

# CITY OF ALBUQUERQUE

Planning Department  
Suzanne Lubar, Director



Mayor Richard J. Berry

December 7, 2016

Fred C. Arfman, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re:**

**Tucson Rd Retail Shops  
3600 Coors Blvd. NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 3-1-16 (G11D031)  
Certification dated: 12-6-16**

PO Box 1293

Albuquerque

Dear Mr. Arfman,

New Mexico 87103

Based upon the information provided in your submittal received 12/6/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.,  
Principal Engineer, Planning Department  
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

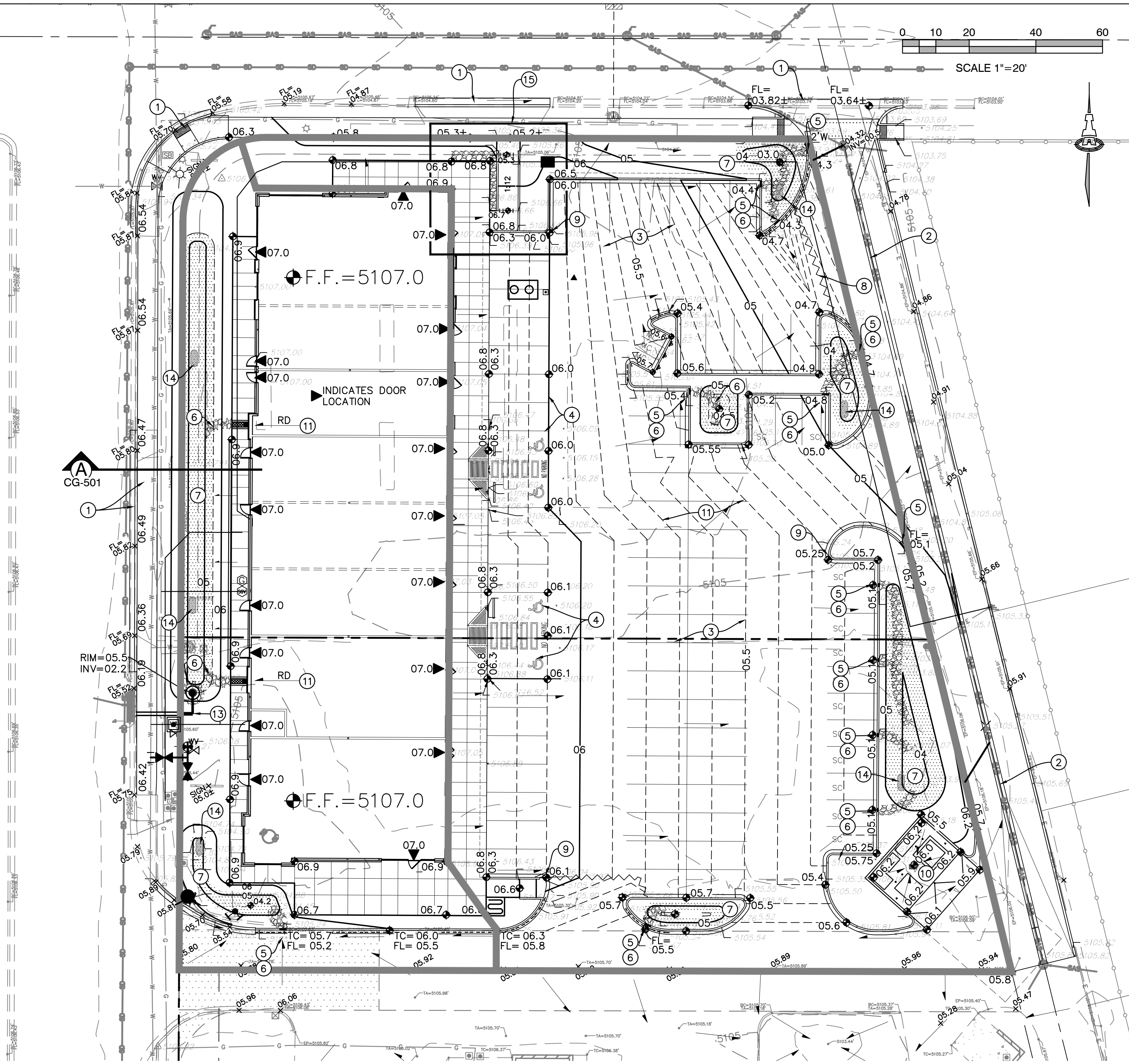
DRAINAGE CERTIFICATION

I, GENEVIEVE L. DONART, NMPE 15088, OF THE FIRM ISAACSON & ARFMAN, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 03/01/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER, NMPS #14271 OF THE FIRM CARTESIAN SURVEYS, INC.. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/06/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



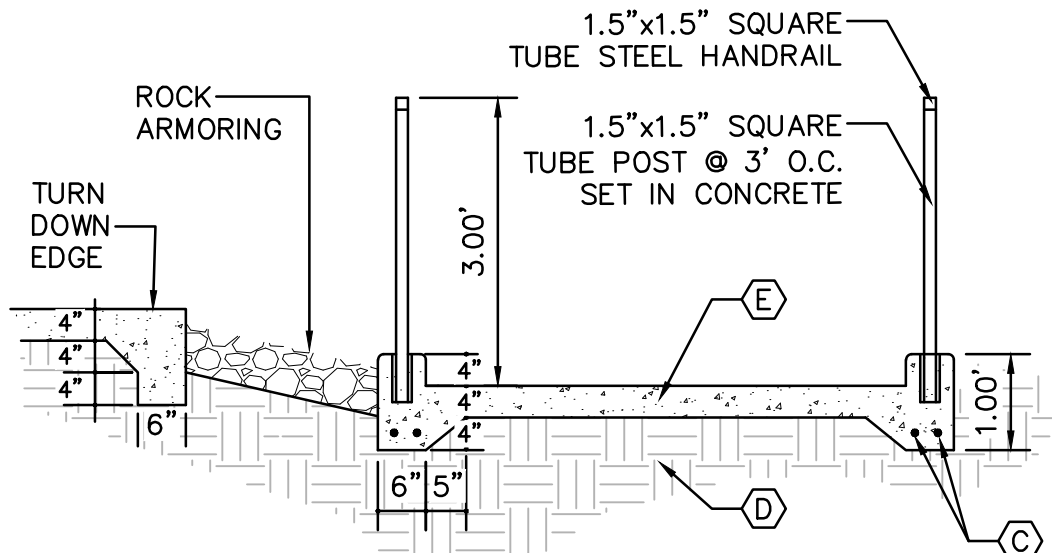
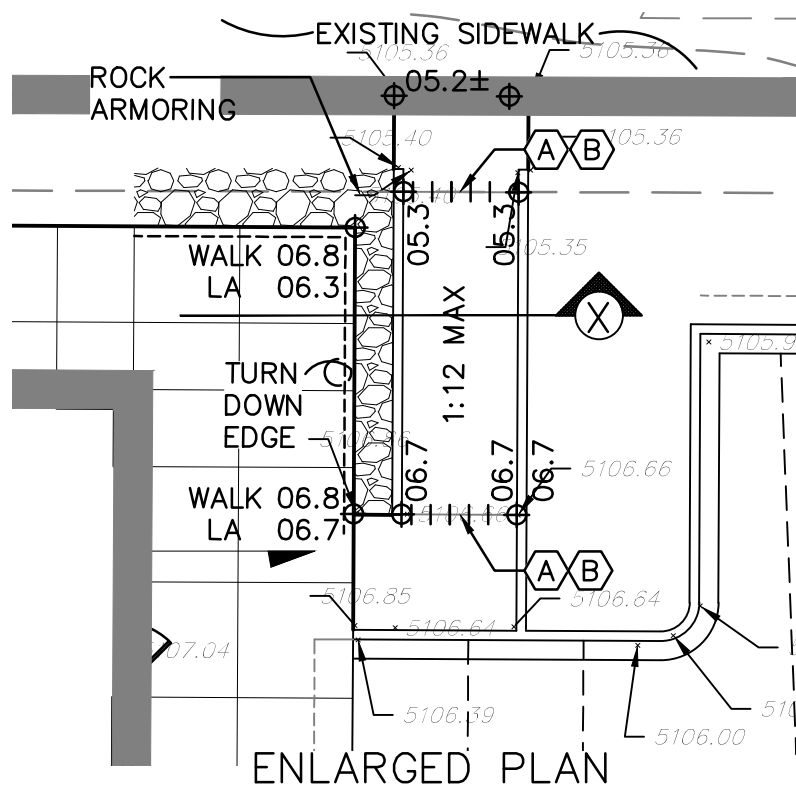
Genevieve L. Donart  
GENEVIEVE L. DONART  
12/06/16



KEYED NOTES

- EXPANSION JOINT
- #4 SMOOTH DOWEL @ 12" O.C.
- #4 REBAR CONTINUOUS
- 95% COMPACTED SUBGRADE
- 3000 PSI CONCRETE
- GROUT VERTICAL PIPE INTO 6" RECESSED PIPE SLEEVE WITH NON-SHRINK GROUT.

PEDESTRIAN ACCESS RAMP



WELD AND GRIND SMOOTH ALL JOINTS, PRIME PIPE COMPLETELY WITH RED OXIDE PRIMER AND FINISH WITH TWO COATS OF EXTERIOR FLAT LATEX PAINT (COLOR TO MATCH COLOR OF METAL FEATURES ON BUILDING).

SCALE: N.T.S.

KEYED NOTES

- CONSTRUCTION WITHIN THE PUBLIC R.O.W. INCLUDING SITE ENTRANCE DRIVE, CONCRETE CURB & GUTTER, PUBLIC SIDEWALK, AND HANDICAP RAMPS SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER. GRADES WITHIN THESE AREAS SHOWN ARE FOR GENERAL INFORMATION.
- CONSTRUCTION WITHIN THE PUBLIC ALLEY INCLUDING REMOVE / REPLACE ASPHALT PAVEMENT AND NEW CONCRETE ALLEY GUTTER SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER.
- PROPOSED PAVING. SEE PAVING PLAN (CP-101) FOR PAVEMENT MATERIAL, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- CONSTRUCT HC PARKING AREA TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
- PROVIDE 18" WIDE CURB OPENING AT FLOWLINE SHOWN TO PASS DISCHARGE INTO AND OUT OF 'FIRST FLUSH' RETENTION PONDING AREAS. SEE DETAIL SHEET CG-501.
- INSTALL ROCK EROSION PROTECTION AT CURB OPENING INLET / OUTLET AND WITHIN FLOWLINES CARRYING CONCENTRATED FLOW (3' WIDE) LIMITS HATCHED PER LEGEND. SEE DETAIL SHEET CG-501.
- DOT HATCHED AREA REPRESENTS EXTENTS OF 'FIRST FLUSH' RETENTION PONDING. CONSTRUCT TO ELEVATIONS SHOWN.
- GRADE BREAK.
- NOTE: TO ENSURE READABILITY, NOT ALL PAVEMENT SPOT ELEVATIONS SHOW ADJACENT TOP OF CURB / TOP OF WALK. TEXT SHOWN WITHIN FLOWLINE REPRESENTS FLOWLINE ELEVATION. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS.
- CONSTRUCT NEW CONCRETE DUMPSTER PAD AND ENCLOSURE AT ELEVATIONS SHOWN. SEE UTILITY PLAN FOR SAS INLET TO DRAIN ENCLOSURE.
- CONSTRUCT 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT TO PASS ROOF STORMWATER DISCHARGE (2 LOCATIONS) TO WEST FIRST FLUSH RETENTION POND. SEE DETAIL SHEET CG-501.
- 0.1' CONTOURS ARE PROVIDED TO CLARIFY GRADING DRAINAGE INTENT. TYPICAL.
- INSTALL 12" DIA. ADS INLINE DRAIN WITH LOCKING DOMED GRATE AND 12" OUTLET PIPE AT RIM / INVERT ELEVATION SHOWN TO CAPTURE FLOW IN EXCESS OF FIRST FLUSH RETENTION. EXTEND ADS N-12 12" STORM DRAIN PIPE AND CONNECT, USING WATERTIGHT FITTINGS, TO STORM DRAIN STUB INSTALLED AS PART OF NMDOT COORS BLVD. CONSTRUCTION IMPROVEMENTS.
- CONSTRUCT PERCOLATION TRENCH THIS AREA. SEE CG-501 FOR DETAIL.
- SEE ENLARGEMENT AND RAMP DETAILS THIS SHEET

CONSTRUCTION STAKING / LAYOUT

TO FACILITATE ACCURACY IN CONSTRUCTION STAKING, UPON WRITTEN REQUEST FROM THE CONTRACTOR, A FILE CONTAINING THE ELECTRONIC DATA COMPRISING THE SITE DEVELOPMENT DRAWINGS WILL BE FORWARDED TO THE LICENSED LAND SURVEYOR TO PERFORM CONSTRUCTION STAKING FOR GRADING AND UTILITIES.

SEPARATE APPROVAL FROM THE PROJECT ARCHITECT TO USE ELECTRONIC DATA TO PERFORM CONSTRUCTION STAKING FOR BUILDING AND PAVING WILL BE REQUIRED.

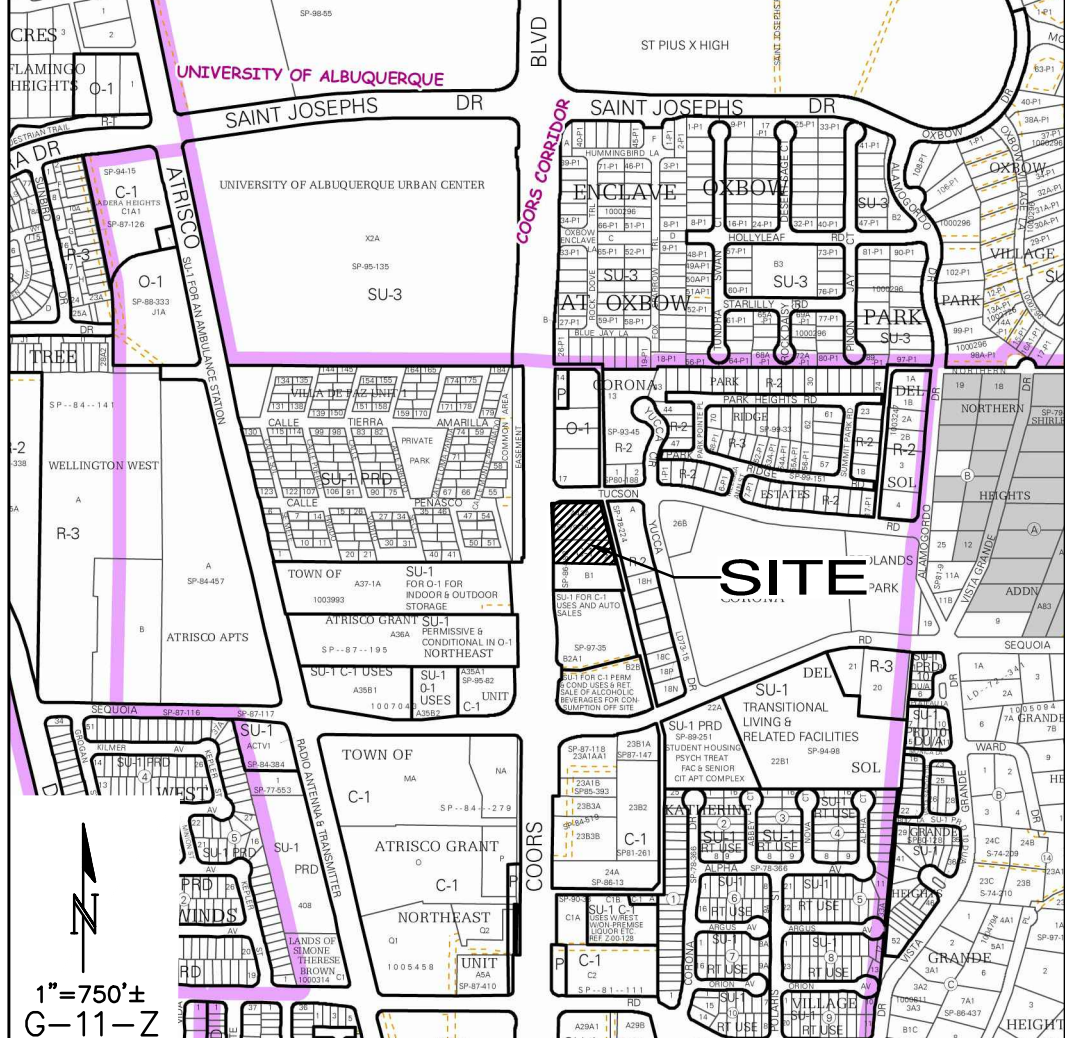
ALL SITE CONSTRUCTION LAYOUT MUST BE PERFORMED BY A LICENSED SURVEYOR USING ELECTRONIC DATA PROVIDED IN AUTOCAD DWG (CURRENT VERSION) BY ISAACSON & ARFMAN, P.A. CONTACT PROJECT CIVIL ENGINEER AT (505)-268-8842

IN ORDER TO MAINTAIN THE INTEGRITY OF HORIZONTAL AND VERTICAL CONTROL FOR THE SITE, THE SURVEYOR EMPLOYED BY THE CONTRACTOR TO PERFORM CONSTRUCTION LAYOUT STAKING SHALL SET AND PROTECT ADDITIONAL TRAVERSE POINTS OUTSIDE THE AREAS OF CONSTRUCTION ACTIVITY.

LEGEND

- |  |   |
|--|---|
|  | EXISTING SPOT ELEVATION                     |
|  | EXISTING CONTOUR                            |
|  | PROPOSED CONTOUR (1' INCREMENT)             |
|  | PROPOSED CONTOUR (0.1' INCREMENT)           |
|  | PROPOSED SPOT ELEVATION                     |
|  | FLOW ARROW                                  |
|  | FINISH FLOOR ELEVATION                      |
|  | PROPOSED GRADE BREAK                        |
|  | PROPOSED FIRST FLUSH RETENTION PONDING AREA |
|  | PERCOLATION TRENCH                          |
|  | LIMITS OF EROSION CONTROL                   |

VICINITY MAP



PROJECT DATA

PROPERTY: THE SITE IS A FULLY DEVELOPED COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP G-11. THE SITE IS BOUND TO THE EAST BY A PUBLIC ALLEY, TO THE WEST BY COORS BLVD. NW, TO THE NORTH BY TUSCON ROAD NW AND TO THE SOUTH BY FULLY DEVELOPED COMMERCIAL PROPERTIES.

SITE AREA: 1.25 ACRES

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE DEMOLITION OF THE EXISTING BUILDINGS / SITE AND NEW CONSTRUCTION TO INCLUDE A MULTI-UNIT RETAIL BUILDING, PAVED PARKING, PEDESTRIAN WALKS, DRAINAGE IMPROVEMENTS, AND LANDSCAPING.

LEGAL: TRACT 'A', TOWN OF ATRISCO GRANT, NORTHEAST UNIT, CITY OF ALBUQUERQUE, NEW MEXICO.

BENCHMARK: ACS MONUMENT "8-G11" ELEV. 5116.009 NAVD 1988

OFF-SITE: NO OFF-SITE DRAINAGE WILL IMPACT THIS PROPERTY.

FLOOD HAZARD: PROPERTY IS LOCATED WITHIN ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN. ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 3500100327H, EFFECTIVE DATE AUGUST 16, 2012.

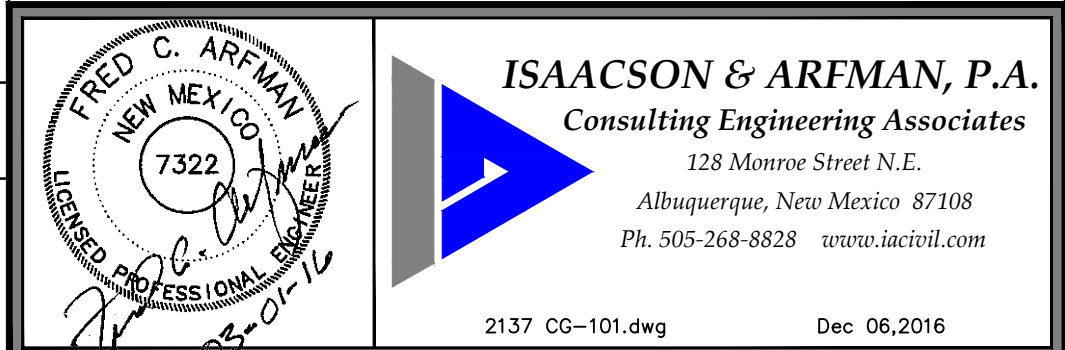
DRAINAGE PLAN CONCEPT: THIS SITE IS AN INFILL PROPERTY LOCATED IN A FULLY DEVELOPED PART OF THE CITY. THE PROPERTY WILL CONTINUE TO FREE DISCHARGE TO THE PUBLIC STREETS AND STORM DRAIN SYSTEM AFTER FIRST FLUSH RETENTION IS ACHIEVED.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM.

FIRST FLUSH RETENTION PONDS WILL BE CONSTRUCTED WITHIN THE LANDSCAPE AREA WEST OF THE BUILDING AND WITHIN PARKING ISLANDS AS DESIGNATED BY DOT HATCH. STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE PONDS. STORMWATER WILL THEN FREE DISCHARGE TO COORS BLVD. AND TUSCON AVE. (VIA THE PUBLIC ALLEY.) THERE WILL BE NO SIGNIFICANT CHANGE TO THE 100-YEAR, 6-HOUR DISCHARGE RATE.

ENGINEER: FRED C. ARFMAN, NMPE 7322  
ISAACSON & ARFMAN, P.A.  
128 MONROE NE, 87111  
TELEPHONE: (505) 268-8828

SURVEYOR: WILL W. PLOTNER JR., NMPS 14271  
CARTESIAN SURVEYS INC.  
PO BOX 44414, RIO RANCHO, NM 87174  
TELEPHONE: (505) 896-3050



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COORS BLVD - TUCSON RD  
RETAIL SHOPS  
COORS TUCSON LLC

GRADING & DRAINAGE PLAN

|                   |               |       |              |
|-------------------|---------------|-------|--------------|
| Date: 04-06-16    | No. Revision: | Date: | Job No. 2137 |
| Drawn By: BJB/DEC |               |       | CG-101       |
| Ckd By: FCA       |               |       | SH. OF       |