL BE CONVEYED TO THE PROPOSED DETENTION POND CONVERTED FROM THE EXISTING RETENTION POND VIA SHEET FLOW, SWALES, AND STORM DRAIN. RUNOFF FROM THE PROPOSED BUILDINGS WILL DISCHARGE TO THE EAST AND ULTIMATELY INTO THE DETENTION POND. THE FUTURE BUILDING SITE WILL DISCHARGE TO THE EAST AND INTO THE DETENTION POND.

THE DISCHARGE FROM THE SITE IS WITHIN THE FLOW ALLOWABLE 10.90 CFS PER THE DRAINAGE PLAN FOR COORS PAVILION AND WILL HAVE NO ADVERSE IMPACT TO DRAINAGE CONDITIONS.

HYDROLOGIC DATA - DEVELOPED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
A1*	1.49	0	0	10	90	4.22	6.29	0.28
A2*	2.91	0	0	14	86	4.15	12.04	0.53
A3	0.18	0	0	95	5	2.63	0.47	0.02
A4	1.13	0	0	95	5	2.57	2.91	0.10
POND A1	5.71						21.71	0.93

* PER LADERA DRIVE REPORT
 ** PARTIAL FLOW TO POND IS FROM THE BASINS INDICATED. ADDITIONAL BASINS ARE INCLUDED IN THE DESIGN FLOW TO POND A1.

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
B1	4.69	0	0	15	85	3.74	17.55	0.84
B2	2.55	0	0	15	85	3.74	9.55	0.46
B3	0.49	0	0	5	95	3.92	1.92	0.09
B4	1.42	0	0	40	60	3.09	4.39	0.18
B5	0.56	0	0	100	0	3.98	2.22	0.11
POND B	9.70						35.62	1.68

PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

SIDEWALK CULVERT

MAX. FLOW (cfs)	H* ELEV	HGL ELEV
1.92*	12.94	12.75 / 12.64

* PER CULVERT OPENING

HYDRAULIC SUMMARY

AP	DESCRIPTION	Q ¹⁰⁰ (cfs)
AP-1	INLET	17.55
AP-2	CURB OPENING	1.92
AP-3	POND IN	11.77
AP-4	POND OUT	4.12

REQUIRED FIRST FLUSH VOLUME

OWNER SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO:
 IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

REQUIRED VOLUME = 350,710 * (0.44-0.10)/12 = 9,937 CU.FT.
 RETENTION VOLUME PROVIDED = 43,891 CU.FT.

AS BUILT INFORMATION

CONTRACTOR	DATE
INSPECTOR'S FIELD CHECK	DATE
VERIFICATION BY	DATE
CHECKED BY	DATE

BENCH MARKS

NO.	DATE

ENGINEER'S SEAL

NO. _____ BY _____

DATE _____

FOR E. HENSLEY
 NEW MEXICO
 PROFESSIONAL ENGINEER
 NO. 10850
 EXPIRES 12/31/2018
 JUNE 12, 2018

REVISIONS

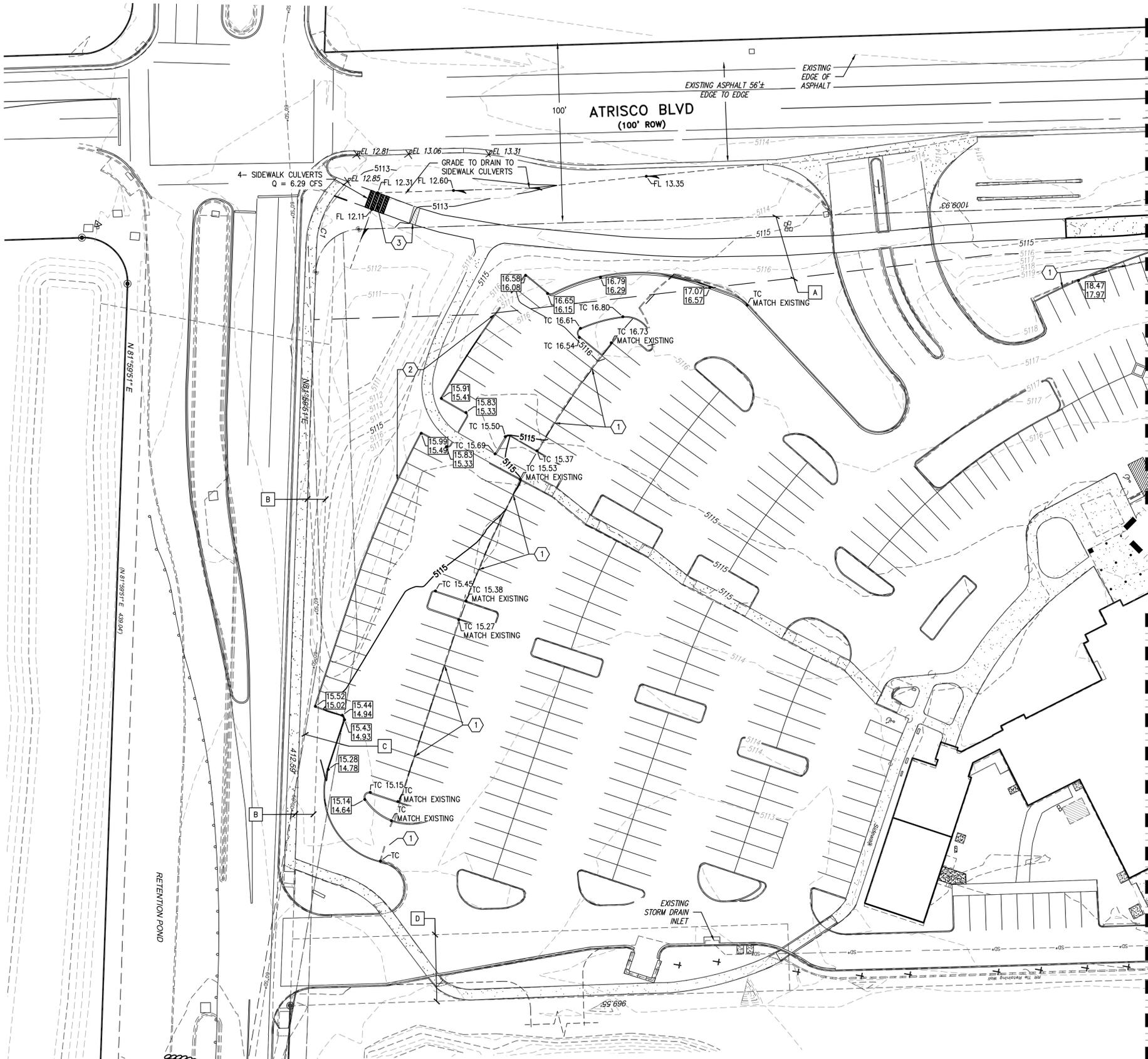
NO.	DATE	REMARKS

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER
SITE GRADING & DRAINAGE
Basin and Drainage Plan

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No. _____ ZONE MAP No. **G-11-Z** SHEET **1** OF **1**



KEYED EASEMENTS

- A Bicycle Path, Open Space Trail Link and Landscape Easement granted by plat filed March 12, 1998, in Plat Book 98C, Page 68.
- B 10' Utility Easement granted by plat filed November 17, 1987, Volume C35, Folio 29.
- C 20' City of Albuquerque Permanent Utility Easement, Doc.# 76 15317, Filed: 3/18/76 (Misc.468-165) as shown on plat filed March 12, 1998, in Plat Book 98C, Page 68.
- D Existing Public Waterline Easement granted to the City of Albuquerque by Document filed May 8, 2000 in Book A5, Page 4444 as Document No. 200044618

GRADING CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
①	NEW ASPHALT PAVING EDGE. CONTRACTOR TO SAW CUT EXISTING WITH EDGE TREATMENT FOR SMOOTH TRANSITION
②	INSTALL SPILL TYPE CURB AND GUTTER
③	REMOVE AND REPLACE EXISTING ASPHALT AND SIDEWALK CULVERT. INSTALL 4 - SIDEWALK CULVERTS AS SHOWN

NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

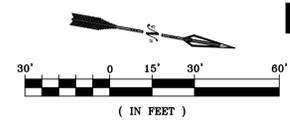
- NO WORK SHALL BE PERFORMED IN PUBLIC RIGHT OF WAY WITHOUT AN APPROVED CITY WORK ORDER
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
- THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEEDDED OR LANDSCAPED
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

- 12.11 / 11.61 TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION
- EL=11.28 PROPOSED ELEVATION
- x 66.33 EXISTING ELEVATION
- ~~~~ GRADE BREAK
- EXISTING CONTOUR
- - - EXISTING CONTOUR
- - - PROPOSED EASEMENT
- 4.00% PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL



AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	

ENGINEER'S SEAL
NOT FOR CONSTRUCTION

NO.	DATE	REMARKS	BY

GND, LLC
CONSULTING ENGINEERS

11032 Dreamy Way Dr. NW
Albuquerque, NM 87114
Phone: 505-264-0472

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER
SITE GRADING & DRAINAGE
CONCEPTUAL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

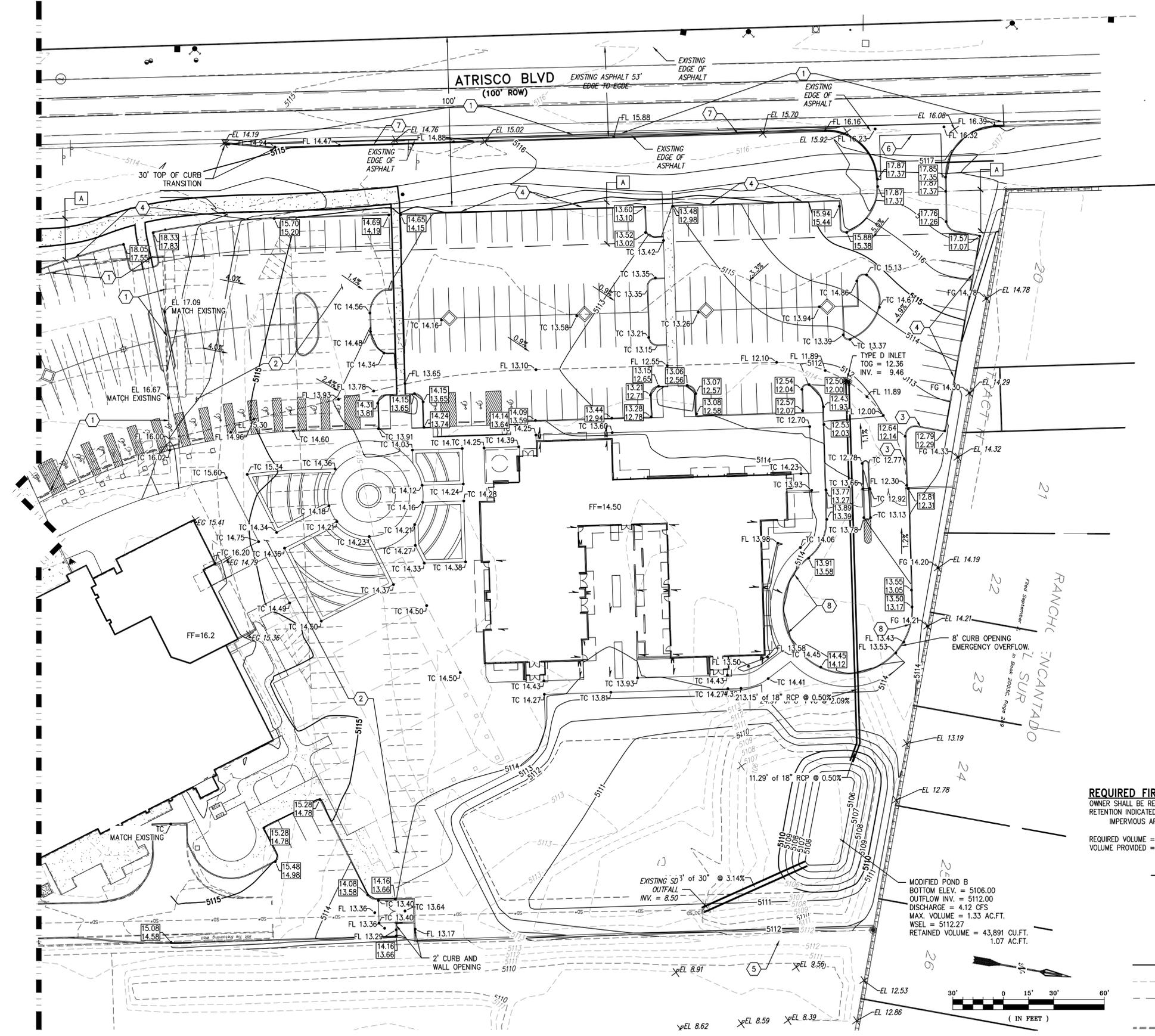
KEYED EASEMENTS

A Bicycle Path, Open Space Trail Link And Landscape Easement granted by plat filed March 12, 1998, in Plat Book 98C, Page 68.

GRADING CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
1	NEW ASPHALT PAVING EDGE. CONTRACTOR TO SAW CUT EXISTING WITH EDGE TREATMENT FOR SMOOTH TRANSITION
2	ASPHALT REMOVAL AND UNSUITABLE FILL MATERIALS SHALL BE WASTED ON SITE IN NONSTRUCTURAL AREAS
3	INSTALL STANDARD CURB AND GUTTER PER DETAIL
4	INSTALL SPILL TYPE CURB AND GUTTER
5	INSTALL 6 - 8 X 16" WALL OPENINGS
6	INSTALL VALLEY GUTTER AND CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
7	INSTALL STANDARD CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
8	INSTALL MOUNTABLE CURB AND GUTTER

GENERAL NOTES:

- NO WORK SHALL BE PERFORMED IN PUBLIC RIGHT OF WAY WITHOUT AN APPROVED CITY WORK ORDER
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
- THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEDED OR LANDSCAPED
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT UTILITY LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

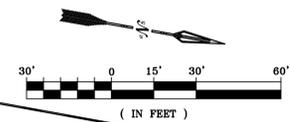


REQUIRED FIRST FLUSH VOLUME
 OWNER SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO:
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REQUIRED VOLUME = 350,710 * (0.44-0.10)/12 = 9,937 CU.FT.
 VOLUME PROVIDED = 11,598 CU.FT.

LEGEND

- TOP OF CURB ELEVATION
- BOTTOM OF CURB ELEVATION
- PROPOSED ELEVATION
- EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED EASEMENT
- PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL



AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.

BENCH MARKS	
CONTRACTOR	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE

ENGINEER'S SEAL
 NOT FOR CONSTRUCTION

NO.	DATE	REMARKS	BY

GND, LLC
 CONSULTING ENGINEERS
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 Albuquerque, NM 87114
 Phone: (505) 264-0472

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER
 SITE GRADING & DRAINAGE
 CONCEPTUAL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

June 12, 2018

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: G11D014A - Church of St. Joseph on the Rio Grande – Conceptual Grading and Drainage Plan

We are requesting a review of the revisions to the Conceptual Grading and Drainage plan in support of the Site Plan Administrative Amendment for Church of St. Joseph on the Rio Grande. The plan covers the impact of the development on the proposed drainage infrastructure of the site improvements

- 1. Use sidewalk culverts, not a dip section, to convey flows from the Atrisco ROW across the bike path/sidewalk. Size for the 100-yr runoff and include calculations..*

The requested modification has been made, and the culverts' capacity calculation is shown.

The additional requirements of Building Permit and Work Order will be addressed in subsequent submittals. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,



Ron E. Hensley P.E.
ron@thegroup.cc

