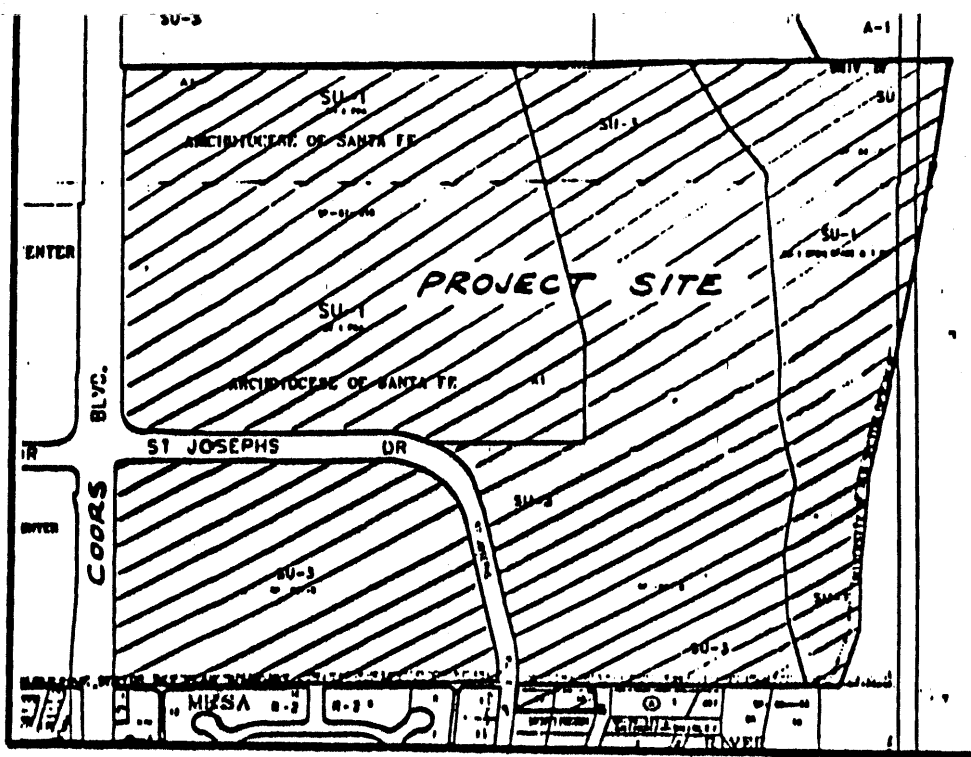




LOCATION MAP
ZONE ATLAS INDEX MAP No. F-11-Z & G-11-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB No. 97-237
2. Gross Subdivision Acre 171.5662 Acres.
3. Total number of tracts created: Five (5) Tracts.
4. Total mileage of full width streets created: 0.396 Mile.
5. Total mileage of partial width streets created: 0.183 Mile.
6. Date of Survey: September 24, 1997.
7. Plat is located within the City of Albuquerque, Bernalillo County, New Mexico within Section 2 and projected Section 2, T10N, R2E, N.M.P.M. and Section 35, T11N, R2E, N.M.P.M.

DISCLOSURE STATEMENT

The purpose of this Plat is to eliminate tract lines, dedicate right-of-way, grant easements and create Tracts A, B, E, F & G.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. All easements of record are shown.
4. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points, and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".
5. Record bearings and distances are shown in parenthesis ().
6. See Sheet 3 for Notice of Subdivision Plot Conditions.
7. Maintenance of Temporary Private Access Easement shall be the responsibility of Tract F.

DESCRIPTION

A certain tract of land situate within Section 2, T10N, R2E, N.M.P.M., within the City of Albuquerque, Bernalillo County, New Mexico, said tract being and comprising all of a 31.6815 acre tract of ANNEXATION PLAT OF LAND IN SECTION 2, T10N, R2E, N.M.P.M., filed in the Office of the County Clerk of Bernalillo County, New Mexico on January 20, 1982 in Volume C19, Folio 67 leave a 0.5232 acre parcel of Public Street Right-of-Way dedicated to the City of Albuquerque by Special Warranty Deed filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 17, 1995 as Document No. 95027107 in Book 95-7, Pages 195-201 and being more particularly described by New Mexico State Plane Grid bearings (Central Zone) and ground distances as follows:

BEGINNING at the northwest corner of the tract herein described, also being a point on the easterly right-of-way line of Coors Boulevard and the southerly right-of-way line of St. Joseph's Place, whence the Albuquerque City Survey (ACS) Monument "448-N48", an aluminum tablet having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=365,122.05 and Y=1,502,080.28 bears S80°11'30"W, 209.45 feet and from said point of beginning running thence along the northerly boundary line of the Tract herein described and also along said southerly right-of-way line of St. Joseph's Place, S89°48'50"E, 867.10 feet to a point thence, S00°11'10"W, 40.00 feet to a point of curvature thence along the easterly boundary line of the tract herein described and also along the westerly boundary line of said St. Joseph's Place, 450.25 feet along the arc of a curve to the right having a radius of 331.05 feet and a chord bearing S50°51'03"E, 416.34 feet to a point of tangency thence, S11°53'15"E, 520.28 feet to a point of curvature thence, 197.81 feet along the arc of a curve to the right having a radius of 676.19 feet and a chord bearing S03°30'25"E, 197.11 feet to a point of tangency thence, S04°52'25"W, 13.47 feet to the southeast corner of the tract herein described, also being a point on the northerly boundary line of the Town of Atrisco Grant thence leaving said westerly right-of-way line of St. Joseph's Place and continuing along the southerly boundary line of the tract herein described and said northerly boundary line of the Town of Atrisco Grant, N89°49'36"W, 908.71 feet to the 1/2 mile corner marked by a City of Albuquerque Brass Cap thence, N89°49'10"W, 545.37 feet to the southwest corner of the tract herein described, a point on the easterly right-of-way line of Coors Boulevard thence leaving said northerly boundary line of the Town of Atrisco Grant and continuing along said easterly right-of-way line of Coors Boulevard, N00°10'49"E, 162.96 feet to a point of curvature thence, 86.70 feet along the arc of a curve to the right having a radius of 2786.79 feet and a chord bearing N04°24'51"E, 86.69 feet to a point of reverse curvature thence, 263.77 feet along the arc of a curve to the left having a radius of 2942.79 feet and a chord bearing N02°44'15"E, 263.68 feet to a point of tangency thence, N00°10'11"E, 134.93 feet to a point of curvature thence, 55.48 feet along the arc of a curve to the left having a radius of 307.00 feet and a chord bearing N05°20'51"E, 55.41 feet to a point of tangency thence, N00°10'12"E, 182.98 feet to a point of curvature thence, 128.83 feet along the arc of a curve to the right having a radius of 82.00 feet and a chord bearing N45°10'41"E, 115.98 feet to a point on the southerly right-of-way of said St. Joseph's Place thence along said right-of-way, S89°48'50"E, 37.83 feet to a point thence, N00°11'10"E, 53.00 feet to the point and place of beginning.

Tract contains 31.1587 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situated within Section 2 and projected Section 2, T10N, R2E and Section 35, T11N, R2E, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, said tract being and comprising all of Tract A-1 of PLAT OF ARCHDIOCESE OF SANTA FE, as the same is shown and designated on the Plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on June 19, 1987 in Volume C33, Folio 196 as Document No. 8765168 together with all of the 31.6815 acre tract and the 83.7148 acre tract of ANNEXATION PLAT, as the same is shown and designated on the Plat thereof, recorded in the Office of the County Clerk of Bernalillo County, New Mexico on January 20, 1982 in Volume C19, Folio 67 as document 823120 now comprising Tracts A, B, E, F and G, OXBOW SUBDIVISION, Albuquerque, New Mexico, is with free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown herein to the City of Albuquerque in Fee Simple with Warranty Covenant, do hereby grant all easements shown herein including the right to construct, operate, inspect, and maintain facilities therein and all public utility easements shown herein for the common and joint use of gas, electrical power and communication services for buried and/or overhead and/or overhead lines, conduits, and pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

Altura West LTD. Co. (Owner of Tracts B, E, F, and G)

Thomas Kelsch, President

State of New Mexico

County of Bernalillo

This instrument was acknowledged before me on the 10 day of September, 1997, by Thomas Kelsch, President of Altura West LTD., a New Mexico Limited Liability Company.

My Commission Expires 4-13-00

Notary Public State of New Mexico

My Commission Expires 9/16/99

Notary

Archdiocese of Santa Fe (Owner of Tract A)

Michael J. Sheehan

Archbishop of the Archdiocese of Santa Fe

State of New Mexico

County of Bernalillo

This instrument was acknowledged before me on the 10 day of September, 1997, by Michael J. Sheehan, Archbishop of the Archdiocese of Santa Fe, a New Mexico Limited Liability Company.

My Commission Expires 9/16/99

Notary Public State of New Mexico

My Commission Expires 9/16/99

Notary

PLAT OF OXBOW SUBDIVISION ALBUQUERQUE, NEW MEXICO OCTOBER, 1997



APPROVALS

PLAT NUMBER	9-97-66	DATE	2/17/98
PLANNING DIRECTOR	Juan J. Onie	DATE	11-25-97
CITY ENGINEER	Frank J. Cogan	DATE	11-25-97
A.M.A.F.C.A.	Frank J. Cogan	DATE	2-12-98
TRAFFIC ENGINEER	Will C. Cullen	DATE	10/7/97
CITY SURVEYOR	Scott M. Hunsell	DATE	2-12-98
PROJECT MANAGEMENT	Rose A. Hunsell	DATE	11-25-97
UTILITY DEVELOPMENT DEPARTMENT	Norman G. Carrillo	DATE	11-25-97
CIP	Norman G. Carrillo	DATE	11-3-97
PLM ELECTRIC SERVICES	Norman G. Carrillo	DATE	10-3-97
U.S. WEST COMMUNICATIONS	Norman G. Carrillo	DATE	11-3-97
PNM GAS SERVICES	Norman G. Carrillo	DATE	

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC# 1 011 060 335500 10716
PROPERTY OWNER OF RECORD: 1 011 060 335500 10716
Archdiocese of Santa Fe and
H.C. Mary's School, Inc. and
Bernalillo County Treasurer's Office
DATE 2/16/98

PNM STAMP

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

SURVEYOR'S CERTIFICATION

I, A. Duane Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in February, 1994 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Behannon Huston
Courtney D.
7500 Jefferson Street, N.E.
Albuquerque, NM 87109

A. Duane Weaver
A. Duane Weaver
New Mexico Professional Surveyor 6344
Date: OCT. 9, 1997

Behannon Huston

Courtney D.
7500 JEFFERSON NE
Albuquerque
N.M. 87109

ENGINEERS PLUMBERS PHOTOGRAPHERS
SURVEYORS LANDSCAPE ARCHITECTS

SHEET 1 OF 3 SHEETS

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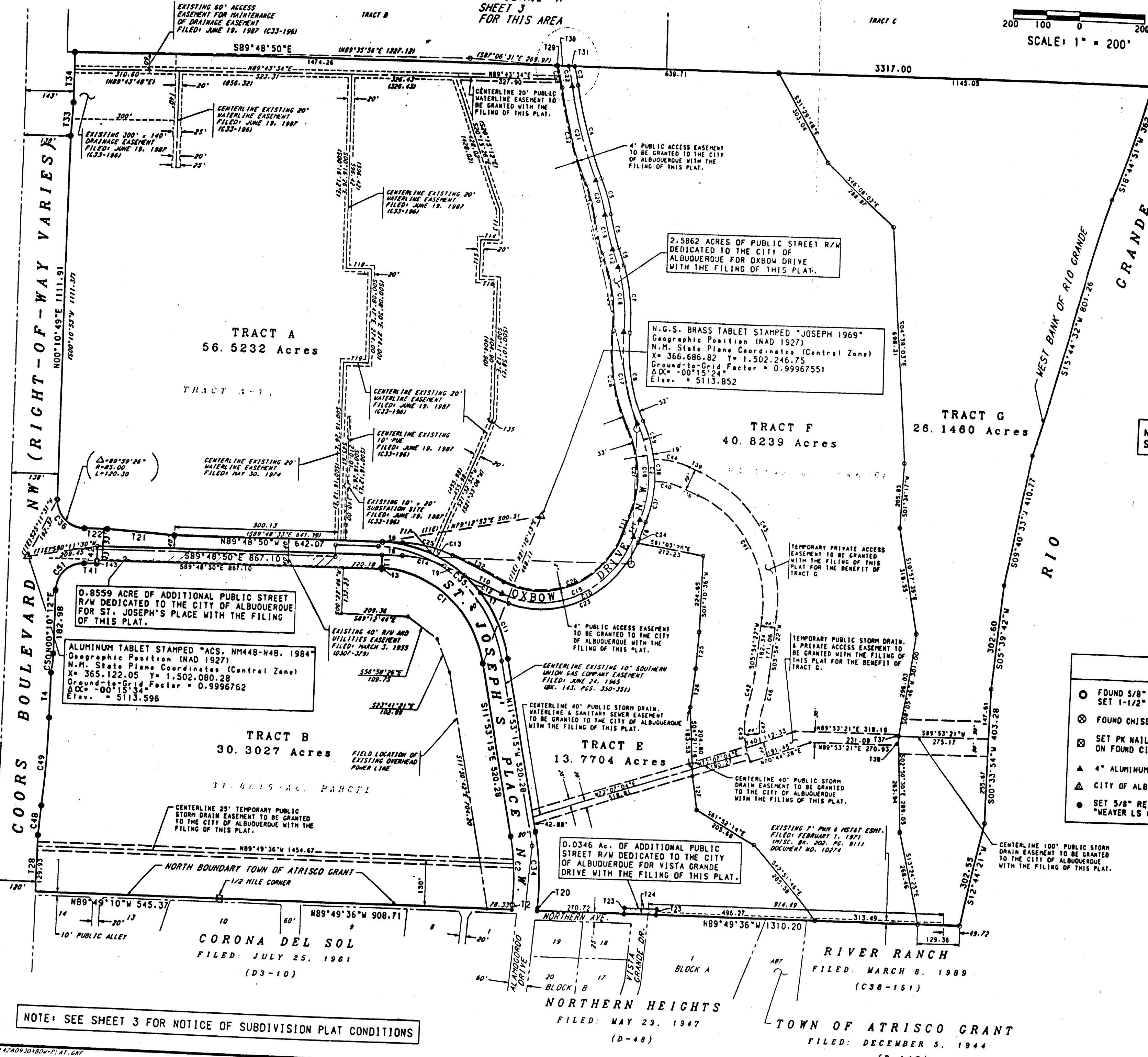
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Page: 2 of 3
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Judy D. Woodward Bern. Co. PLRT

SEE DETAIL "A"
SHEET 3
FOR THIS AREA



NOTE: SEE SHEET 3 FOR CURVE & TANGENT DATA

- LEGEND
- FOUND 5/8" REBAR WITH 1-1/4" PLASTIC SURVEY CAP STAMPED "LS 4078" SET 1-1/2" SURVEY WASHER STAMPED "WEAVER RLS 6544"
 - ⊗ FOUND CHISELED "X" IN CONCRETE
 - ⊠ SET PK NAIL WITH 1-1/2" SURVEY WASHER STAMPED "WEAVER RLS 6544" ON FOUND CITY OF ALBUQUERQUE CONCRETE MONUMENT
 - ▲ 4" ALUMINUM ALLOY CAP - SEE NOTE 4, SHEET 1
 - △ CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
 - SET 5/8" REBAR WITH 1-1/4" PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

NOTE: SEE SHEET 3 FOR NOTICE OF SUBDIVISION PLAT CONDITIONS

Bonham & Huston

Courtyard One
7500 JEFFERSON NE
Albuquerque
NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAPHERS
SURVEYORS LANDSCAPE ARCHITECTS

OXBOW SUBDIVISION

ALBUQUERQUE, NEW MEXICO

OCTOBER, 1997



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Page 3 of 3
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NOTICE OF SUBDIVISION PLAT CONDITIONS

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN, APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING AND PARKS IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL OF THIS SUBDIVISION THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY.
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS.
- PARK AND OPEN SPACE REQUIREMENTS.
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS.
- EXCAVATION, FILLING OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN SUBJECT SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

AT SUCH TIME AS ALL SUCH CONDITIONS HAVE BEEN SATISFACTORILY MET, THE CITY ENGINEER SHALL APPROVE A RECORDABLE DOCUMENT, REMOVING SUCH CONDITIONS FROM ALL OR FROM A PORTION OF THE AREA WITHIN THE SUBJECT SUBDIVISION.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

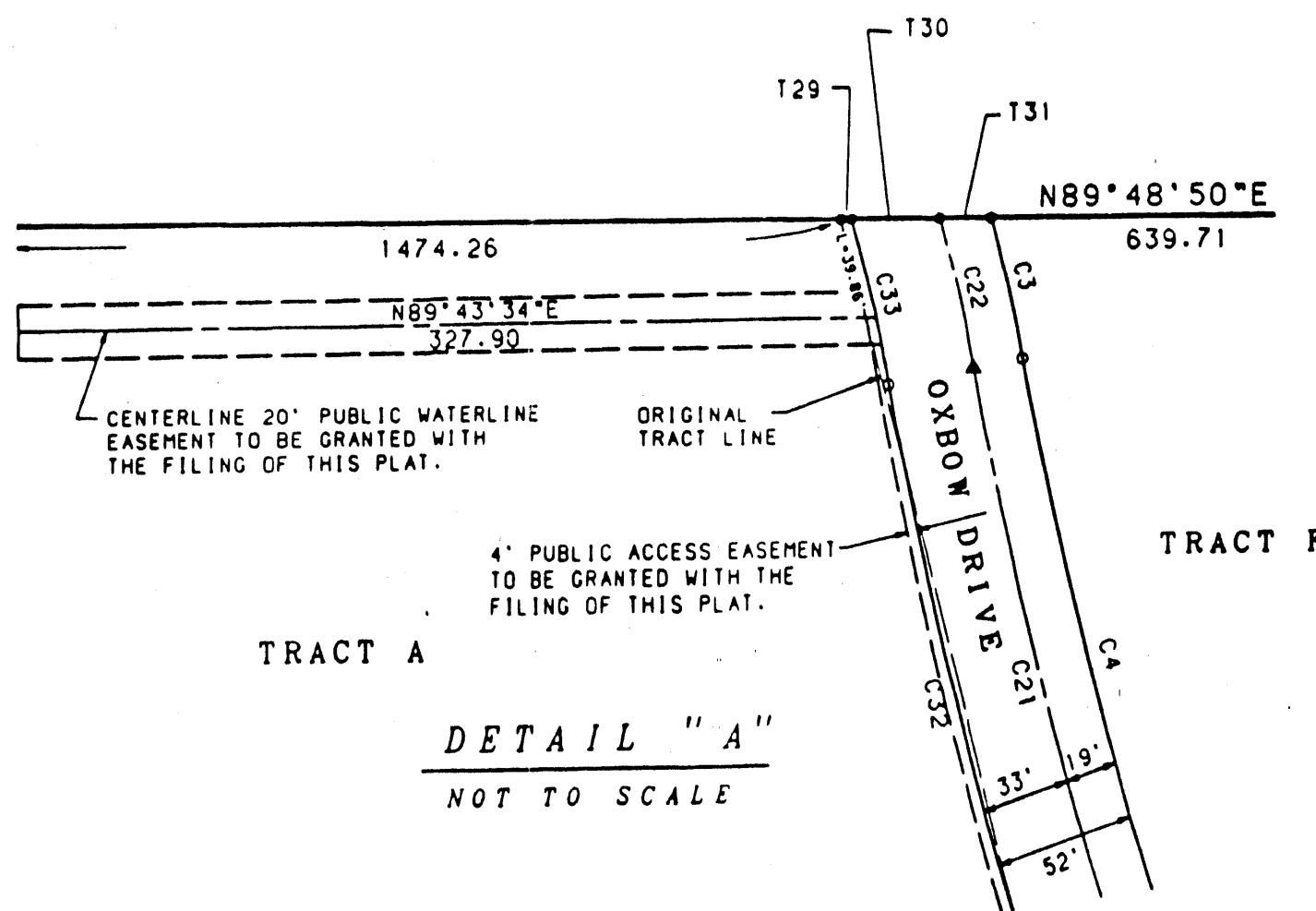
- The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- U S West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Jones Interservice for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included in the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

CURVE DATA						
NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	450.25	331.05	77°55'35"	416.34	S50°51'02"E	267.73
C2	197.81	676.19	16°45'40"	197.11	S03°30'25"E	99.62
C3	55.33	647.00	4°53'59"	55.31	S12°26'02"E	27.68
C4	287.58	1253.00	13°09'01"	286.95	S16°33'33"E	144.43
C5	119.35	497.00	13°45'32"	119.06	S16°15'18"E	59.96
C6	109.23	665.50	9°24'16"	109.11	S14°04'39"E	54.74
C7	199.70	501.50	22°48'54"	198.38	S07°22'20"E	101.19
C8	262.49	498.50	30°10'10"	259.47	S11°02'58"E	134.36
C9	325.50	413.00	45°09'23"	317.14	S03°33'22"E	171.73
C10	496.65	323.00	88°05'56"	449.15	S63°04'17"W	312.46
C11	208.49	411.05	29°03'40"	206.26	N26°25'05"W	106.54
C12	71.21	411.05	9°55'33"	71.12	N45°54'42"W	35.69
C13	279.36	411.05	38°56'21"	274.01	N70°20'39"W	145.32
C14	133.91	345.00	22°14'23"	133.07	S78°41'39"E	67.81
C15	495.58	304.00	93°24'14"	442.50	N65°43'26"E	322.62
C16	310.52	394.00	45°09'23"	302.55	N03°33'22"W	163.83
C17	272.49	517.50	30°10'10"	269.36	N11°02'58"W	139.48
C18	192.13	482.50	22°48'54"	190.86	N07°22'20"W	97.35
C19	112.35	684.50	9°24'16"	112.23	N14°04'39"W	56.30
C20	114.79	478.00	13°45'32"	114.51	N16°15'18"W	57.67
C21	291.94	1272.00	13°09'01"	291.30	N16°33'33"W	146.62
C22	58.83	628.00	5°22'01"	58.80	N12°40'03"W	29.43
C23	484.85	323.00	86°00'23"	440.60	N64°07'04"E	301.24
C24	11.80	323.00	2°05'33"	11.80	N20°04'05"E	5.90
C25	159.82	385.00	23°47'05"	158.68	S77°55'17"E	81.08
C26	452.02	271.00	95°34'03"	401.41	N66°48'21"E	298.70
C27	284.51	361.00	45°09'23"	277.21	N03°33'22"W	150.11
C28	289.87	550.50	30°10'10"	286.53	N11°02'58"W	148.38
C29	178.99	449.50	22°48'54"	177.81	N07°22'20"W	90.70
C30	117.77	717.50	9°24'16"	117.64	N14°04'39"W	59.02
C31	106.86	445.00	13°45'32"	106.60	N16°15'18"W	53.69
C32	299.52	1305.00	13°09'01"	298.86	N16°33'33"W	150.42
C33	64.93	595.00	6°15'09"	64.90	N13°06'37"W	32.50
C34	221.21	756.19	16°45'40"	220.43	N03°30'25"W	111.40
C35	559.06	411.05	77°55'35"	516.95	N50°51'02"W	332.42
C36	133.51	85.00	89°59'39"	120.20	N44°49'01"W	84.99
C37	133.36	413.00	18°30'03"	132.78	N09°46'17"E	67.26
C38	72.13	413.00	10°00'24"	72.04	N04°28'56"W	36.16
C39	120.01	413.00	16°38'55"	119.59	N17°48'36"W	60.43
C40	83.96	189.00	25°27'10"	83.27	S79°32'26"E	42.68
C41	449.22	354.00	72°42'27"	419.68	S30°26'51"E	260.55
C42	96.36	678.00	8°08'35"	96.28	S09°58'39"W	48.26
C43	167.40	247.00	38°49'49"	164.21	S05°21'58"E	87.06
C44	118.73	261.00	26°03'51"	117.71	S79°50'46"E	60.41
C45	538.01	426.00	72°21'41"	502.96	S30°16'29"E	311.56
C46	102.61	722.00	8°08'35"	102.52	S09°58'40"W	51.39
C47	97.75	203.00	27°35'19"	96.81	S00°15'17"W	49.84
C48	86.70	2786.79	1°46'57"	86.69	N04°24'51"E	43.35
C49	263.77	2942.79	5°08'08"	263.68	N02°44'15"E	131.97
C50	55.48	307.00	10°21'18"	55.41	N05°20'51"E	27.82
C51	128.83	82.00	90°00'52"	115.98	N45°10'41"E	82.02

TANGENT DATA

NUMBER	BEARING	DISTANCE	(RECORD)
T1	S00°11'10"W	40.00	
T2	S04°52'25"W	13.47	
T3	N00°11'10"E	3.00	
T4	N00°10'11"E	134.93	
T5	S18°46'47"E	57.74	
T6	S19°01'19"W	55.00	
T7	N72°52'45"W	93.43	
T8	S89°48'50"E	65.00	
T9	S67°34'28"E	67.81	
T10	S67°34'28"E	129.26	
T11	N19°01'19"E	55.00	
T12	N18°46'47"W	57.74	
T13	S00°11'12"E	95.76	(S00°10'58"E 95.76)
T14	N89°47'19"W	55.33	(N89°47'05"W 55.33)
T15	S00°12'41"W	122.94	(S00°12'55"W 122.94)
T16	S89°47'19"E	56.15	(S89°47'05"E 56.15)
T17	N89°48'47"W	4.68	
T18	N89°51'16"E	80.23	(N89°51'30"E 80.23)
T19	N89°51'16"E	79.62	(N89°51'30"E 79.62)
T20	N04°52'25"E	6.89	
T21	N86°05'39"W	200.39	(N86°05'25"W 200.42)
T22	N89°48'50"W	65.02	(N89°48'33"W 65.01)
T23	N05°04'24"E	15.06	
T24	N89°49'36"W	100.37	
T25	S04°20'49"W	104.11	
T26	S06°31'16"W	113.73	
T27	S09°55'25"E	104.83	
T28	N00°10'49"E	162.96	
T29	S89°48'50"E	3.95	
T30	S89°48'50"E	34.33	
T31	S89°48'50"E	19.70	
T32	S65°24'39"E	176.59	
T33	N03°02'43"E	100.04	(N03°02'44"E 100.32)
T34	N00°10'49"E	150.00	(N00°10'53"E 150.00)
T35	S46°21'26"W	15.55	(S46°21'40"W 15.55)
T36	S66°48'05"E	64.12	
T37	S08°05'46"W	4.97	
T38	S02°50'30"E	25.11	
T39	S66°48'05"E	37.39	
T40	N70°44'28"E	44.18	
T41	S89°48'50"E	37.83	
T42	N00°11'10"E	53.00	
T43	N00°11'10"E	10.00	



TRACT A

TRACT F

DETAIL "A"
NOT TO SCALE

Bohannon & Huston

Courtyard One
7500 JEFFERSON DE
Albuquerque
NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS
SURVEYORS LANDSCAPE ARCHITECTS

SHEET 3 OF 3 SHEETS

JOB NO. 97142A.10

2331(3)



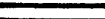
I, KEVIN G. PATTY, NMPE 13685, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04-00-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, NMPS 9750, OF THE FIRM SURV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-16-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY. *RELEASE OF FINANCIAL GUARANTEE*

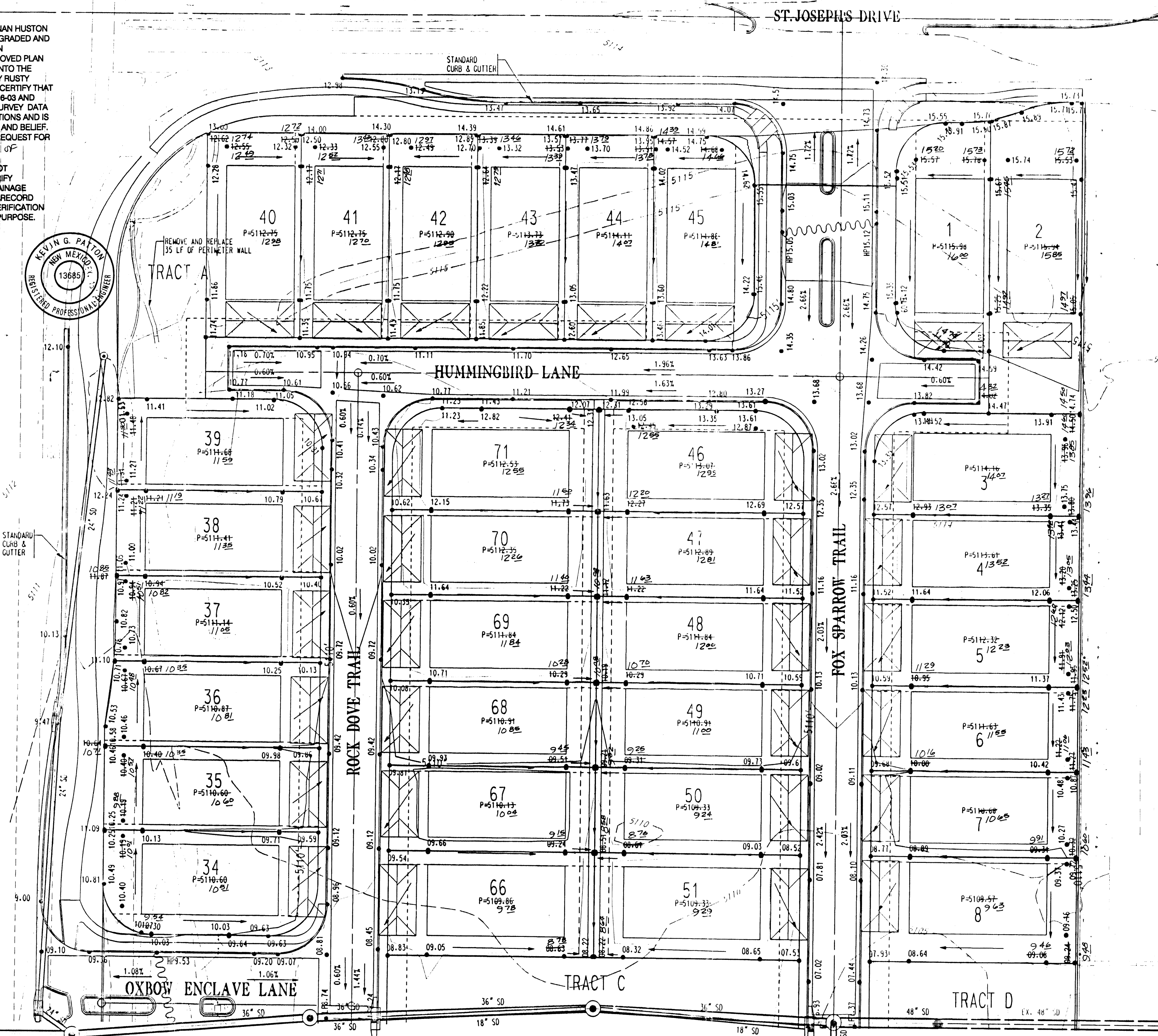
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KEVIN PATTON. NMPE 13685

COORS BLDG.

LEGEND

- | | |
|-------------------------------|---|
| PURCHASED SPOT ELEVATION | ● 5235-25 |
| FL OF HALL CORNER ELEVATION | ● 5235-25 |
| EXISTING SPOT ELEVATION | ● 5235-25 |
| EXISTING CONTOUR | |
| DIRECTION OF FLOW |  |
| EXISTING STORM DRAIN LINE |  |
| PURCHASED STORM DRAIN INLET |  |
| PURCHASED STORM DRAIN LINE |  |
| PURCHASED STORM DRAIN MANHOLE |  |
| PURCHASED WATER BLOCK |  |
| RETAINING WALL |  |
| EXISTING WALL | |
| POW CONTOUR | |



GENERAL NOTES:

1. LIFT IS PROVIDED HEREIN. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TYPISOL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY GEO-TEST INC., DATED OCTOBER, 1997. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICAL MATERIALS CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1312.
9. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 2 AND MATTING THE SOIL TO PROTECT IT FROM WIND EROSION.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
11. PAVING, AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
12. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
13. ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.

Brad L. Bigham
APPROVED FOR ROUGH GRADING

Bohannon ▲ Huston

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

ENCLAVE AT OXBOW SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
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 CIVIL ENGINEER APPROVAL

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CITY PROJECT NO	ZONE MAP NO
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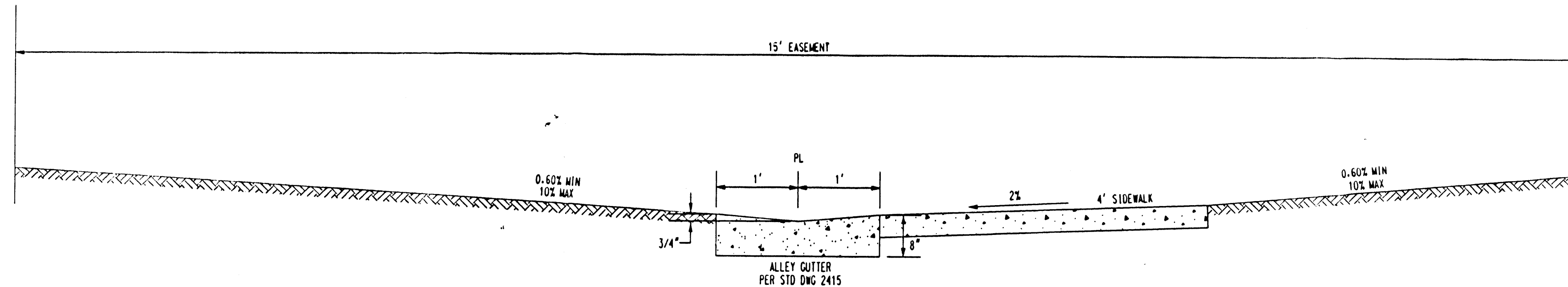
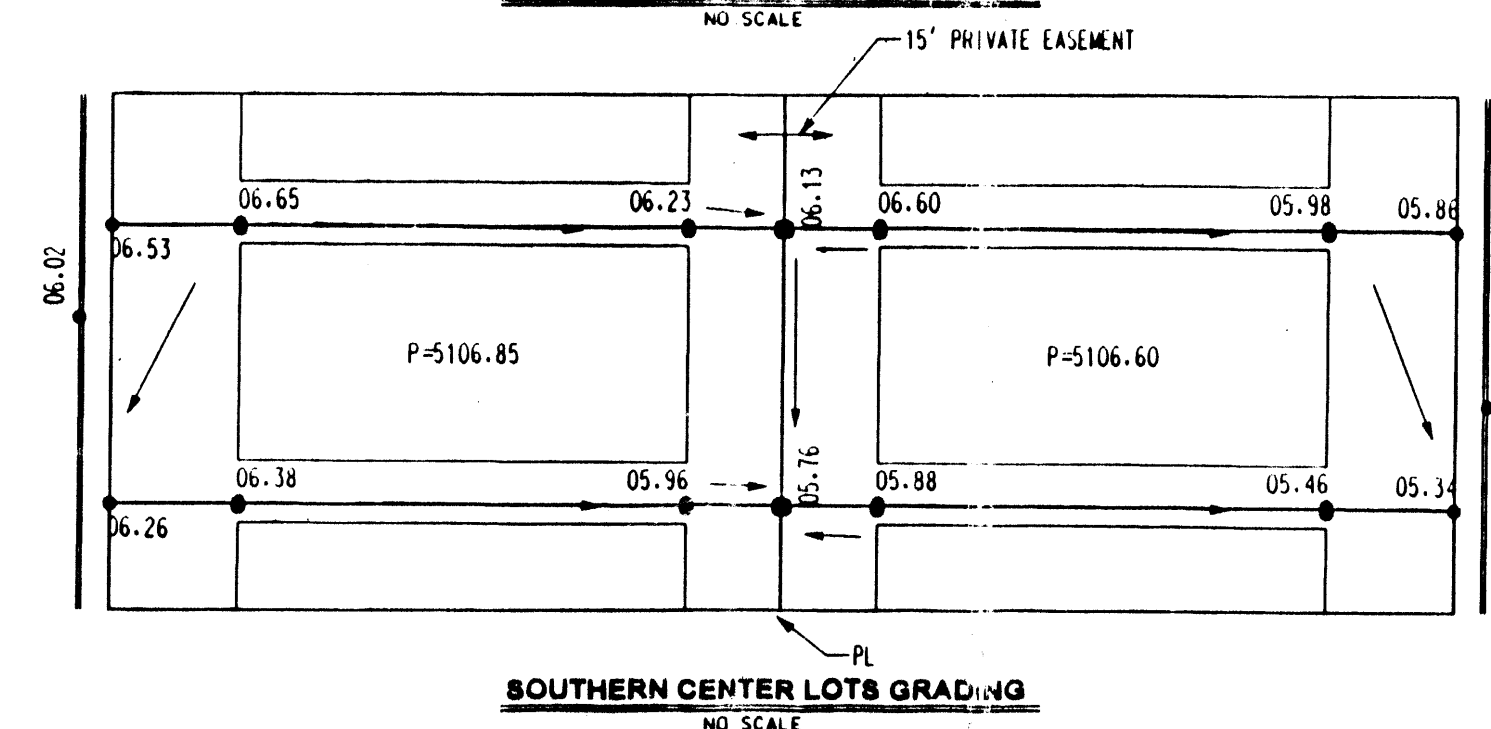
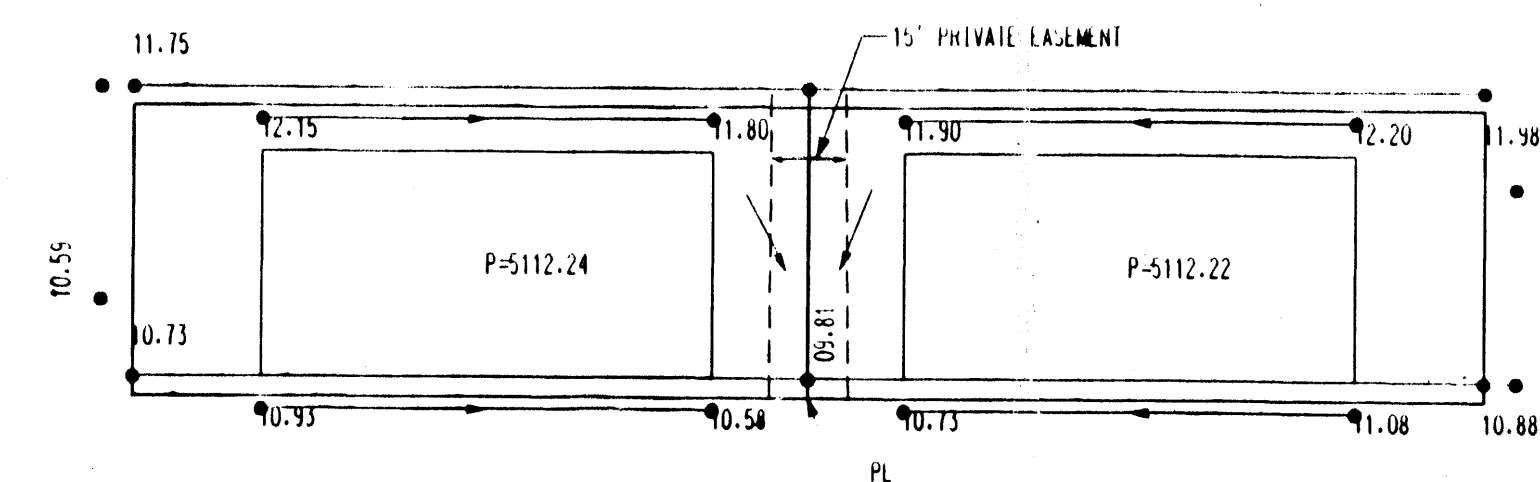
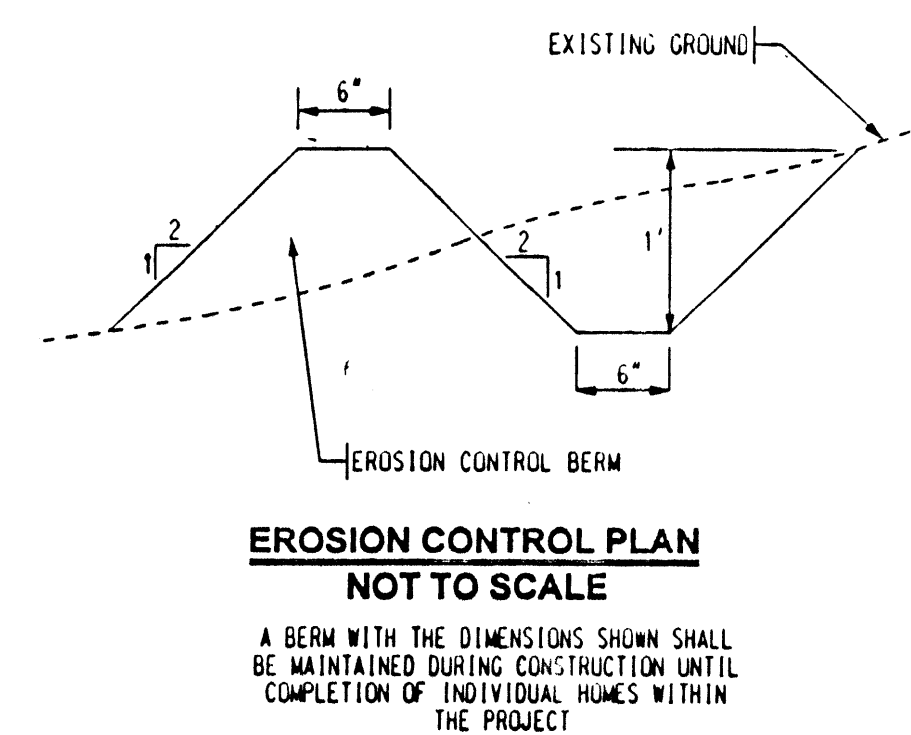
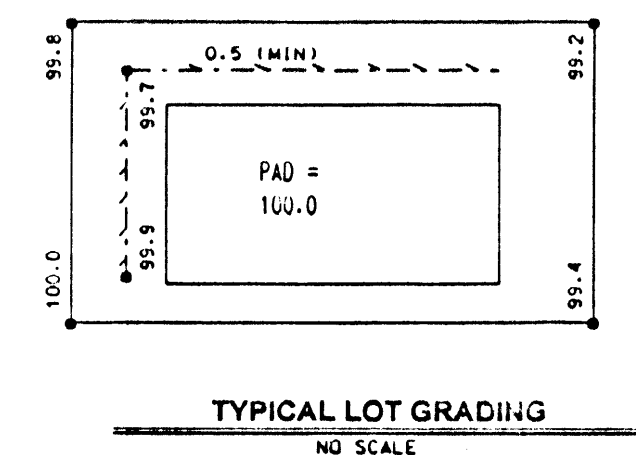
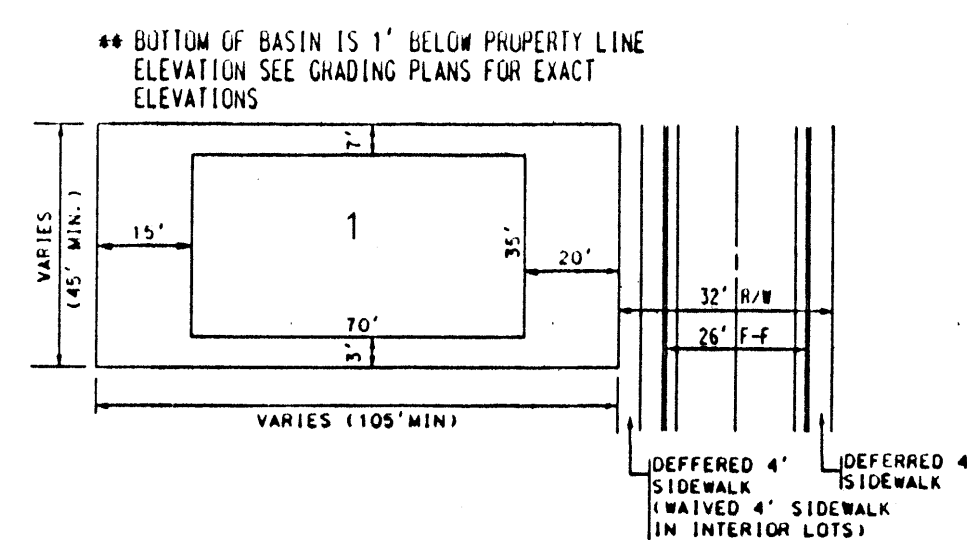
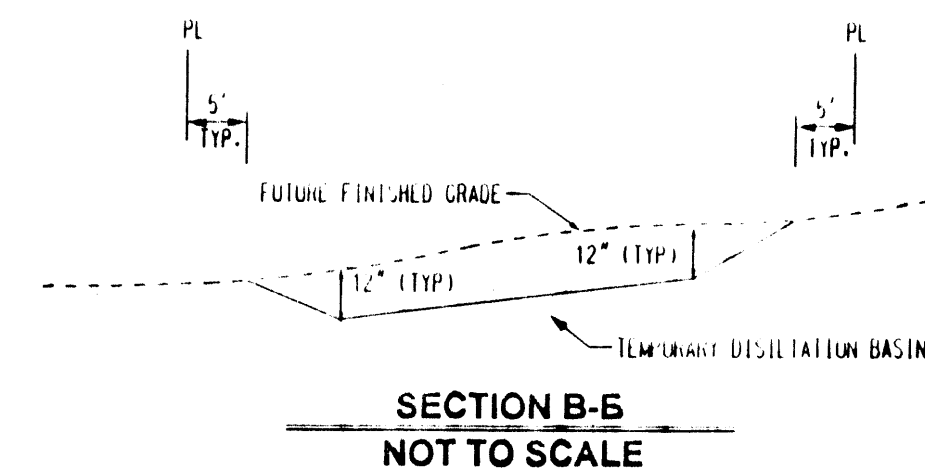
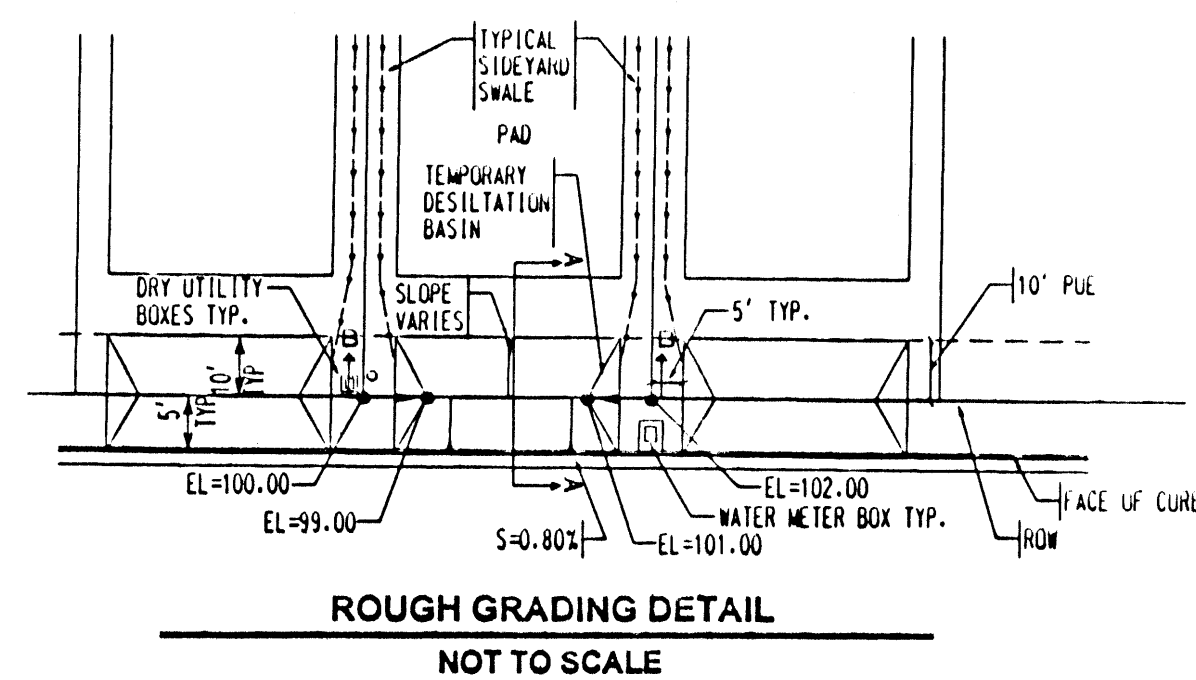
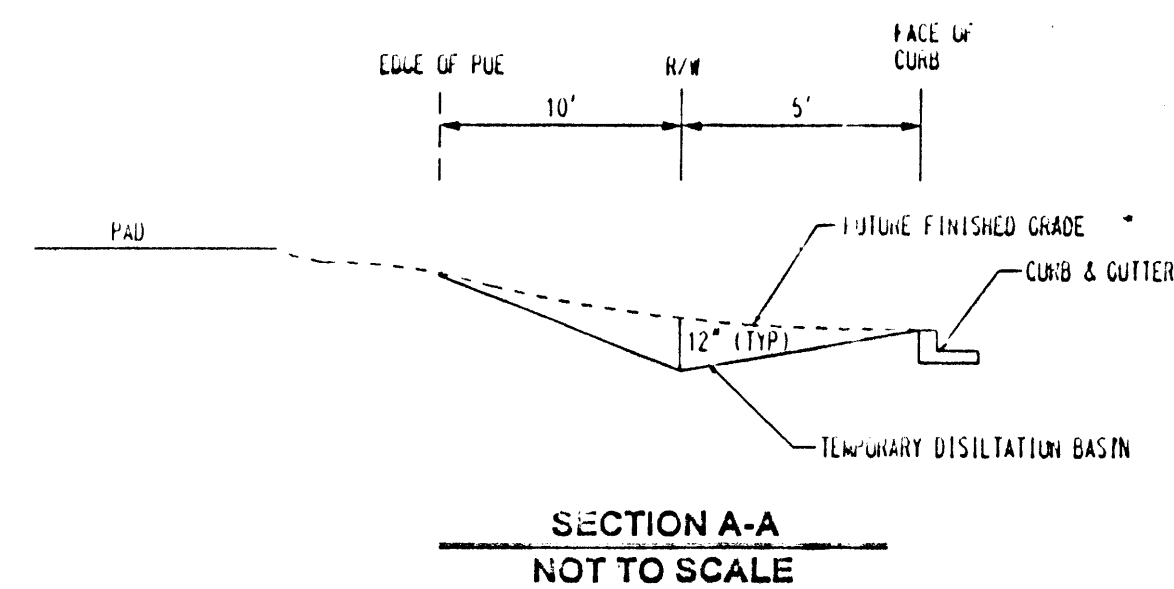
CITY PROJECT NO. _____ ZONE MAP NO. _____
C-11

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[illegible]

G-11/D14F



DRAINAGE CERTIFICATION

I, KEVIN G. PATTON, MEMPHIS 13685, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, MEMPHIS 9750, OF THE FIRM SURV-TEK. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-16-03 AND HAVE CONDUCTED A VISUAL SURVEY OF THE SURVEY DATA. THE INFORMATION SUBMITTED HEREON THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

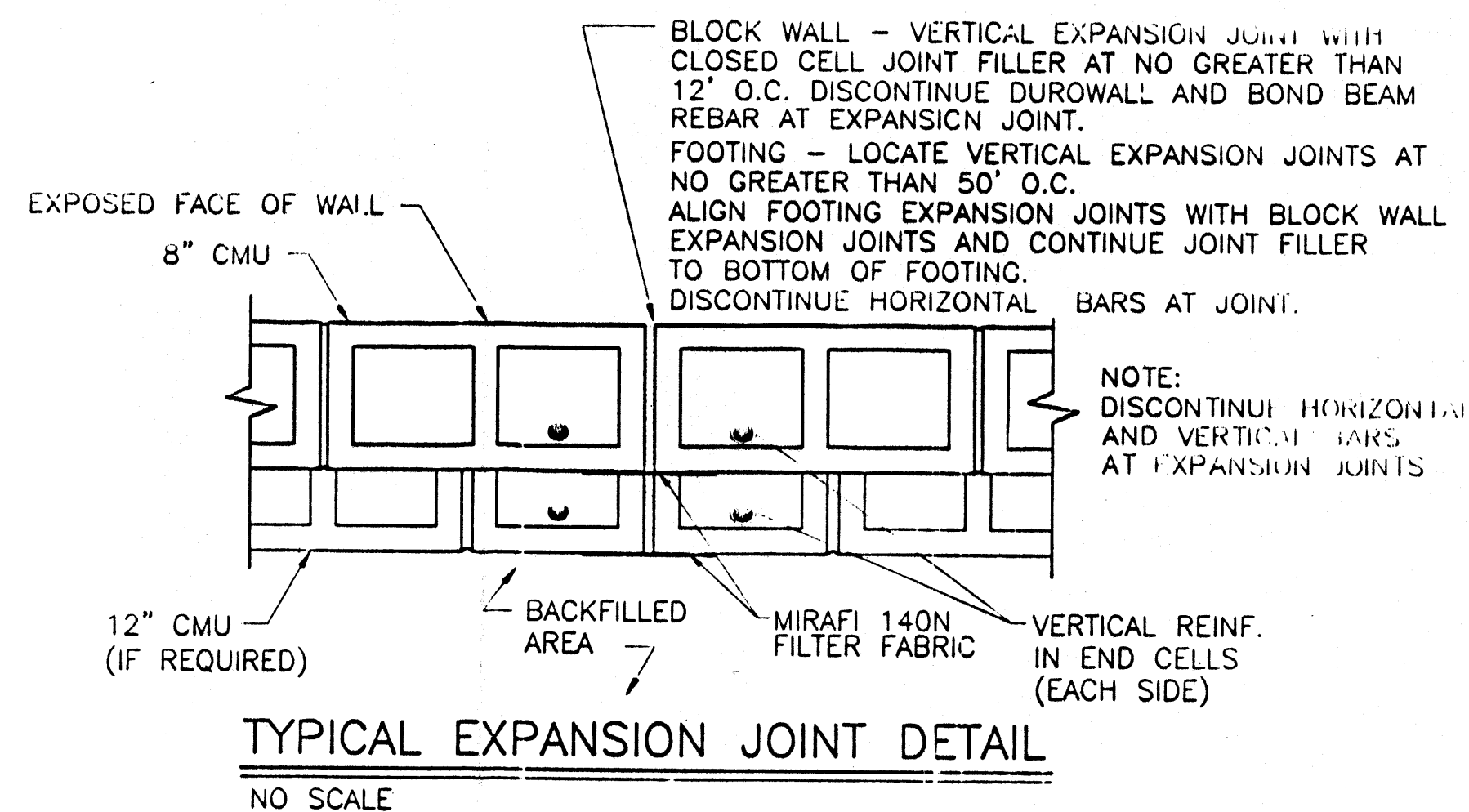
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KEVIN PATTON, NMPE 13685

4.17.03
DATE

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1. EARTHWORK: SEE GEOTECHNICAL ENGINEERING SERVICES REPORT BY GEOTEST, INC., JOB No. 1-70906, OXBOW SUBDIVISION, ALBUQUERQUE, NEW MEXICO, DATED OCTOBER 30, 1997, AND ADDENDUM #1 TO THIS REPORT, DATED NOVEMBER 2, 1999, FOR EARTHWORK INFORMATION AND REQUIREMENTS. IF THE METHOD TITLED "ALTERNATE 2 FOR TREATMENT OF NATURAL GROUND SURFACE IN THE BUILDING AREAS" IS SELECTED BY THE CONTRACTOR, THE OVEREXCAVATION SHOULD BE EXTENDED A MINIMUM OF ONE FOOT HORIZONTALLY BEYOND THE EDGES OF THE FOOTINGS.
2. RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER PLACING OF FINAL GROUT LEVEL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS SHOULD BE CAUSED BY A LARGE MASS OF MOVING EARTH. SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 5:1.
3. VERTICAL CONTROL JOINTS IN THE WALL AND FOOTING SHALL BE PLACED AS SHOWN ON THE STEP FOOTING AND EXPANSION JOINT DETAILS.
4. MINIMUM LAP SPlice ON REINFORCING BARS IN MASONRY WALLS SHALL BE 40 BAR DIAMETERS (2' - 0" MINIMUM). REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE TABLES MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE TABLE. LAP ALL DUROWALL JOINT REINFORCEMENT 8" MINIMUM.
5. CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE, CHAPTER 21, MASONRY.
6. SPECIAL INSPECTION IS REQUIRED.
7. WEEP HOLES: PLACE A 2' x 1' PIECE OF MIRAFI 140N FILTER FABRIC ON THE BACK OF WALL AT EACH WEEP HOLE LOCATION, EXCEPT TYPE 5 WALL. OMIT HEAD JOINT ON BOTTOM TWO COURSES AT 48" O.C., EXCEPT AS NOTED BELOW: OMIT HEAD JOINT ON FIRST COURSE ONLY FOR PERIMETER WALL (SEE SHEET 19A). TYPE 5 WALL, SEE NOTE ON SHEET 19.
8. DESIGN DATA
BLOCK WEIGHT 12" = 130 PSF
BLOCK WEIGHT 8" = 85 PSF
SOIL WEIGHT = 115 PCF
EFP (ACTIVE) = 38 PCF
SOIL BEARING PRESSURE = 1500 PCF
(1/3 INCREASE FOR WIND/ SEISMIC)
COEFFICIENT OF FRICTION = 0.4
EFP (PASSIVE) = 325 PCF
CONCRETE F' C (28 DAYS) = 3000 PSI
GROUT STRENGTH = 2000 PSI
CMU GRADE N = 1500 PSI (GROUTED SOLID)
REINFORCEMENT = 60 ASTM A-615
9. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.
11. ALL CELLS BELOW GRADE SHALL BE FULLY GROUTED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
13. THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
14. ALL EXPOSED CMU BLOCK TO BE STUCCO/PAINTED. THE CONTRACTOR SHALL COORDINATE COLOR FINISH WITH THE OWNER.
15. ALL CMU BLOCK JOINTS SHALL BE TOOLED.
16. MIRAFI 140N FILTER FABRIC, 1 FOOT WIDE SHALL BE PLACED ON THE BACK OF THE WALL AT EACH EXPANSION JOINT. THE FABRIC SHALL EXTEND DOWN FROM THE TOP OF THE WALL EXTENDING 6" OVER THE TOP OF THE FOOTING.



1. KEVIN G. HATTON, NMPE 13895, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, NMPS 9760, OF THE FIRM SURVUE-T. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT AT CA-410-03 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.


KEVIN PATTON, NMPE 13685



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Bohannon ▲ Huston

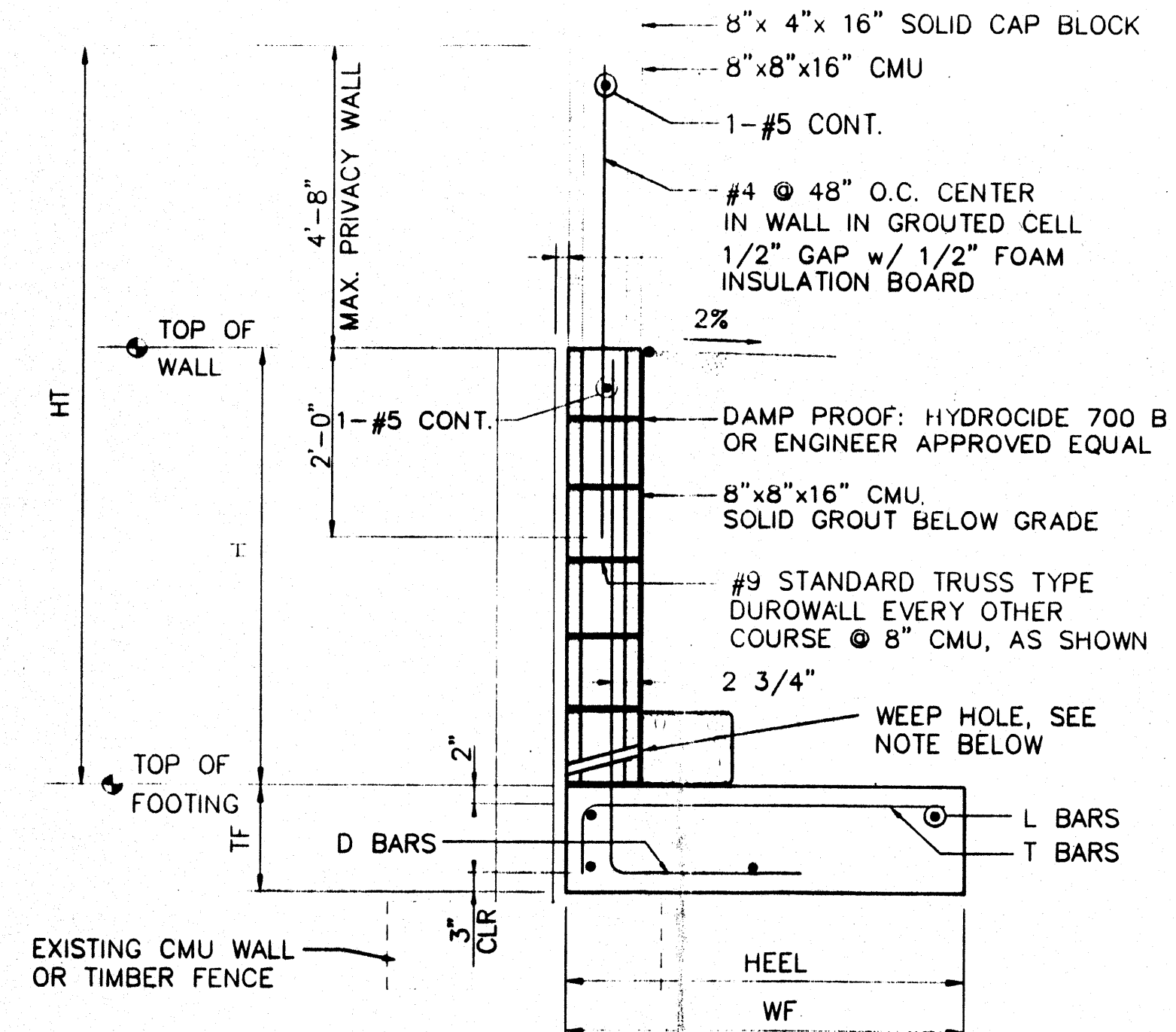
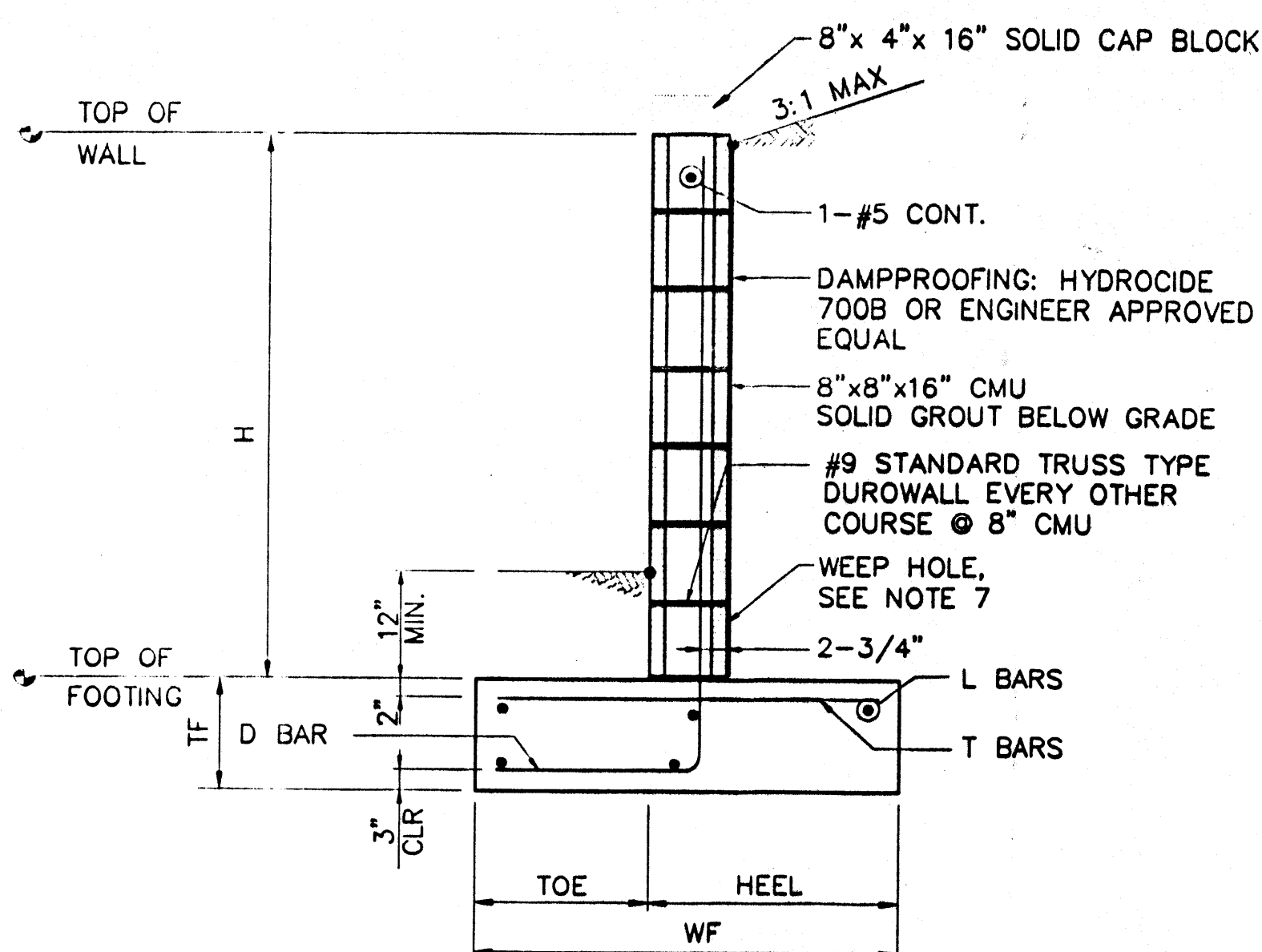
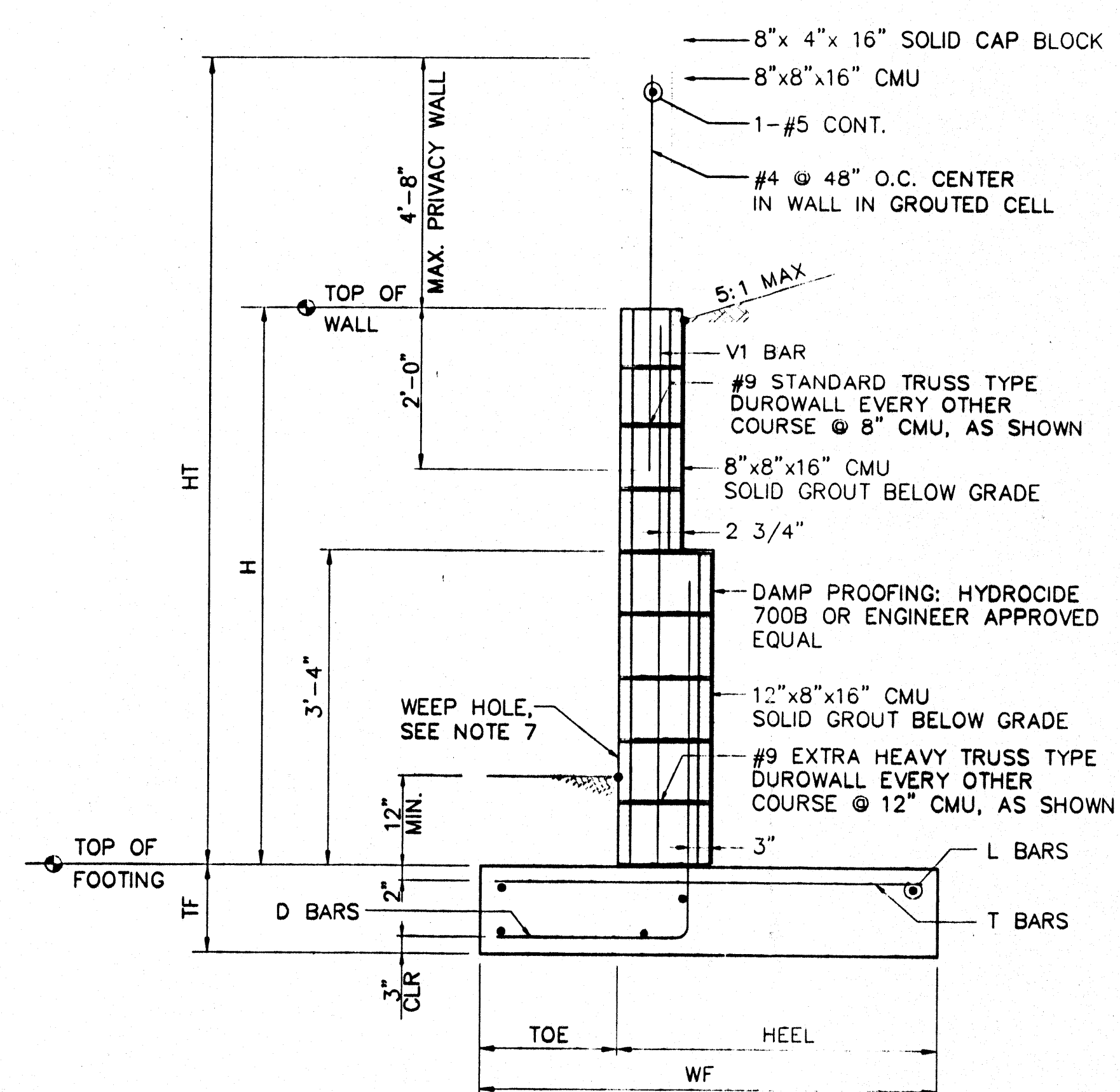
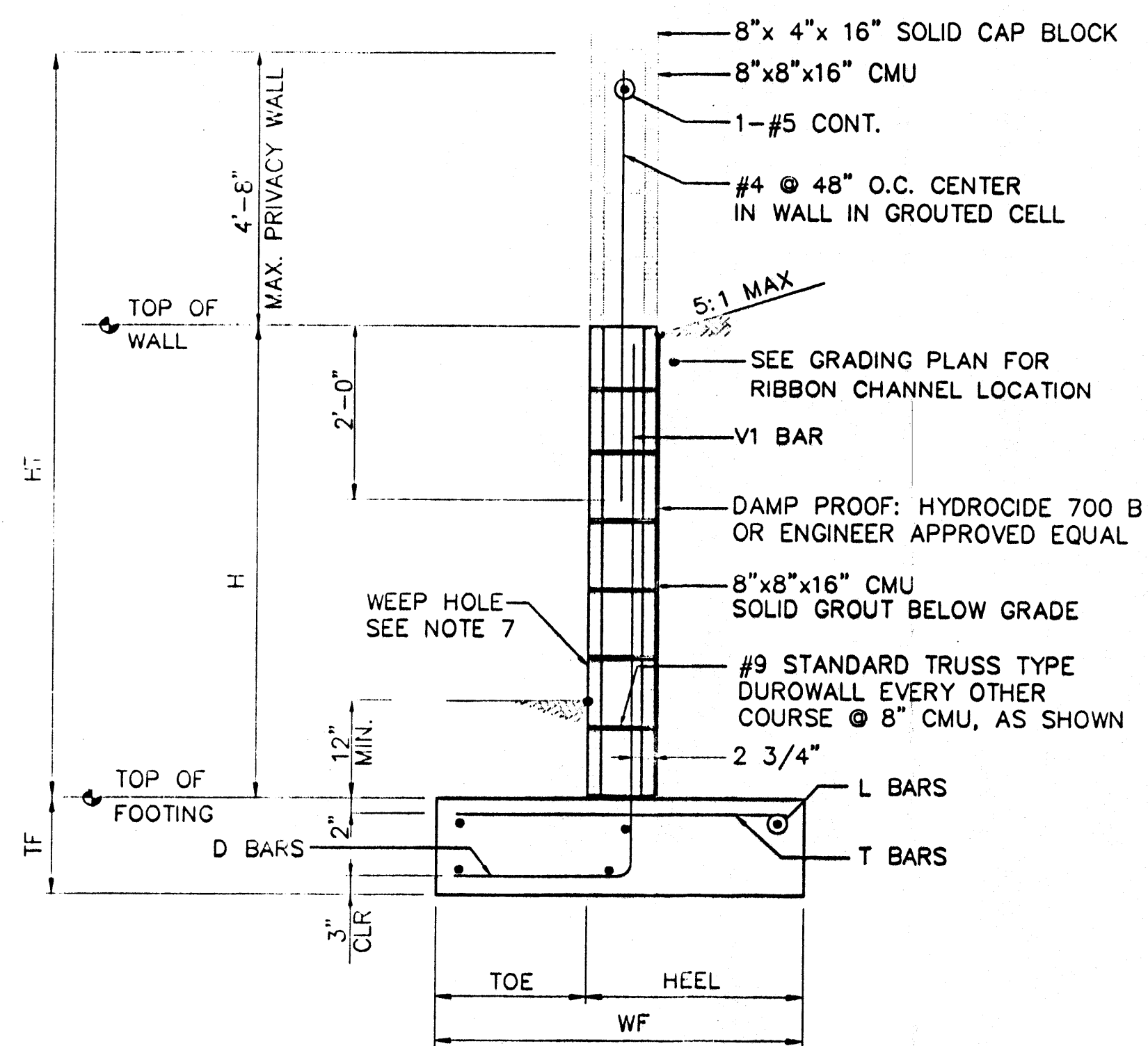
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ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**THE ENCLAVE AT OXBOW
RETAINING WALL DETAILS
(SHEET 1 OF 2)**

Design Review Committee		City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Zone Map No.	Sheet	Of	
N/A		G-11	4	6	



NOTE:
THE CONTRACTOR SHALL VERIFY THAT WEEP HOLES ARE PRESENT IN THE EXISTING CMU WALL. IF NO WEEP HOLES ARE OBSERVED, OR IF THEY ARE SPACED GREATER THAN 8'-0" ON CENTER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. IF WEEP HOLES ARE OBSERVED IN THE EXISTING CMU WALL, AT 8'-0" ON CENTER OR LESS, THE CONTRACTOR SHALL INSTALL 2" DIAMETER PVC PIPE WEEP HOLES IN THE NEW WALL AT 8'-0" ON CENTER MAXIMUM SPACING, ALIGN WITH EXISTING CMU WALL WEEP HOLE LOCATIONS. THE 2" DIAMETER PIPE SHALL BE GROUTED IN PLACE. PLACE 1 CUBIC FOOT OF 3/4" DIAMETER GRAVEL SECURELY TIED IN FILTER FABRIC BEHIND EACH WEEP HOLE, PRIOR TO PLACING BACKFILL.

REINFORCED CONCRETE LAP SPLICES—CLASS B	
BAR	LENGTH (IN)
4	22
5	28
6	32
7	38
8	50

DIMENSIONS						
WALL TYPE	HT (MAX)	H (MAX)	TF (IN)	TOE (IN)	HEEL (IN)	WF (IN)
1	8'-8"	4'-0"	12	9	23	32
2	10'-8"	6'-0"	12	12	36	48
3	12'-0"	7'-4"	12	18	36	54
4	8'-8"	4'-0"	12	-	48	48
5	-	6'-0"	NOT USED		42	42
6	-	4'-0"	12	9	15	24
7	-	6'-0"	12	12	26	38

REINFORCING								
WALL TYPE	D		V1		L		T	
	SIZE	SPACE	SIZE	SPACE	SIZE	NO. REQ'D	SIZE	SPACE
1	4	32	-	-	4	4	4	18
2	4	24	4	48	4	5	4	18
3	5	16	4	32	4	6	4	18
4	4	24	-	-	4	6	4	18
5	5	16	NOT USED				4	18
6	5	32	-	-	4	4	4	18
7	5	16	-	-	4	4	4	18

DRAINAGE CERTIFICATION

I, KEVIN G. PATTON, NMBP 13985, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE ABOVE HAS BEEN PARADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8-20-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, NMBP 9780, OF THE FIRM BURLEY-TEI I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-18-03 AND HAVING CONDUCTED A VISUAL SURVEY OF THE SURVEY AREA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

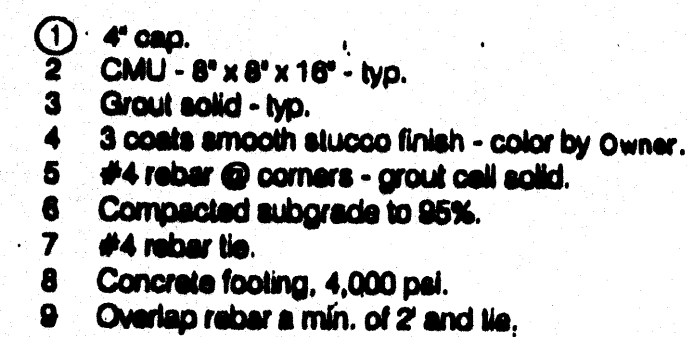
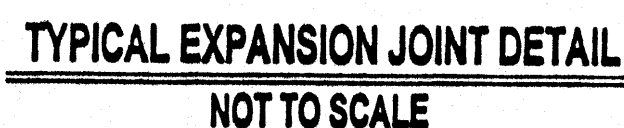
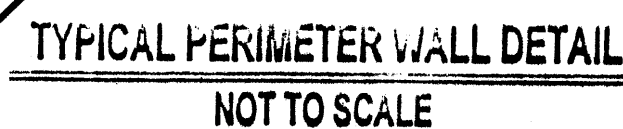
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NA
KEVIN PATTON, NMPE 13885 DATE



TYPE 4 AND 5 RETAINING WALLS
NO SCALE

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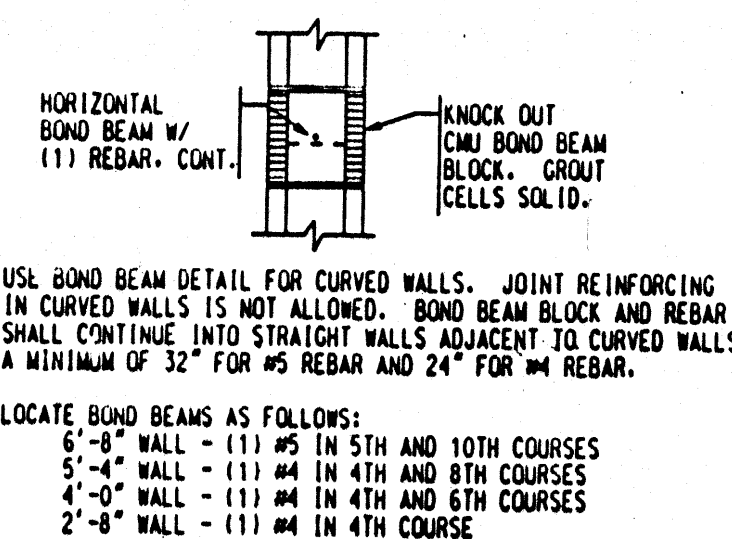


GENERAL NOT REINFORCED RETAINING WALL CONSTRUCTION

1. PERKINCE WALL FOOTINGS SHOULD BE EMBEDDED A MINIMUM OF EIGHTEEN INCHES (18") BELOW LOWEST ADJACENT GRADE. PRIOR TO PLACING FOOTINGS, THE EXPOSED SOILS SHOULD BE SCARIFIED TO A DEPTH OF EIGHT INCHES (8"). MOISTURE CONDITION TO A NEAR OPTIMUM (1/2- 3/4) MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM 1. SEE SOILS REPORT BY GEOTECH INC. FILE # 1-70906 FOR OXBOW SUBMITTAL PLAN

SLOPES OF ~~AND~~ FROM WALLS SHOULD NOT EXCEED 3:1

3. VERTICAL REINFORCING JOINTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 20" ON CENTER.
4. MINIMUM LAP LENGTH ON REINFORCING BARS SHALL BE 30 BAR DIAMETERS OR 1'-4" MINIMUM. REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE TABLES MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE DETAIL.
5. CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 24. LOW LIFT GROUTING METHOD ONLY.
6. OMISSION OF A VERTICAL MORTAR JOINT ON FIRST COURSE AT 48" O.C. SHALL BE USED FOR WEEP HOLES.



BOND BEAM DETAIL
NOT TO SCALE



DRAINAGE CERTIFICATION

I, KEVIN G. PATTON, NMPE 13885, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-02. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY RUSTY HUGG, NMPS 9780, OF THE FIRM BUR-YET. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4-10-03 AND THE INFORMATION BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

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NA
KEVIN PATTON, NMPE 13885 DATE



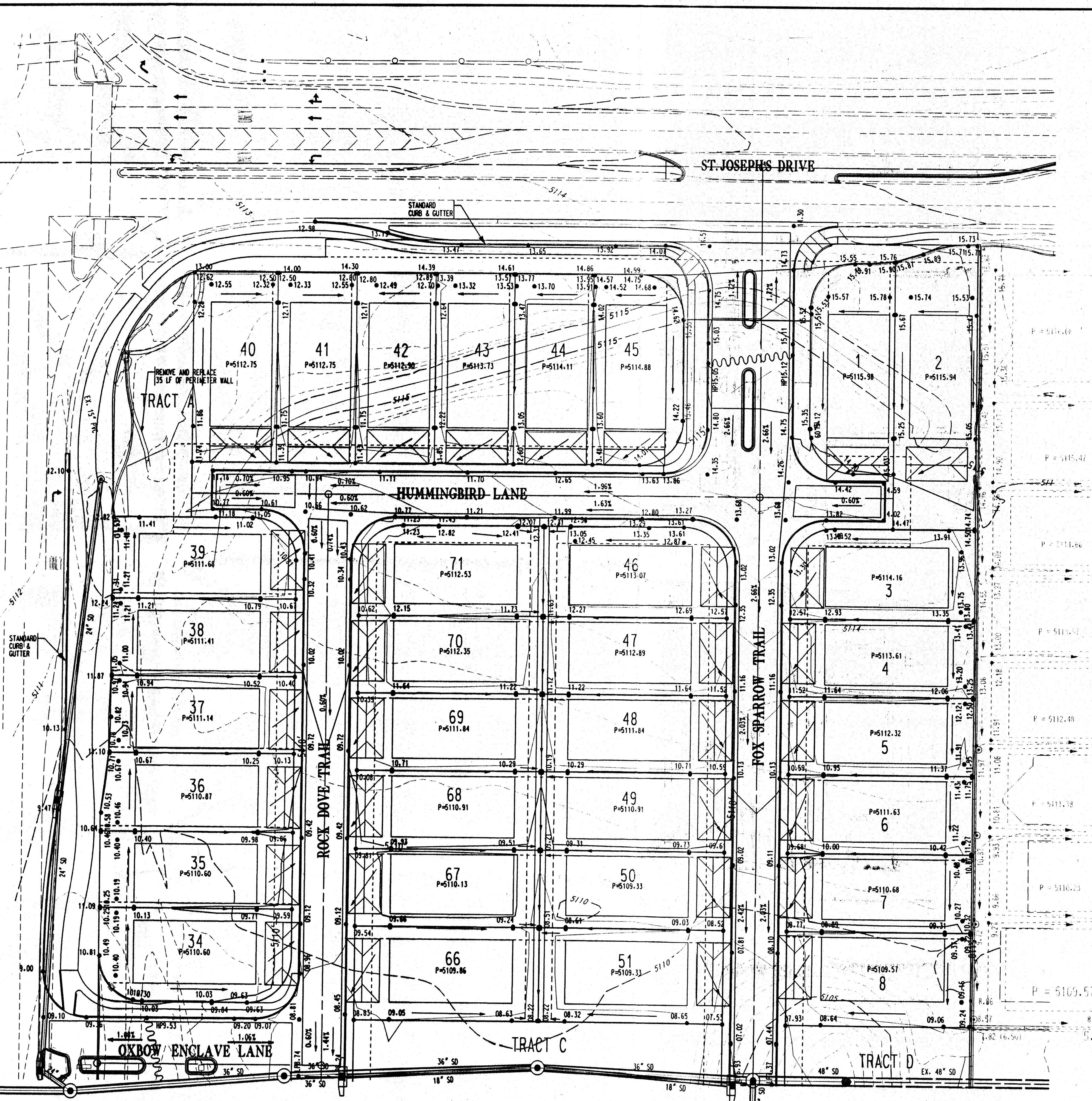
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PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

THE ENCLAVE AT OXBOW
PERIMETER WALL DETAILS

DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET	OF	
		G-11	6	6	



1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND EQUIVALENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY SIED-TEST, INC., DATED OCTOBER, 1997. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR-SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.
9. THE CONTRACTOR IS TO ENSURE THAT NO SOIL AND/OR DEBRIS FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 2 AND WEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
10. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND SUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
11. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS, PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATIONS.
12. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
13. ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.

DATE _____

 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

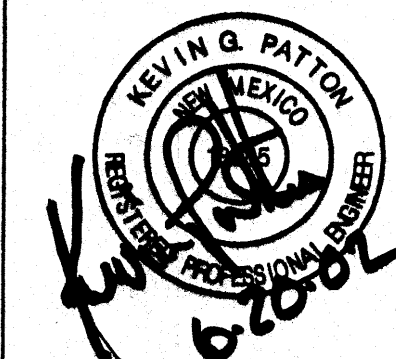
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

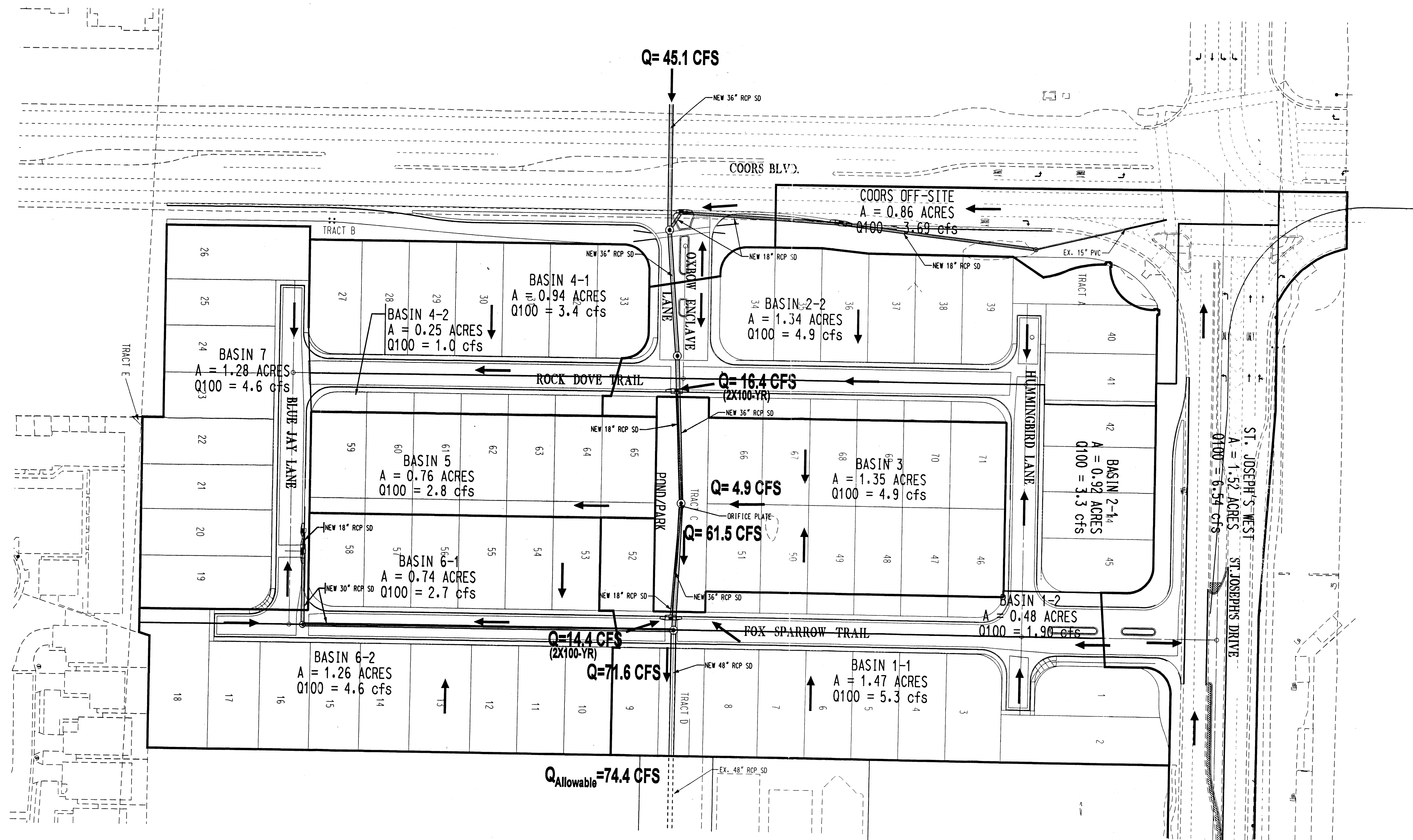
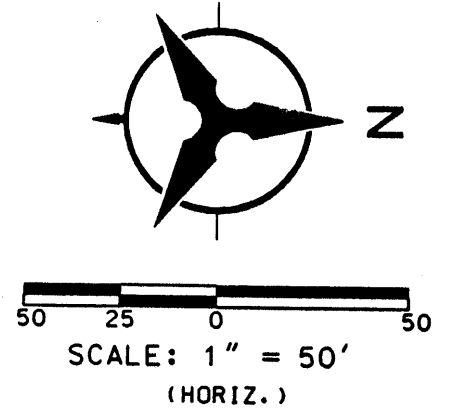
ENCLAVE AT OXBOW SUBDIVISION
GRADING PLAN

[illegible]

CITY PROJECT NO.	ZONE MAP NO. G-11	SHEET 1	OF 3
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SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	FIELD NOTES		ACS BRASS TABLET STAMPED "JOSEPH"	CONTRACTOR	DATE
	BY	DATE			
			GEOGRAPHIC POSITION (NAD 1927)	WORKED BY	
			N.M. STATE PLANE COORDINATES	SURVEYOR'S ACCEPTANCE BY	DATE
			(CENTRAL ZONE) X=366.686.82	FIELD LOCATION BY	DATE
			Y=1,502,246.75	DRAWINGS CORRECTED BY	DATE
			GROUND-TO-GRID FACTOR = 0.99967551	MICRO-FILM INFORMATION	
			DELTA ALPHA=00°15'24"	RECORDED BY	DATE
			NOVD 1929 ELEVATION = 5113.852'	NO.	

[illegible]



NOTE: THE PEAK FLOW RATE IS MITIGATED BY THE SURGE POND ON-SITE AND THE DELAYED PEAK FROM OFF-SITE BASINS.

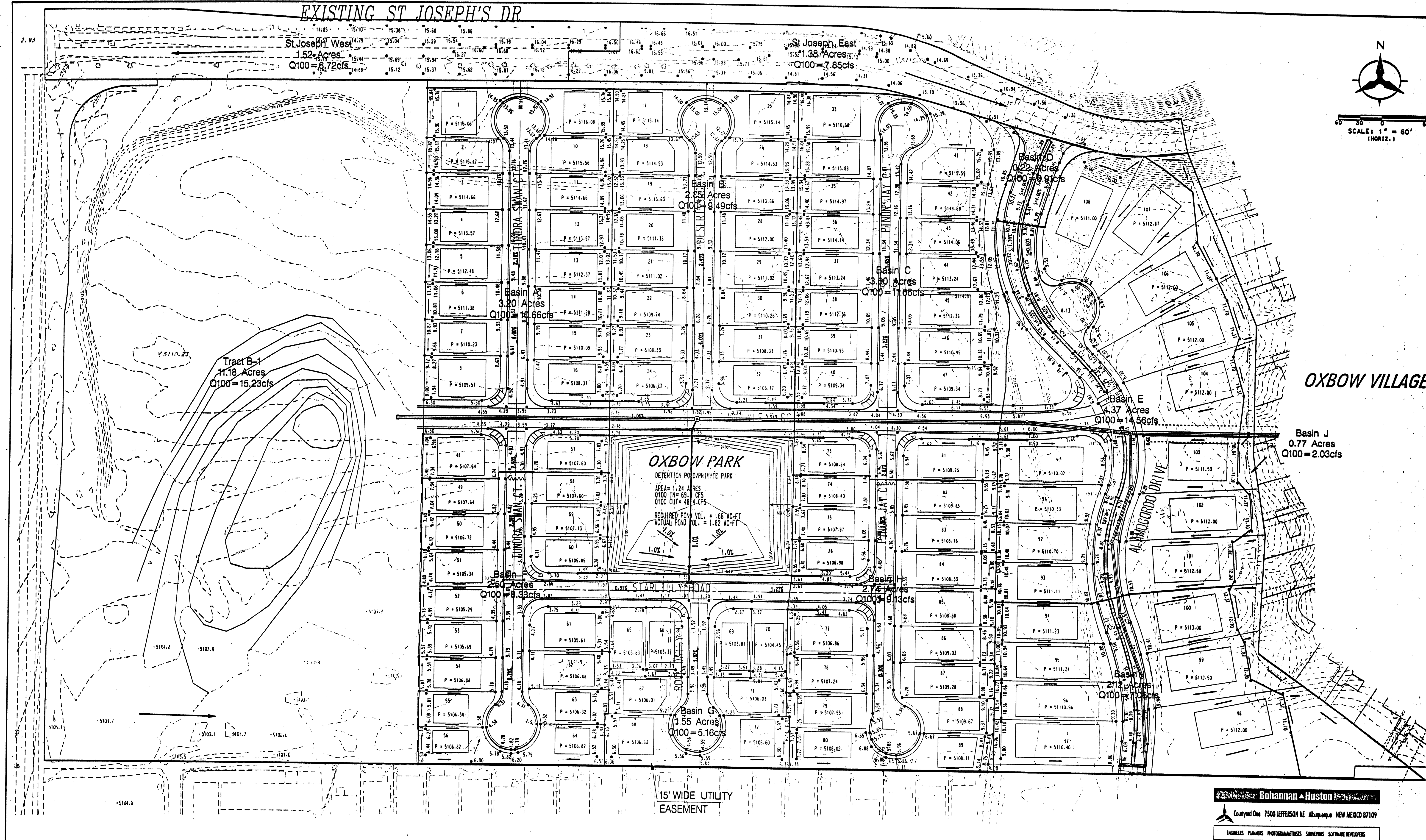
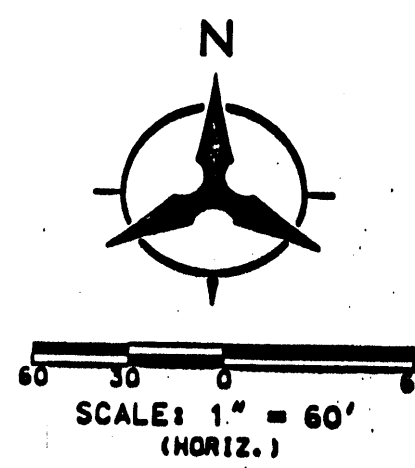
OXBOW PARK SUBDIVISION

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EXHIBIT 5 THE ENCLAVE AT OXBOW PROPOSED CONDITIONS BASIN MAP

20-1048-0002
 P:\020199\020199BAS\H01.dgn
 11/13/02
 11/13/02

EXISTING ST JOSEPH'S DR



PARK RIDGE SUBDIVISION

Bohannon & Huston
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OXBOW PARK SUBDIVISION BASIN MAP

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 DATE: JUNE, 1999.

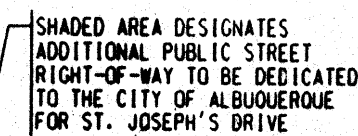
1. EXISTING ZONING:	SU-3
PROPOSED ZONING:	SU-3
2. TOTAL ACREAGE:	11.2316 ACRES
NET ACREAGE:	11.1024 ACRES
TRACT A	0.1222 ACRES
TRACT B	0.0708 ACRES
TRACT C	0.2410 ACRES
TRACT D	0.1206 ACRES
TRACT E	0.0011 ACRES
TRACT F (PRIVATE STREETS)	2.0978 ACRES

3. TOTAL NUMBER OF LOTS/TRACTS: 71 LOTS
6 TRACTS
PROPOSED DENSITY: 6.30 D.O./AC.
4. THIS PRELIMINARY PLAT CONFORMS TO THE EPC APPROVED SITE PLAN FOR SUBDIVISION CASE #2-97-103 AND THE REQUIRED CONDITIONS.
5. ALL LOTS ARE TO BE P-1 AND SHALL CONFORM TO INTERMITTENT PARKING DESIGN CRITERIA.
6. TRACT F (2.0978 Acres) IS SUBJECT TO A PUBLIC SANITARY SEWER, WATER, SUBSURFACE STORM DRAIN EASEMENT TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.
7. TRACT F IS ALSO SUBJECT TO A PRIVATE ACCESS AND SURFACE DRAINAGE EASEMENT TO SERVE LOTS 1 THRU 71 IN THE ENCLAVE AT OXBOW SUBDIVISION. TRACT F (2.0978 Acres) IS TO BE RESERVED FOR AND GRANTED TO THE ENCLAVE AT OXBOW HOMEOWNERS ASSOCIATION AND ITS ASSIGNS BY SEPARATE DOCUMENT.
8. ALL INTERIOR STREETS (TRACT F) ARE PRIVATE AND TO BE MAINTAINED BY THE ENCLAVE AT OXBOW HOMEOWNERS ASSOCIATION.
9. THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.
10. TRACTS A, C & D ARE TO BE RESERVED FOR AND GRANTED TO THE OXBOW HOMEOWNERS ASSOCIATION AND ITS ASSIGNS BY SEPARATE DOCUMENT.
11. TRACT C IS SUBJECT TO A BLANKET PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT.
12. TRACT D IS SUBJECT TO A BLANKET PUBLIC WATER, SANITARY SEWER, AND STORM DRAIN EASEMENT.
13. TRACT B IS TO BE DEDICATED TO THE CITY OF ALBUQUERQUE AS NON-VEHICULAR RIGHT-OF-WAY.
14. IT IS ANTICIPATED THAT TRACT E WILL BE OBTAINED BY SEPARATE DEED TO THE ADJACENT PROPERTY OWNER TO THE SOUTH.

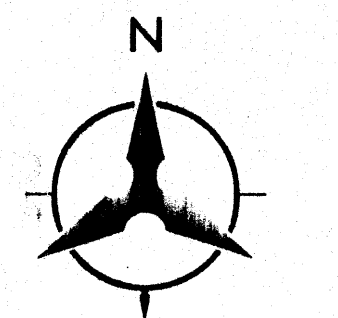
JAMES W. ROGERS, VICE PRESIDENT,
ALTURA WEST LTD. CO.

1. UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (●) WILL BE MARKED BY FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB. P.L.S. 6544".
3. THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

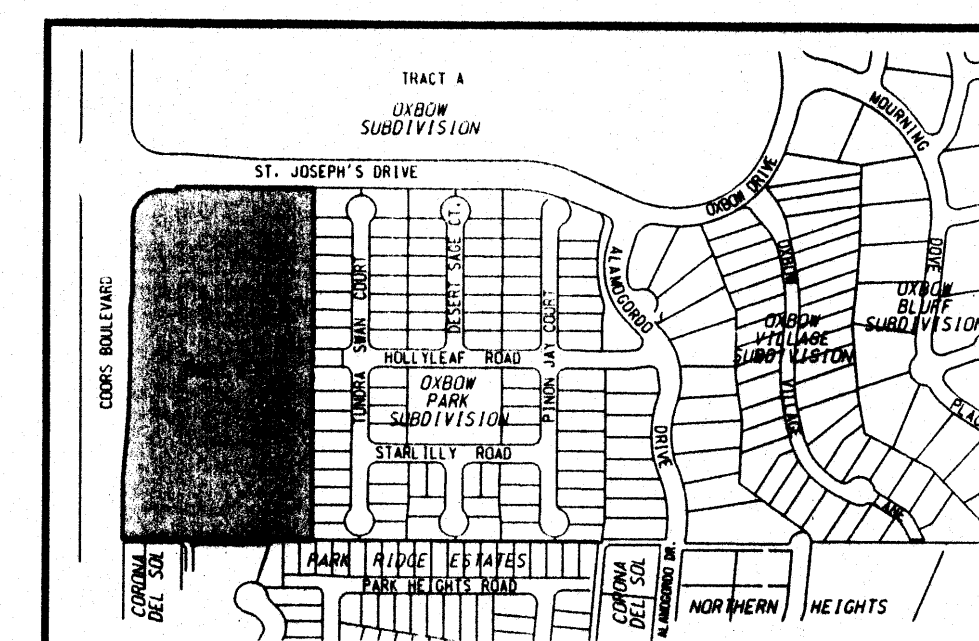
CITY SURVEYOR DATE



NGS BRASS TABLET STAMPED "JOSEPH 1969"
GEOGRAPHIC POSITION (MAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE
X = 366.686.82 Y = 1,502,246.75
GROUND TO GRID FACTOR = 0.99967551
DELTA ALPHA = -00°15'24"
ELEVATION = 5113.852



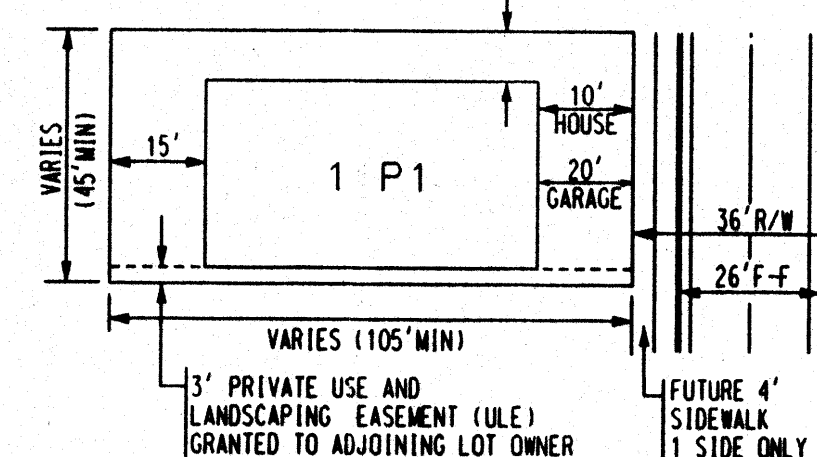
SCALE: 1" = 60'
(HORIZ.)



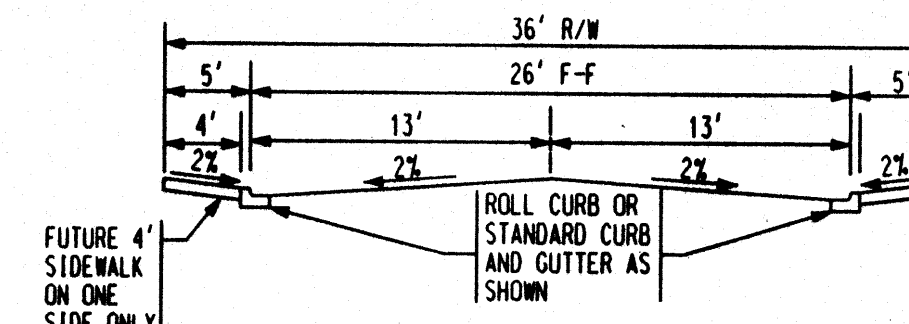
ZONE ATLAS MAP NO. G-11
NOT TO SCALE

CURVE DATA							
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG	
C1	01°46'57"	43.35'	86.70'	2786.79'	86.69'	N04°24'50"	
C2	05°08'08"	131.97'	263.77'	2942.79'	263.68'	N02°44'15"	
C3	10°21'18"	27.82'	55.48'	307.00'	55.41'	N05°20'51"	
C4	90°00'52"	82.02'	128.83'	82.00'	115.98'	N45°10'41"	

TANGENT DATA		
ID	BEARING	DISTANCE
T1	S18°19'25"W	10.52
T2	S45°10'50"W	14.14
T3	N00°10'50"E	20.00
T4	S89°48'50"E	37.83
T5	S00°10'50"E	20.00



TYPICAL LOT DETAIL
NOT TO SCALE



TYPICAL PRIVATE STREET SECTION
NOT TO SCALE

ALBUQUERQUE, NEW MEXICO
JUNE, 2002

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

BHI JOB NO. 020199 001

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