

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 4, 2018

Ron Hensley, P.E.
GND Engineering
11032 Dreamy Way Dr. NW
Albuquerque, NM 87114

RE: **St Joseph on the Rio Grande Church**
5901 St Joseph Dr NW
Conceptual Grading and Drainage Plan
Engineer's Stamp Date: 5/14/18
Hydrology File: G11D014A

Dear Mr. Hensley:

PO Box 1293

Based on the information provided in your submittal received on 5/22/18, the Conceptual Grading and Drainage Plan is not approved for Site Plan for Building Permit.

Albuquerque

Prior to Site Plan for Building Permit:

1. Use sidewalk culverts, not a dip section, to convey flows from the Atrisco ROW across the bike path/sidewalk. Size for the 100-yr runoff and include calculations.

NM 87103

Prior to Work Order:

www.cabq.gov

2. A Bernalillo County Recorded [Agreement and Covenant](#) is required for the stormwater control pond (Atrisco Pond A2). The original notarized form, exhibit A, exhibit B (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process.
3. A public drainage easement is required for the stormwater control pond (Atrisco Pond A2) as it will be conveying public water.

Prior to Building Permit:

4. Remove all "Conceptual" markings.
5. A [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond (modified pond B). The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process.

6. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
7. Provide invert-out elevation for both outfalls into the private pond.
8. Provide an emergency spillways or 2x capacity for the private storm drain; this is applicable when the inlets are in a sump conditions. Provide supporting calculations for the chosen options.
9. Additional comments can reasonably be expected at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

Prior to Certificate of Occupancy:

10. The Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.
11. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

ST. JOSEPH ON THE

Project Title: RIO GRANDE CHURCH Building Permit #: _____ Hydrology File #: G11D014A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: TRACT X-1-A1 PLAT OF TRACTS X-1-A1 & X-1-A2 UNIV. OF ALB. URBAN CENTER

City Address: 5901 ST JOSEPH DR NW

Applicant: ST. JOSEPH ON THE RIO GRANDE CHURCH Contact: Del Dixon

Address: 4000 ST JOSEPHS PL NW ALBUQUERQUE NM 87120-1714

Phone#: 505-843-9639 Fax#: _____ E-mail: _____

Other Contact: GND LLC Contact: Ron Hensley

Address: 11032 Dreamy Way Dr. NW Albuquerque, NM 87114

Phone#: 505-410-1622 Fax#: _____ E-mail: ron@thegroup.cc

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 5/21/18 By: Ron Hensley - GND LLC

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



CONSULTING ENGINEERS

10224 Green River Place NW Albuquerque, New Mexico 87114
Phone: 505-264-0472
Email: segreer@swcp.com

May 17, 2018

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: G11D014A - Church of St. Joseph on the Rio Grande – Conceptual Grading and Drainage Plan

We are requesting a review of the revisions to the Conceptual Grading and Drainage plan in support of the Site Plan Administrative Amendment for Church of St. Joseph on the Rio Grande. The plan covers the impact of the development on the proposed drainage infrastructure of the site improvements

1. Address runoff from the Atrisco ROW.

ROW grading is shown to accommodate the ROW drainage to the existing pond. In addition, a drainage covenant has been executed for the pond.

2. Add note that "No work shall be performed in the Public ROW without an approved WO.

The appropriate note was added.

The additional requirements of Building Permit will be addressed in subsequent submittal. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Ron E. Hensley". The signature is written in a cursive, flowing style.

Ron E. Hensley P.E.
ron@thegroup.cc

EXISTING CONDITIONS

THIS SITE FALLS UNDER THE APPROVED MASTER DRAINAGE PLANS FOR "OXBOW TOWN CENTER" (OCT 2, 2007) IN THE OXBOW DMP AND "COORS PAVILION" (FEB 22,2017), THESE PRESCRIBE A DISCHARGE 10.90 CFS (100YR-24HR) ALLOWED BY EASEMENT TO FLOW TO THE DETENTION POND ON LOT 9 OF COORS PAVILION CONSTRUCTED UNDER COA PROJ. #622382. RUNOFF GENERATED WITHIN THE ST. JOSEPHS AND ATRISCO RIGHT-OF-WAYS DISCHARGE TO AN EXIST SUMP IN ST. JOSEPHS. ANALYSIS OF THESE FLOWS AND A PORTION OF THE SITE (BASINS 3 AND 4) WERE INCLUDED IN THE REPORT "LADERA DRIVE IMPROVEMENTS - GAVIN ROAD TO COORS BLVD." (AUG. 10, 2015), AND THE IMPROVEMENTS INDICATED IN THE REPORT WERE INCLUDED UNDER COA PROJ. #658892.

THE MAJORITY OF THE EXISTING 10 ACRE SITE (~60%) IS DEVELOPED AS PART OF THE EXISTING CHURCH. THE REMAINING PORTION OF THE SITE IS UNDEVELOPED AND PREDOMINATELY SILTY SANDS, MODERATELY VEGETATED WITH VARIOUS GRASSES AND SHRUBS. THE MAJORITY OF THE DEVELOPED PORTION OF THE SITE DRAINS INTO A SINGLE SUMP INLET LOCATED ON THE EASTERN PROPERTY LINE NEAR THE ST. JOSEPH'S ENTRANCE. THIS EXISTING STORM DRAIN CONVEYS FLOWS TO THE EXISTING TEMPORARY RETENTION POND AT THE NE CORNER OF THE SITE (POND B). A SMALL PORTION (12%) OF THE SITE DEDICATED TO PARKING NORTH OF THE EXISTING CHURCH DRAINS EAST INTO A SWALE CONVEYING FLOWS INTO THE EXISTING POND B. ANOTHER SMALL PORTION (10%) OF THE SITE SHEET FLOWS INTO A SMALL RETENTION POND ADJACENT TO ST. JOSEPHS DRIVE (POND A).

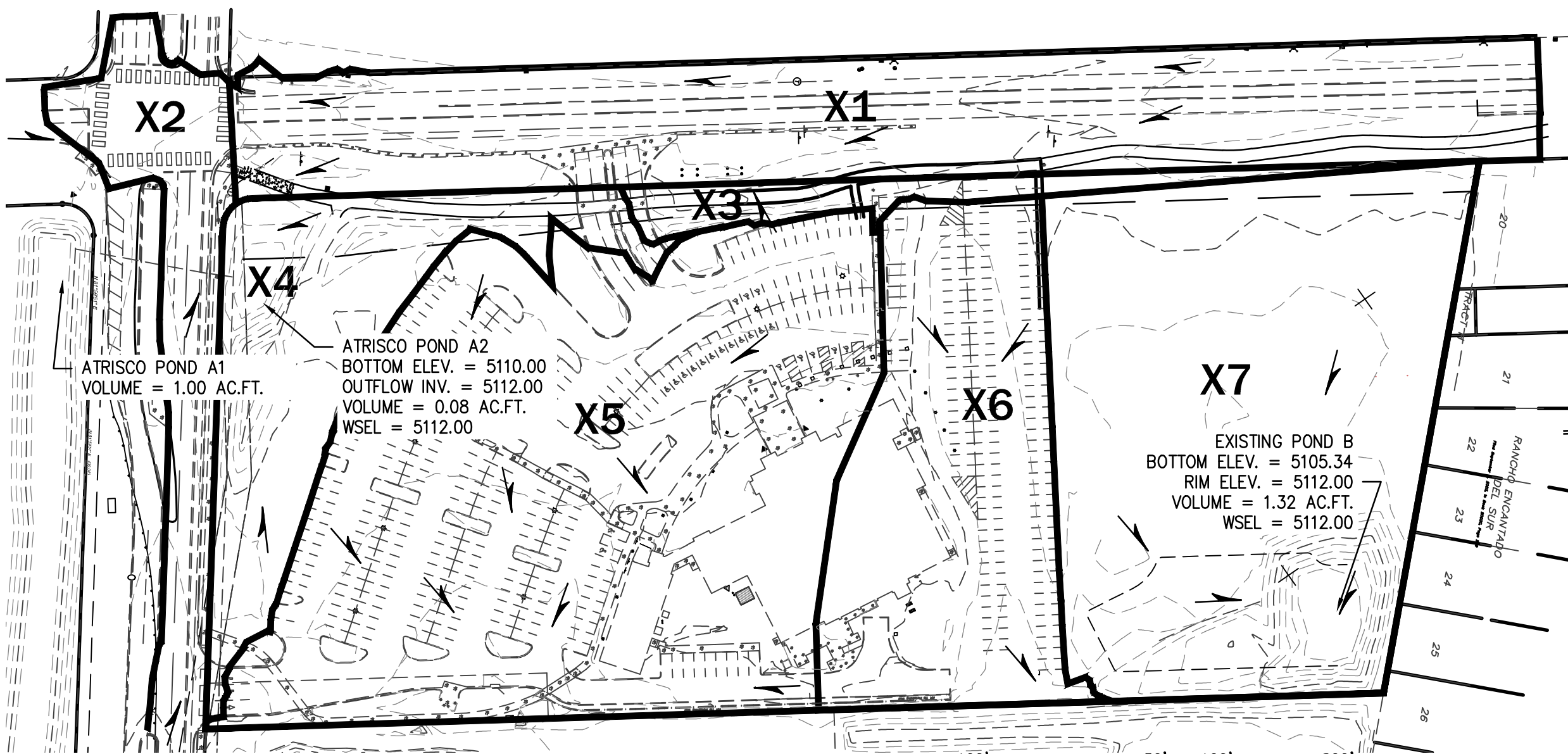
HYDROLOGIC DATA - EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X1*	1.49	0	0	10	90	4.22	6.29	0.28
X2*	2.91	0	0	14	86	4.15	12.04	0.53
X3*	0.49	0	0	72	28	3.29	1.61	0.05
X4*	1.47	0	0	90	20	3.17	4.65	0.14
POND A**	6.36						24.59	1.00

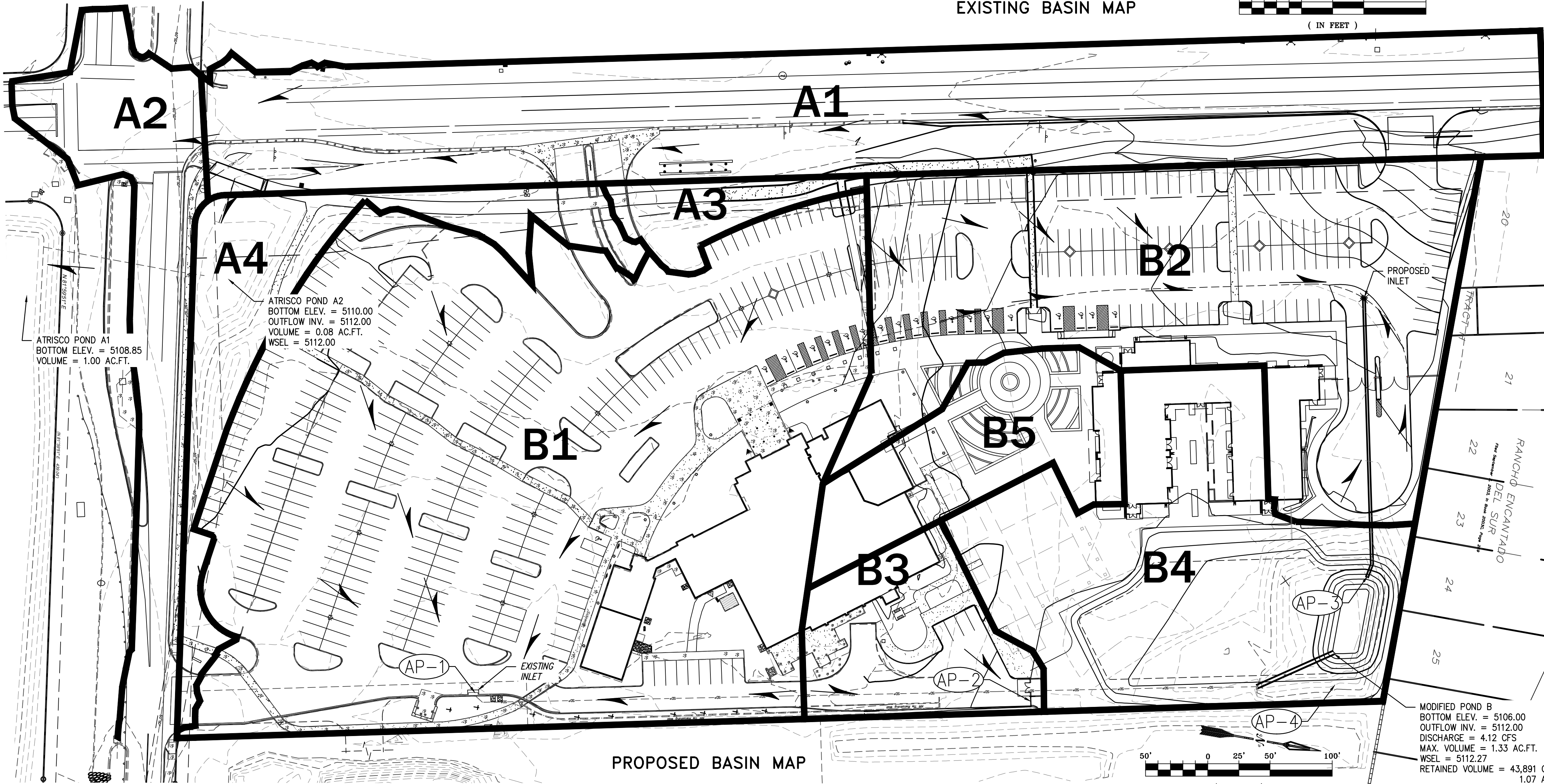
* PER LADERA DRIVE REPORT
** PARTIAL FLOW TO POND IS FROM THE BASINS INDICATED. ADDITIONAL BASINS ARE INCLUDED IN THE DESIGN FLOW TO THE POND. THE TOTAL FLOW INTERCEPTED BY THE ATRISCO PONDS PER THE LADERA DRIVE REPORT IS Q¹⁰⁰=27.91 CFS V¹⁰⁰=1.15 AC.FT.

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
X5	3.94	0	0	10	90	3.82	11.12	0.54
X6	1.65	0	0	90	10	2.39	3.93	0.14
X7	3.10	0	0	100	0	2.49	7.70	0.26
POND B	8.68						22.75	0.94

PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS



EXISTING BASIN MAP



PROPOSED BASIN MAP

PROPOSED CONDITIONS

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF ADDITIONAL BUILDINGS AND PARKING. THE CONDITIONS DEPICTED OF THE BUILDING CONSTRUCTION WILL BE PHASED. HOWEVER, THE DRAINAGE ANALYSIS ANTICIPATES FULL CONSTRUCTION

RUNOFF FROM THE PROPOSED EXPANSION WILL BE CONVEYED TO THE PROPOSED DETENTION POND CONVERTED FROM THE EXISTING RETENTION POND VIA SHEET FLOW, SWALES, AND STORM DRAIN. RUNOFF FROM THE PROPOSED BUILDINGS WILL DISCHARGE TO THE EAST AND ULTIMATELY INTO THE DETENTION POND. THE FUTURE BUILDING SITE WILL DISCHARGE TO THE EAST AND INTO THE DETENTION POND.

THE DISCHARGE FROM THE SITE IS WITHIN THE FLOW ALLOWABLE 10.90 CFS PER THE DRAINAGE PLAN FOR COORS PAVILION AND WILL HAVE NO ADVERSE IMPACT TO DRAINAGE CONDITIONS.

HYDROLOGIC DATA - DEVELOPED

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
A1*	1.49	0	0	10	90	4.22	6.29	0.28
A2*	2.91	0	0	14	86	4.15	12.04	0.53
A3	0.18	0	0	95	5	2.63	0.47	0.02
A4	1.13	0	0	95	5	2.57	2.91	0.10
POND A1	5.71						21.71	0.93

* PER LADERA DRIVE REPORT
** PARTIAL FLOW TO POND IS FROM THE BASINS INDICATED. ADDITIONAL BASINS ARE INCLUDED IN THE DESIGN FLOW TO POND A1.

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
B1	4.69	0	0	15	85	3.74	17.55	0.84
B2	2.55	0	0	15	85	3.74	9.55	0.46
B3	0.49	0	0	5	95	3.92	1.92	0.09
B4	1.42	0	0	40	60	3.09	4.39	0.18
B5	0.56	0	0	0	100	3.98	2.22	0.11
POND B	9.70						35.62	1.68

PRECIPITATION ZONE 1 WAS USED IN THE HYDROLOGIC ANALYSIS

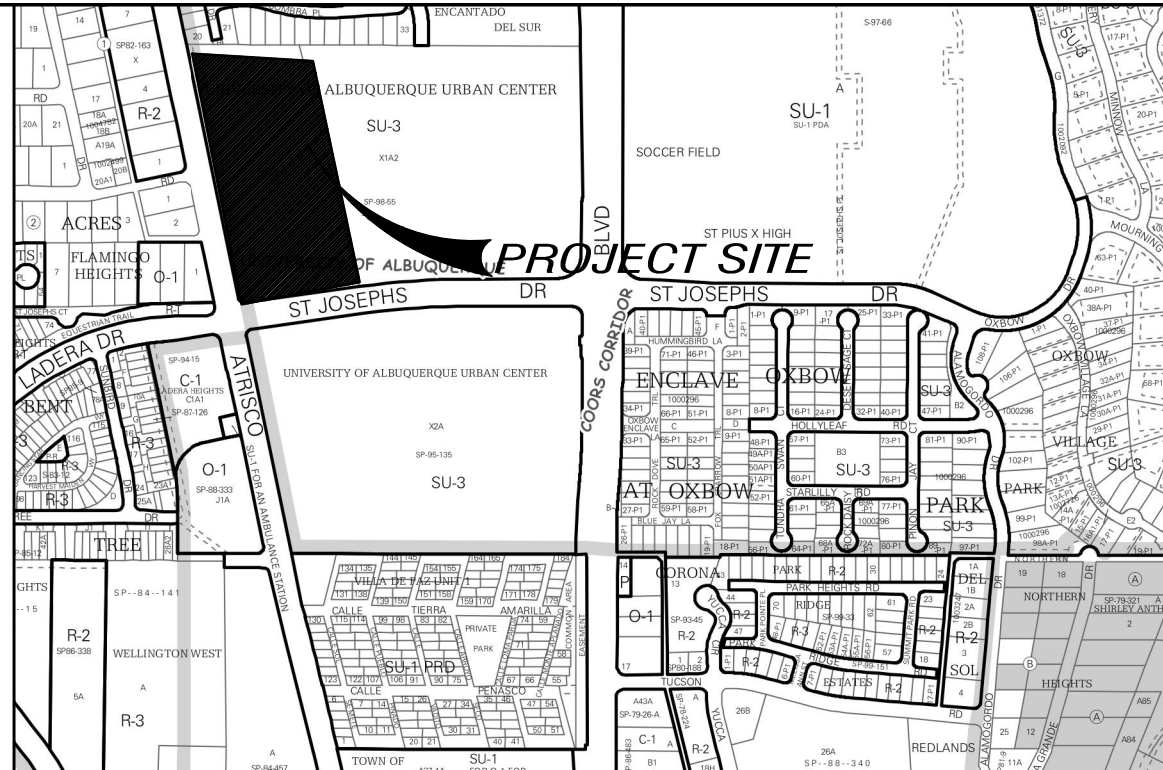
HYDRAULIC SUMMARY

AP	DESCRIPTION	Q ¹⁰⁰ (cfs)
AP-1	INLET	17.55
AP-2	CURB OPENING	1.92
AP-3	POND IN	11.77
AP-4	POND OUT	4.12

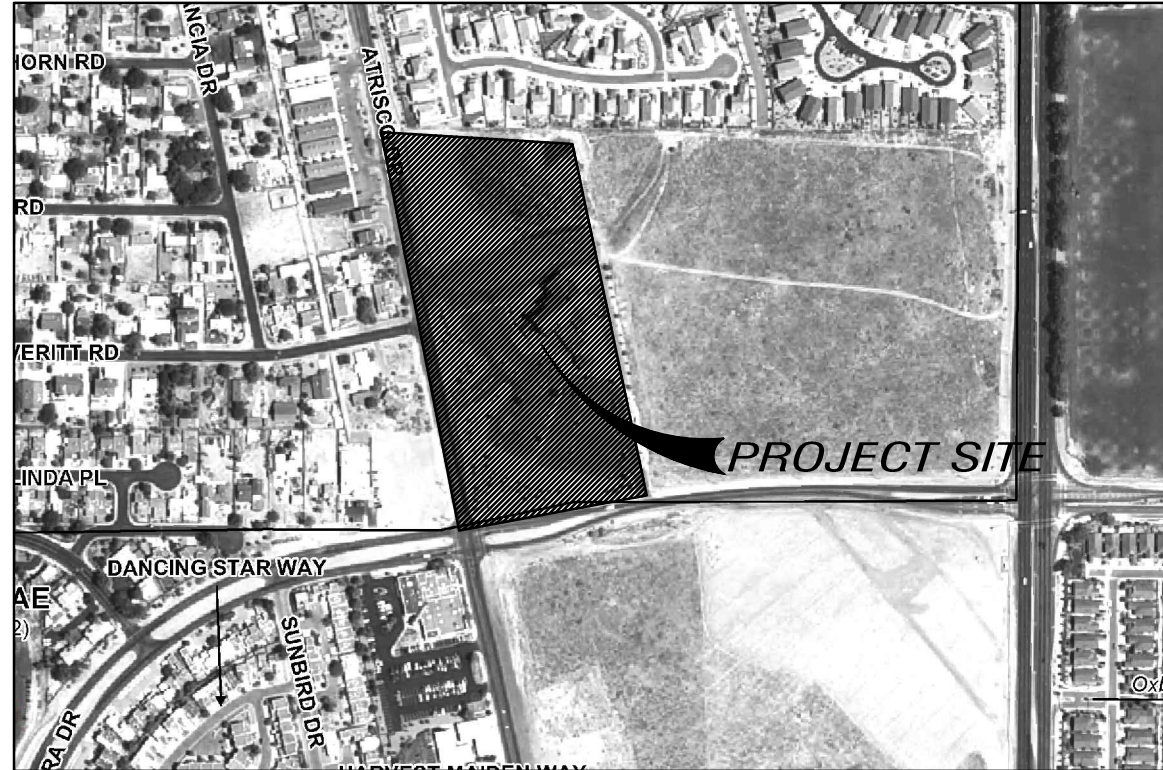
REQUIRED FIRST FLUSH VOLUME

OWNER SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO:
IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

REQUIRED VOLUME = 350,710 * (0.44-0.10)/12 = 9,937 CU.FT.
RETENTION VOLUME PROVIDED = 43,891 CU.FT.



VICINITY MAP G-11-Z



FIRM MAP 35001C0114H

LEGAL DESCRIPTION

TRACT X-1-A1
UNIVERSITY OF ALBUQUERQUE
URBAN CENTER
PROJECTED SECTION 2, T10N, R2E

LEGEND

- FLOW ARROW
- A1 BASIN LINE AND DESIGNATION
- AP-1 HYDRAULIC ANALYSIS POINT
- RIP RAP
- STORM DRAIN INLET
- EXISTING CONTOURS
- PROPOSED CONTOURS

GND, LLC
CONSULTING ENGINEERS

11032 Dreamy Way Dr. NW
Albuquerque, NM 87114
Phone: (505) 264-0472

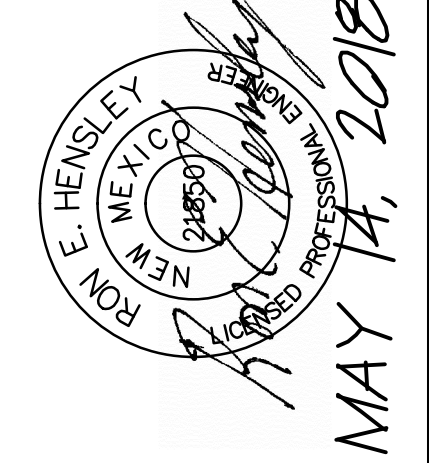
AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S	DATE
VERIFIED BY	DATE	PERFORMANCE BY	DATE
VERIFICATION BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	

BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL

FIELD NOTES		REVISIONS	
NO.	DATE	BY	DATE
		REMARKS	
		DESIGN	
		REH	DATE DEC. 2017
		REH	DATE DEC. 2017
		REH	DATE DEC. 2017



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER SITE GRADING & DRAINAGE BASIN AND DRAINAGE PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT No.		ZONE MAP No.	SHEET OF
		G-11-Z	1 1



KEYED EASEMENTS

- A Bicycle Path, Open Space Trail Link And Landscape Easement granted by plat filed March 12, 1998, in Plat Book 98C, Page 68.
- B 10' Utility Easement granted by plat filed November 17, 1987, Volume C35, Folio 29.
- C 20' City Of Albuquerque Permanent Utility Easement, Doc.# 76 15317, Filed: 3/18/76 (Misc.468-165) as shown on plat filed March 12, 1998, in Plat Book 98C, Page 68.
- D Existing Public Waterline Easement granted to the City of Albuquerque by Document filed May 8, 2000 in Book A5, Page 4444 as Document No. 200044618

NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

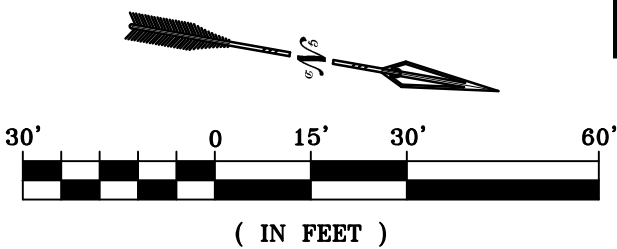
- NO WORK SHALL BE PERFORMED IN PUBLIC RIGHT OF WAY WITHOUT AN APPROVED CITY WORK ORDER.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
- THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

LEGEND

- 12.11
11.61 TOP OF CURB ELEVATION
BOTTOM OF CURB ELEVATION
- EL=11.28
66.33 PROPOSED ELEVATION
EXISTING ELEVATION
- GRADE BREAK
- EXISTING CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- PROPOSED GRADE
- EXISTING WALL
- PROPOSED WALL



GRADING CONSTRUCTION NOTES	
I.D.#	DESCRIPTION
1	NEW ASPHALT PAVING EDGE. CONTRACTOR TO SAW CUT EXISTING WITH EDGE TREATMENT FOR SMOOTH TRANSITION
2	INSTALL SPILL TYPE CURB AND GUTTER
3	REMOVE EXISTING ASPHALT AND SIDEWALK CULVERT. INSTALL CONCRETE SWALE CROSSING

AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD STAKE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

BENCH MARKS	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD STAKE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL	
NOT FOR CONSTRUCTION	
FOR E. HEAVLEY	
NEW MEXICO	
25800	
PROFESSIONAL ENGINEER	
MAY 14, 2018	

REVISIONS	
NO.	DATE
BY	
REMARKS	
DESIGN	
DATE DEC. 2017	
DATE DEC. 2017	
DATE MAY 2018	

GND, LLC
CONSULTING ENGINEERS

11032 Dreamy Way Dr. NW
Albuquerque, NM 87114
Phone: (505) 264-0472

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER
SITE GRADING & DRAINAGE
CONCEPTUAL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No.	ZONE MAP No.	SHEET	OF
	G-11-Z	1	2

KEYED EASEMENTS

A Bicycle Path, Open Space Trail Link And Landscape Easement granted by plat filed March 12, 1998, in Plat Book 98C, Page 68.

GRADING CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	NEW ASPHALT PAVING EDGE. CONTRACTOR TO SAW CUT EXISTING WITH EDGE TREATMENT FOR SMOOTH TRANSITION
2	ASPHALT REMOVAL AND UNSUITABLE FILL MATERIALS SHALL BE WASTED ON SITE IN NONSTRUCTURAL AREAS
3	INSTALL STANDARD CURB AND GUTTER PER DETAIL
4	INSTALL SPILL TYPE CURB AND GUTTER
5	INSTALL 6 - 8 X 16" WALL OPENINGS
6	INSTALL VALLEY GUTTER AND CURB RETURNS PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
7	INSTALL STANDARD CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS
8	INSTALL MOUNTABLE CURB AND GUTTER

GENERAL NOTES:

- NO WORK SHALL BE PERFORMED IN PUBLIC RIGHT OF WAY WITHOUT AN APPROVED CITY WORK ORDER
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
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- THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED
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AS BUILT INFORMATION	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTION BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	NO.

BENCH MARKS	
CONTRACTOR	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTION BY	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL	
NOT FOR CONSTRUCTION	DATE
NO.	BY

REVISIONS	
NO.	DATE
REMARKS	BY
DESIGN	DATE DEC. 2017
REH	DATE DEC. 2017
REH	DATE DEC. 2017
REH	DATE DEC. 2017

REQUIRED FIRST FLUSH VOLUME

OWNER SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION INDICATED. THE TOTAL VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

REQUIRED VOLUME = 350,710 * (0.44-0.10)/12 = 9,937 CU.FT.
VOLUME PROVIDED = 11,598 CU.FT.

LEGEND

12.11	TOP OF CURB ELEVATION
11.61	BOTTOM OF CURB ELEVATION
EL=11.28	PROPOSED ELEVATION
66.33	EXISTING ELEVATION
~~~~~	GRADE BREAK
---	EXISTING CONTOUR
---	EXISTING CONTOUR
---	PROPOSED EASEMENT
4.00%	PROPOSED GRADE
---	EXISTING WALL
---	PROPOSED WALL

**GND, LLC**  
CONSULTING ENGINEERS

11032 Dreamway Way Dr. NW  
Albuquerque, NM 87114  
Phone: (505) 264-0472

CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DEVELOPMENT GROUP

**ST. JOSEPH'S ON THE RIO GRANDE NAZARETH CENTER**  
SITE GRADING & DRAINAGE  
CONCEPTUAL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No.	ZONE MAP No.	SHEET	OF
	G-11-Z	2	2