

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 25, 2022

Ron Hensley, P.E.  
THE Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

**RE: 5004 Sandpiper Court NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 02/22/22  
Hydrology File: G11D014D39**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 03/18/2022, the Grading & Drainage Plan is approved for Grading Permit (earthwork and retaining walls can get started for the earth pad on the house).

**PRIOR TO BUILDING PERMIT:**

1. Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required. Please include a site photo with the submittal. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** SEQUOIA APARTMENTS **Building Permit #:** BP-2022-04675 **Hydrology File #:** G11D014D39  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 39 P-1 PLAT OF OXBOW BLUFF SUBDIVISION  
**City Address:** 5004 SANPIPER COURT N.W.

**Applicant:** THE Group **Contact:** Ron Hensley  
**Address:** 300 Branding Iron Rd. SE, Rio Rancho, NM 87124  
**Phone#:** 505-410-1622 **Fax#:** \_\_\_\_\_ **E-mail:** ron@thegroup.cc  
**Owner:** Diego Handcrafted Homes **Contact:** \_\_\_\_\_  
**Address:** 8100 Wyoming Blvd. NE. Ste. M4-511, Albuquerque  
**Phone#:** 505-999-8686 **Fax#:** \_\_\_\_\_ **E-mail:** diegohandcraftedhomes@gmail.com

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3/17/2022 **By:** Ron E. Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

February 22, 2022

Mr. Jeff Melvin  
Oxbow Bluff

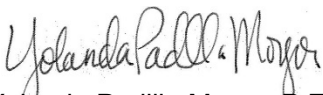
Re: Lot 39 5004 Sandpiper Ct. Lot Specific Grading and Drainage Plan

Dear Jeff:

Based on the revised grading and drainage plan for the above referenced Lot stamped dated 02/22/2022 by Ron E Hensley, The Groupe, it appears that all the comments have been addressed in regard to the grading and drainage. The plan is attached for reference.

Please let me know if you have any comments or concerns.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Vice President  
Community Development and Planning

YPM

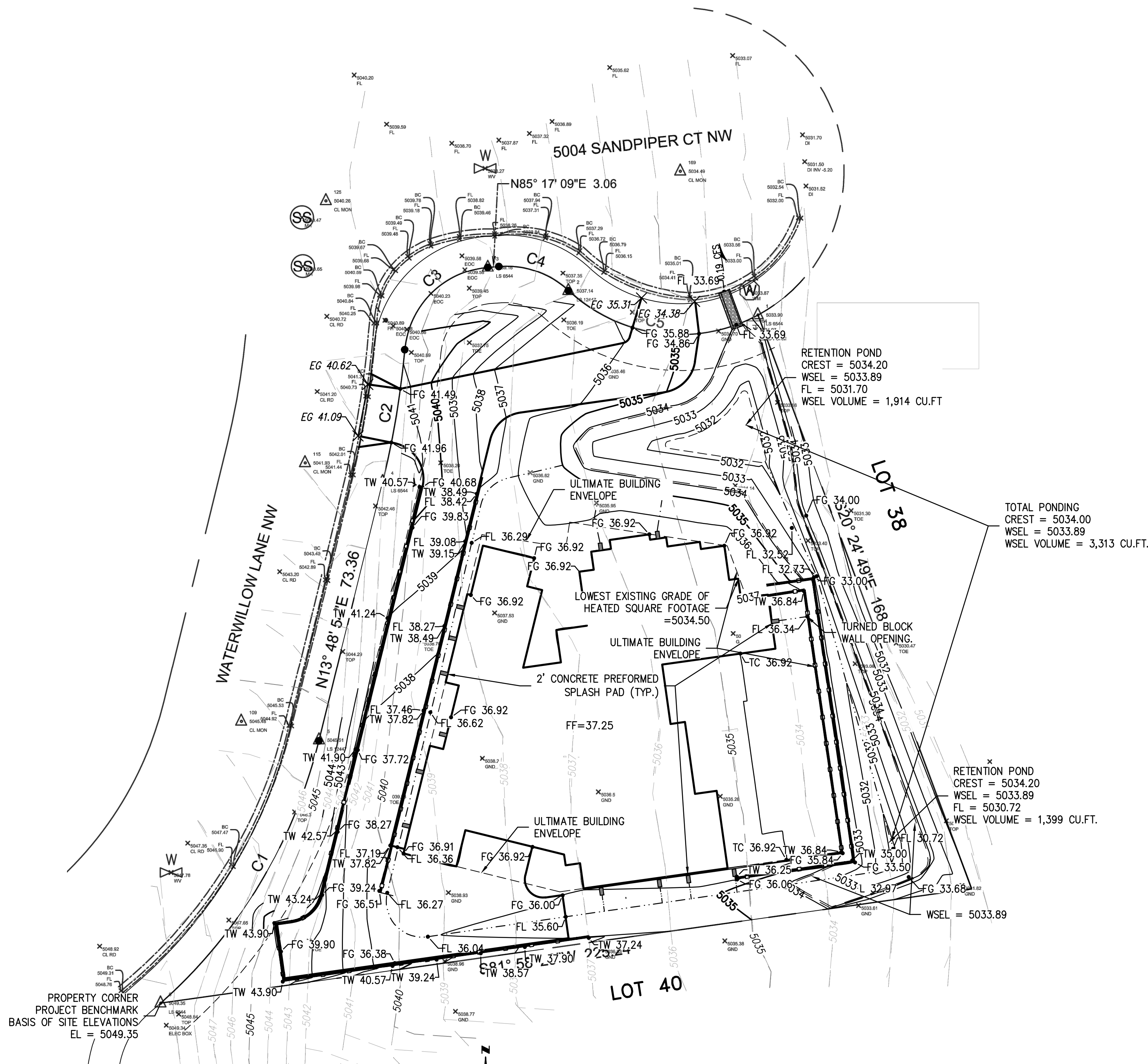
cc: Diego Ruiz, Diego Hand Crafted Homes  
Ron Hensley, the Group

Engineering ▲

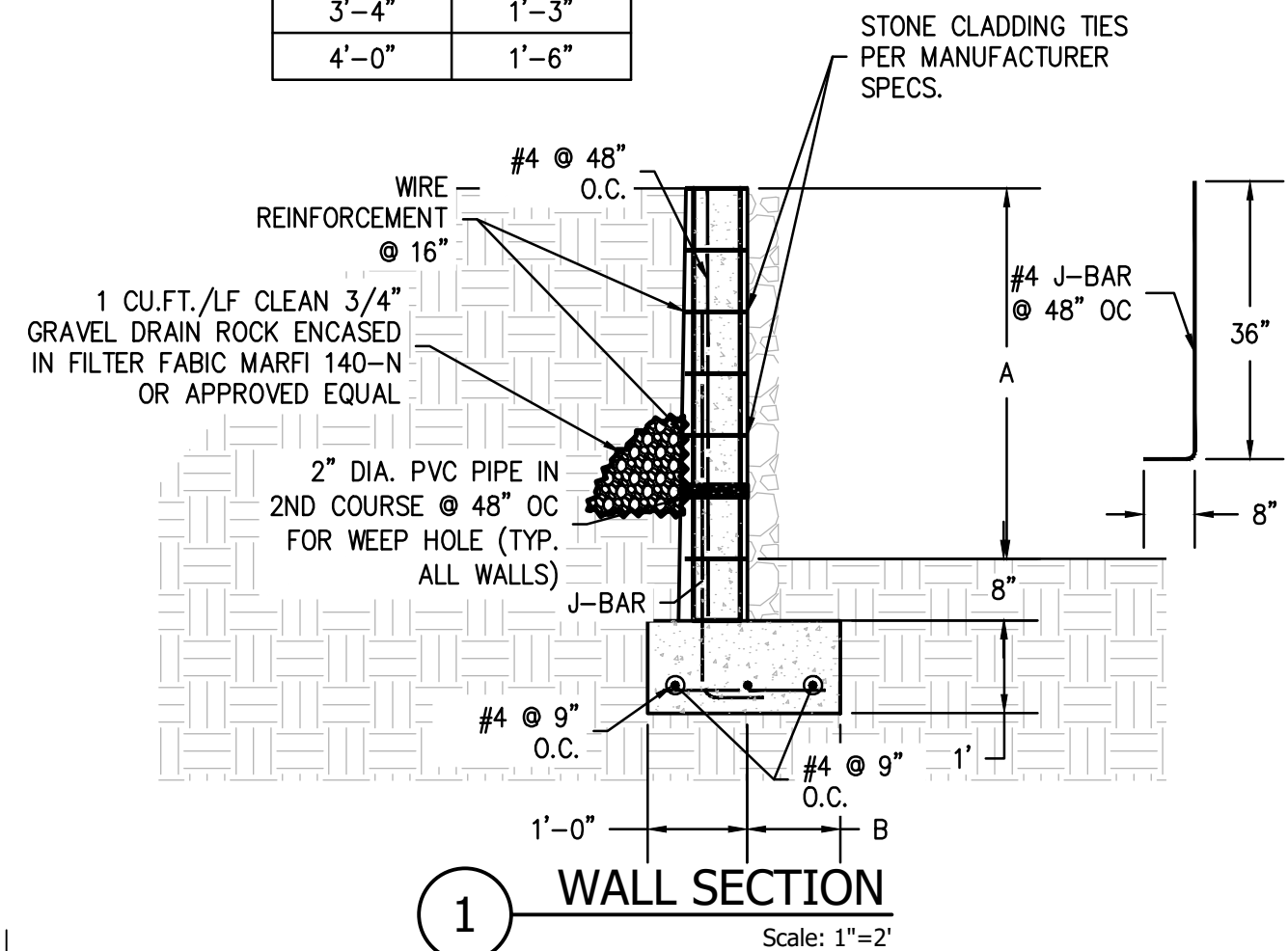
Spatial Data ▲

Advanced Technologies ▲

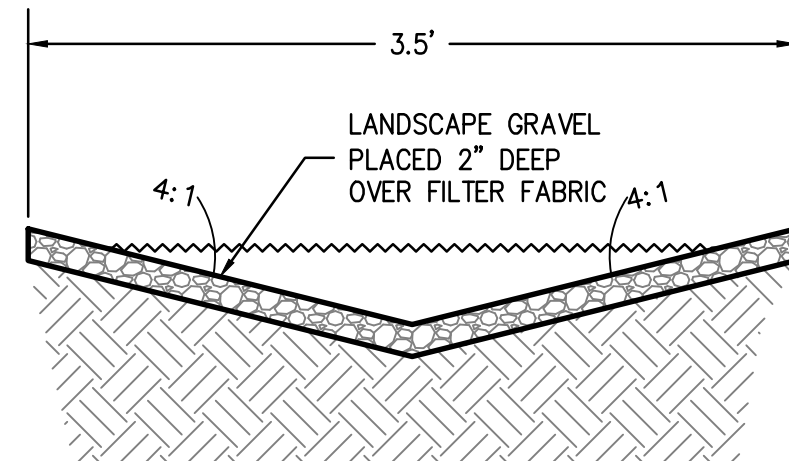
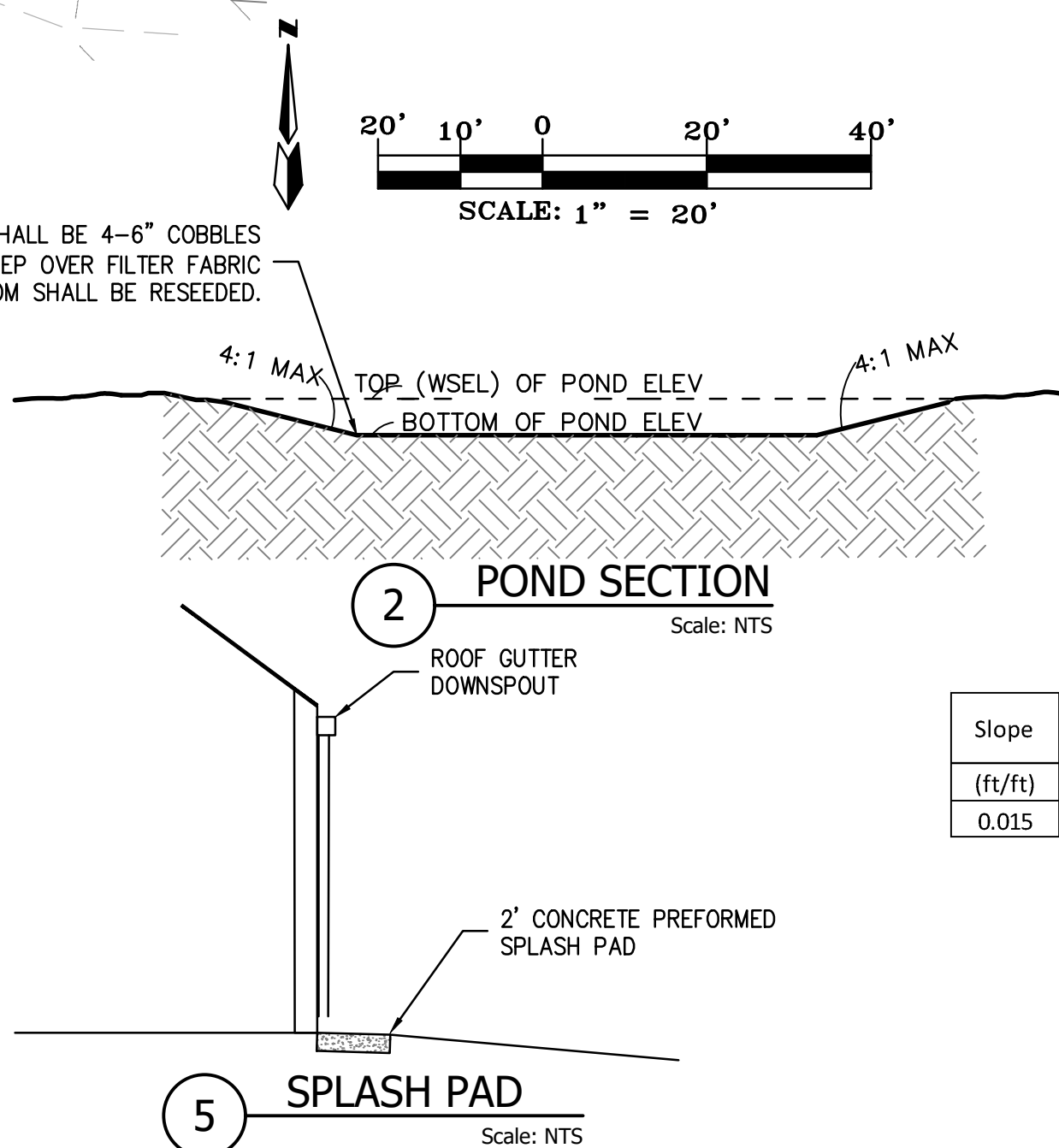




DIMENSION TABLE	
MAX A	B
2'-0"	0'-6"
2'-8"	0'-9"
3'-4"	1'-3"
4'-0"	1'-6"



POND SIDES SHALL BE 4-6" COBBLES PLACED 12" DEEP OVER FILTER FABRIC BOTTOM SHALL BE RESEDED.



Slope	n	Depth	Q	Area	Veloc	Wp	Yc	TopWidth	Energy
(ft/ft)	(coef.)	(ft)	(cfs)	(sqft)	(ft/s)	(ft)	(ft)	(ft)	(ft)
0.015	0.03	0.40	1.24	0.64	1.94	3.30	0.36	3.20	0.46



## FIRM MAP NO. 35001C0114H VICINITY MAP G-11-Z

### LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.59 ACRES LOCATED ON SANDPIPER CT. EAST OF WATERWILLOW LANE. AS SEEN ON THE VICINITY MAP.

### FLOODPLAIN STATUS

THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0114H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

### METHODOLOGY

EQUATIONS:  
WEIGHTED E =  $E_a * A_a + E_b * A_b + E_c * A_c + E_d * A_d$  / (Total Area)

FLOW =  $Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d$

WHERE FOR 100-YEAR, 6-HOUR STORM(ZONE1)

$E_a = 0.55$   $Q_a = 1.54$   
 $E_b = 0.73$   $Q_b = 2.16$   
 $E_c = 0.95$   $Q_c = 2.87$   
 $E_d = 2.24$   $Q_d = 4.12$

### PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6-2.

### EXISTING DRAINAGE

THIS SITE IS LOCATED WITHIN BASIN F OF THE OXBOW BLUFF DRAINAGE MASTER PLAN G11/D14. THE OXBOW DRAINAGE CRITERIA ALLOWS HISTORIC DISCHARGE. GIVING THE LOT AN ALLOWABLE DISCHARGE OF 0.91 CFS

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)
ALLOWABLE	25752	100%	25752	0%	0	0%	0.5500	1180
PROPOSED	25752	0%	0	46%	11752	0%	54%	14000

### DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED AS A SINGLE FAMILY HOME WITH DEVELOPED RUNOFF ROUTED TO RETENTION PONDS WITH COMBINED WSEL VOLUME OF 3,313 CU.FT. AND THE TOTAL CAPACITY OF THE POND IS 3,631 CU.FT. OR 100% OF THE TOTAL RUNOFF FROM THE LOT AND DISCHARGES LESS THAN THE HISTORIC FLOW RATE. WITH A FINAL RETAINED VOLUME OF 2,762 CU.FT.

### REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING WATER QUALITY RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA \* 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 14,000 SQ.FT.

REQUIRED VOLUME =  $14,000 * 0.42/12 = 490$  CU.FT.  
VOLUME PROVIDED = 2,762 CU.FT.

### NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS OF THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE GROUP. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

### GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.

2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.

3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

4. ALL DISTURBED AREAS OUTSIDE THE BUILDING ENVELOPE MUST BE RESEED IN ACCORDANCE WITH THE SEED MIX INDICATED IN THE OXBOW GUIDELINES.

5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.

6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

### EROSION CONTROL NOTES

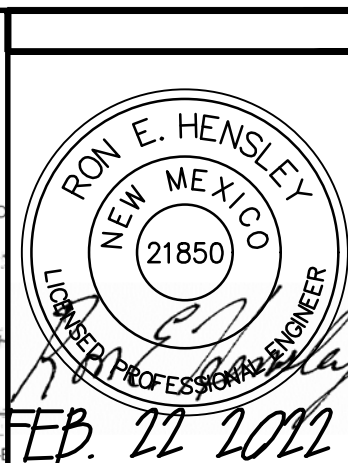
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

### LEGEND

- FLOW ARROW
- SLOPE ARROW
- EL=11.28
- 66.33
- PROPOSED ELEVATION
- EXISTING ELEVATION
- GRADE BREAK
- 5000
- PROPOSED CONTOUR
- 5000
- EXISTING CONTOUR
- PROPOSED EASEMENT
- EXISTING WALL
- PROPOSED WALL
- SWALE / FLOW LINE
- SPLASH PAD



THE HENSLEY ENGINEERING GROUP  
300 BRANDING IRON RD. SE  
RIO RANCHO, NEW MEXICO 87124  
Phone:(505) 410-1622



- THIS SET OF DRAWINGS EXIST AS A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS OF THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.
- DUE TO POTENTIAL INCONSISTENCIES DURING PLAN INCORPORATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS OF THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

PROJECT ADDRESS  
5004 SANDPIPER CT. N.W.  
ALBUQUERQUE, NM

DRAWING NAME  
GRADING & DRAINAGE PLAN

PROJECT NAME  
BROWN'S RESIDENCE

PROJECT NUMBER  
PROJECT PROGRESS  
SITE PLAN

DRAWN BY  
REH

CHECKED BY  
REH / REH

DATE  
FEB. 22, 2022

SCALE  
AS NOTED

SHEET  
C 2