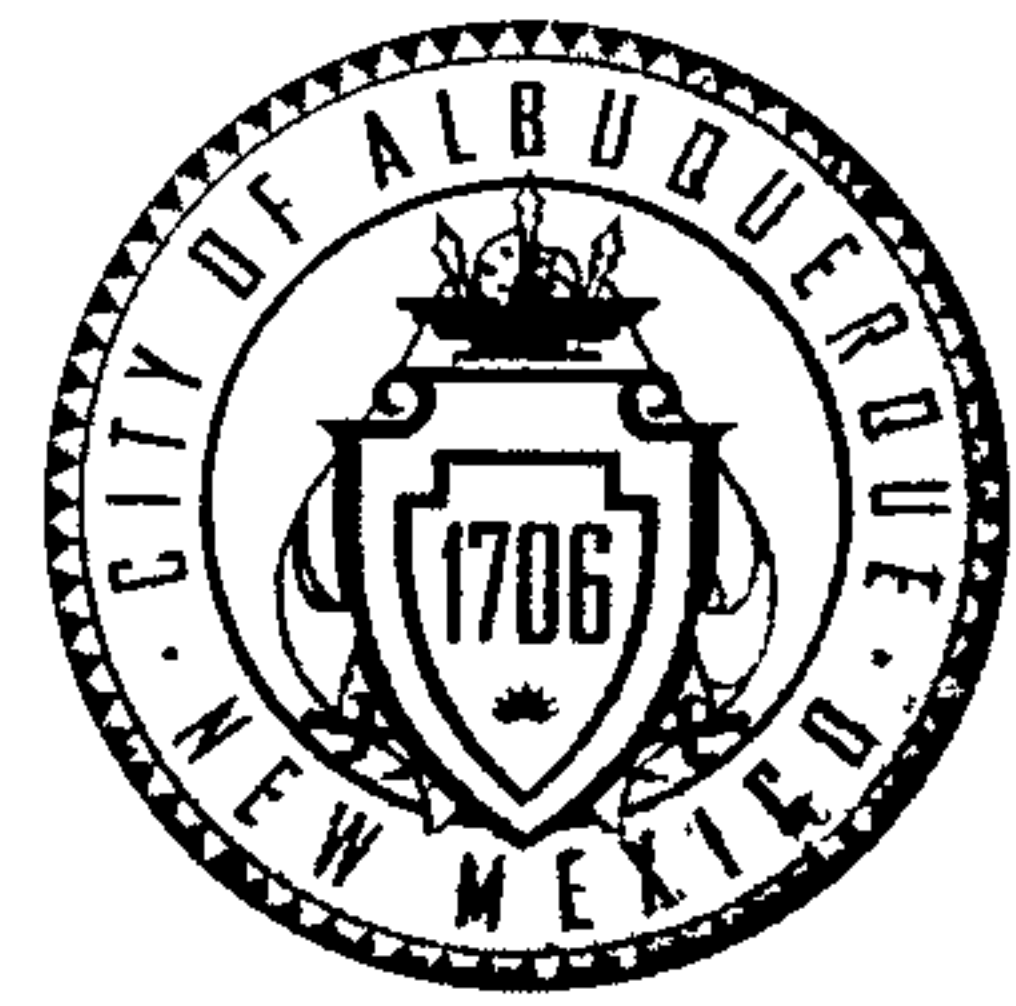


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

December 7, 2016

Fred C. Arfman, P.E.
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

Re:

**Tucson Rd Retail Shops
3600 Coors Blvd. NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 3-1-16 (G11D031)
Certification dated: 12-6-16**

PO Box 1293

Albuquerque

Dear Mr. Arfman,

Based upon the information provided in your submittal received 12/6/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3686 or Totten Elliott at 924-3982.

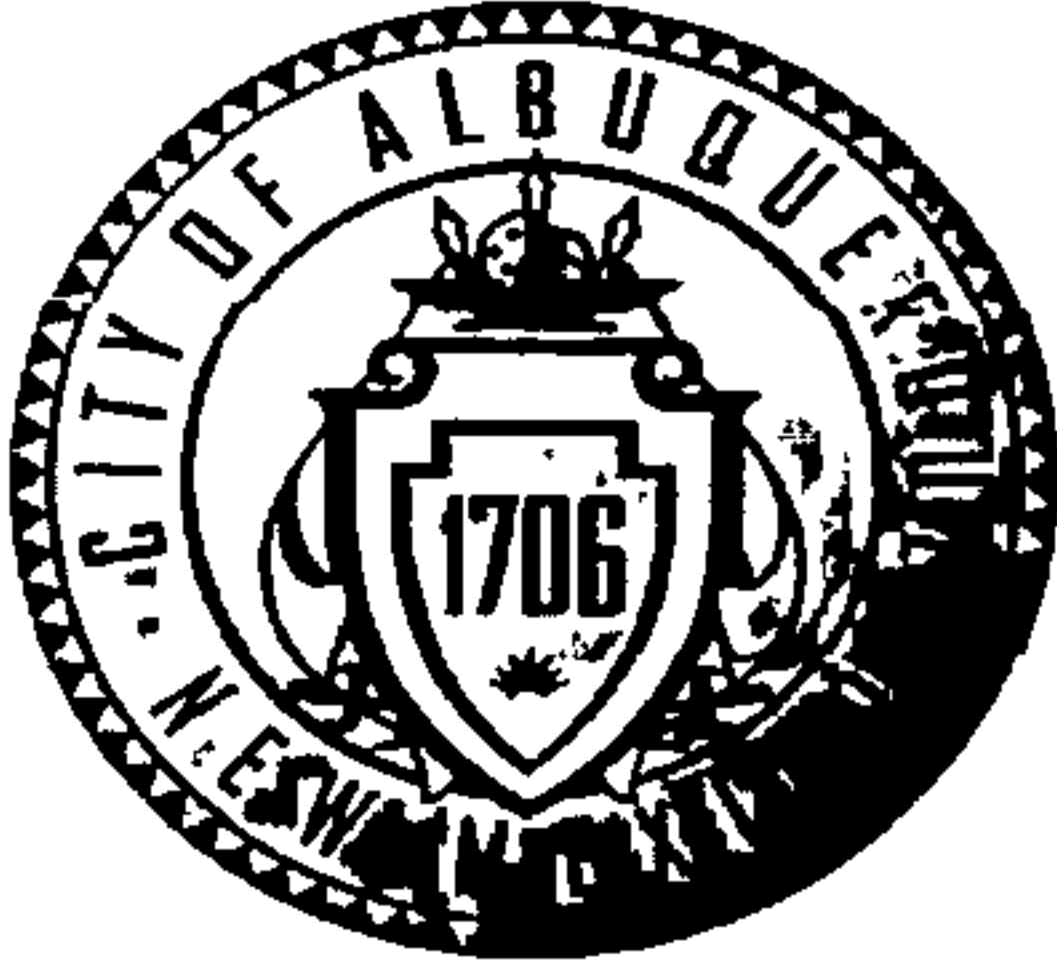
www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit # City Drainage # G11/D031

DRB#: EPC#: Work Order#:

Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit

City Address: ~~3645 YUCCA DR. NW~~ 3600 COORS

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: E-mail: gennyd@iacivil.com

Owner: Coors Tucson, LLC Contact:

Address:

Phone#: Fax#: E-mail:

Architect: Contact:

Address:

Phone#: Fax#: E-mail:

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner

Address: P.O. Box 44414 - Rio Rancho, NM 87174

Phone#: (505) 896-3050 Fax#: E-mail:

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY)

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

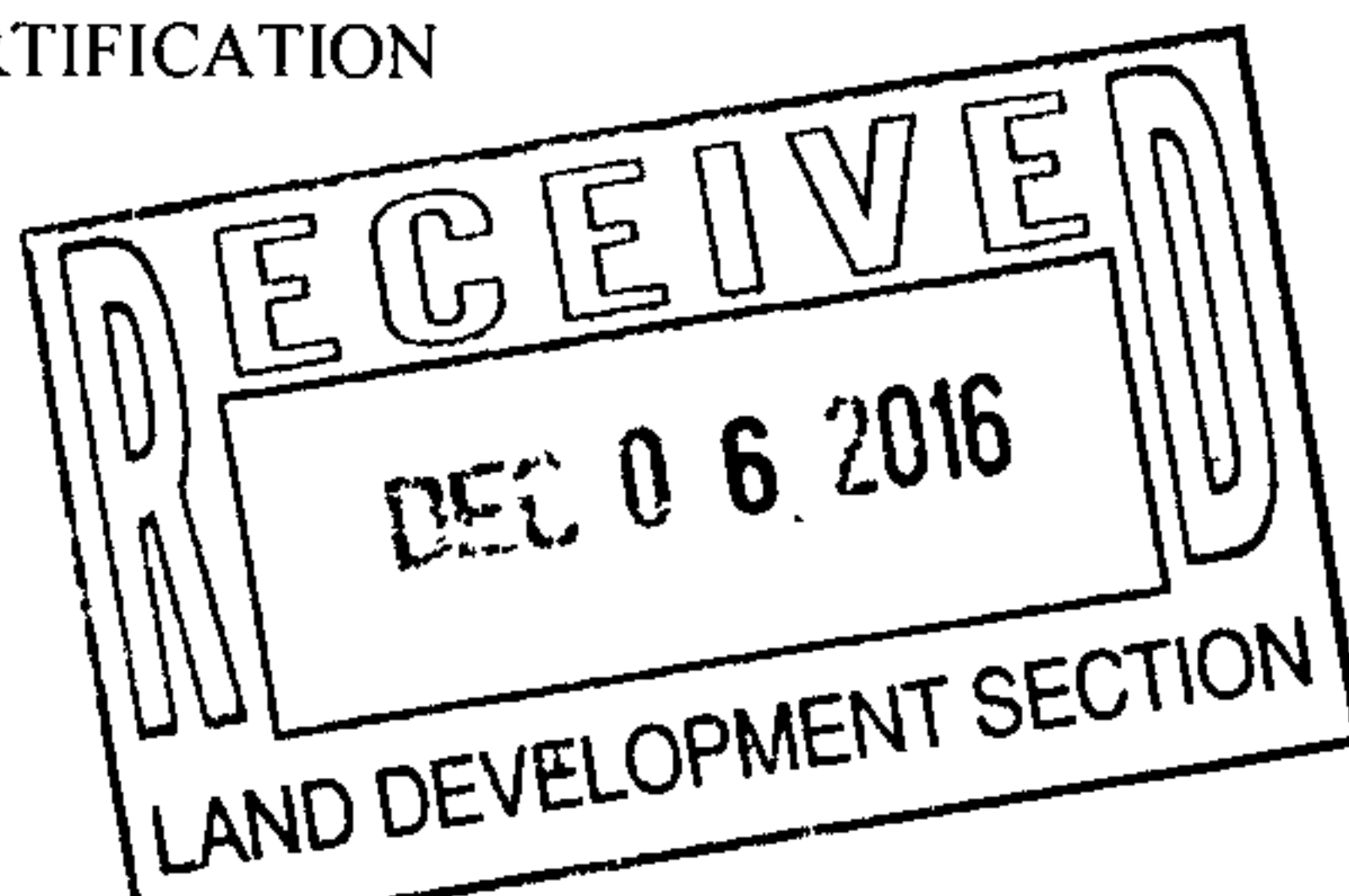
DATE SUBMITTED: December 6, 2016 By Genny Donart

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
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☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY)



COA STAFF ELECTRONIC SUBMITTAL RECEIVED ☐

CITY OF ALBUQUERQUE



March 16, 2016

Richard J. Berry, Mayor

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM, 87108

**RE: Coors and Tucson Retail Shops
Grading and Drainage Plan
Engineer's Stamp Date 3-1-16 (File: G11D031)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 11-16-15, the above referenced submittal is approved for Building Permit (a separate Grading Permit is not needed) with the following conditions:

- Correspondence from NMDOT granting approval for the improvements on Coors Blvd is provided when requesting approval from Hydrology for Certificate of Occupancy.
- Prior to any earthwork, approval of your ESC Plan must be completed (the latest submittal dated 2-24-16 was not yet approved).

PO Box 1293

Albuquerque

Please attach a copy of this approved plan in the construction sets when submitting for a building permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

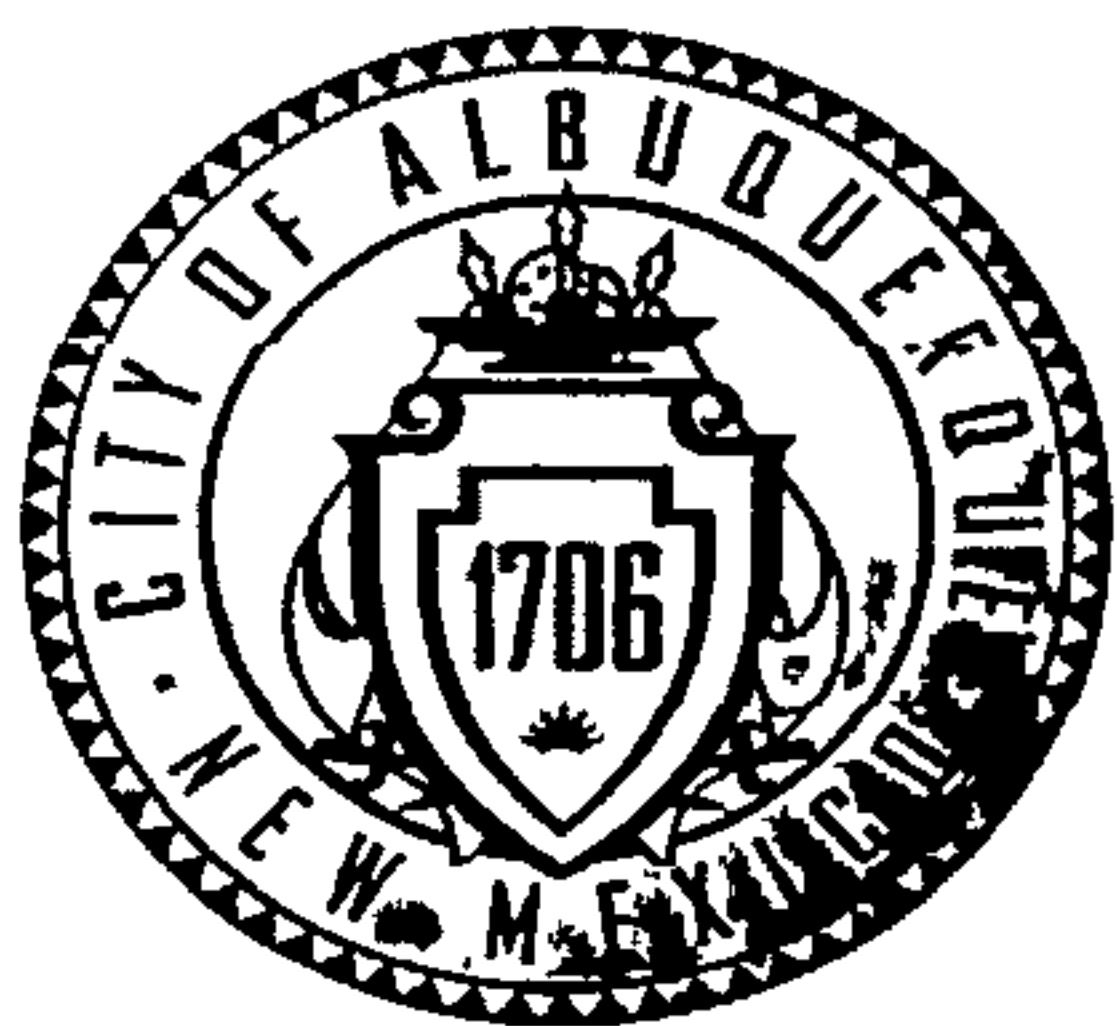
New Mexico 87103 If you have any questions, you can contact me at 924-3986.

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #: _____ City Drainage #: G11/D031
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Coors Tucson, LLC Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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☐ CERTIFICATE OF OCCUPANCY

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☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☐ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

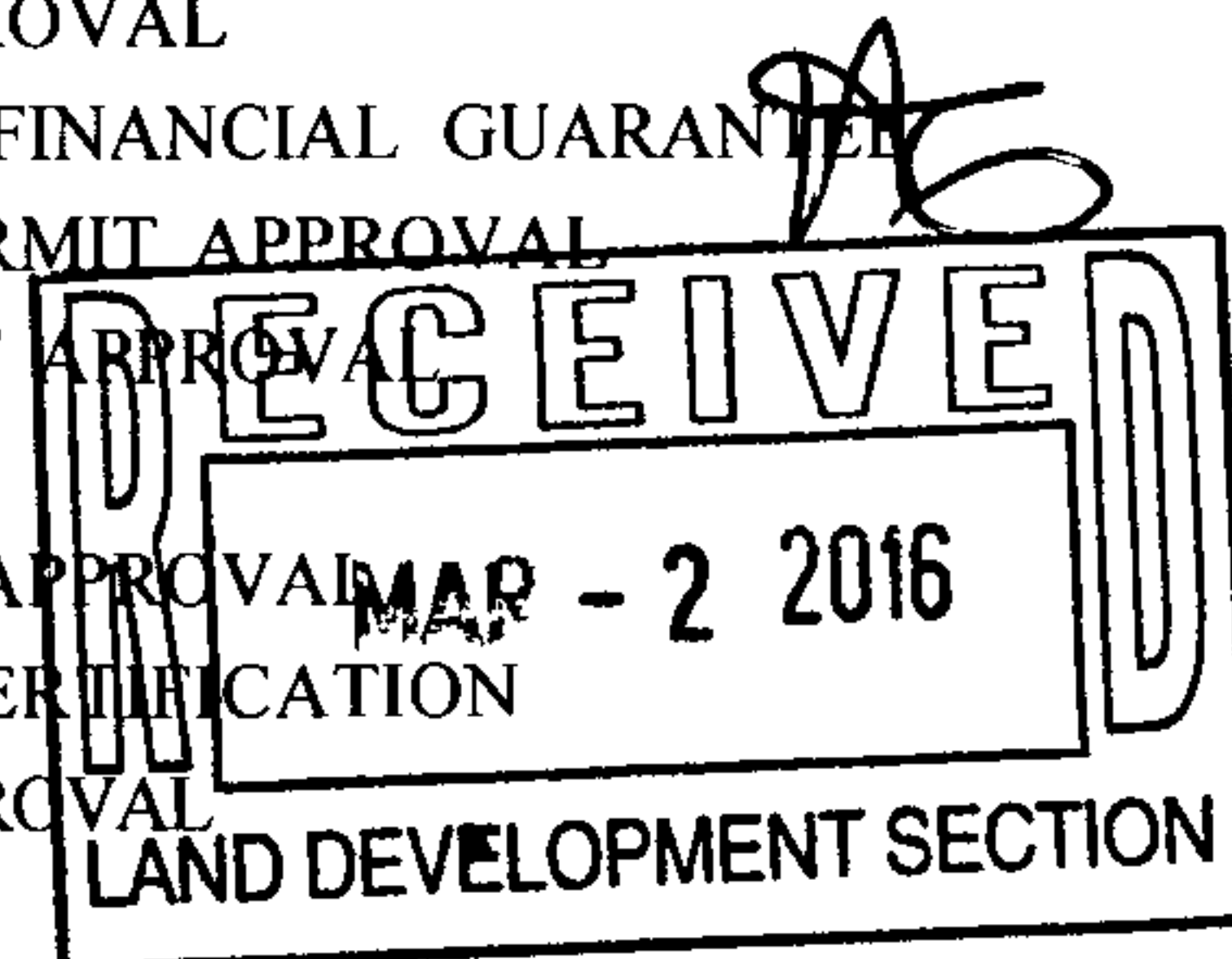
☐ PRE-DESIGN MEETING

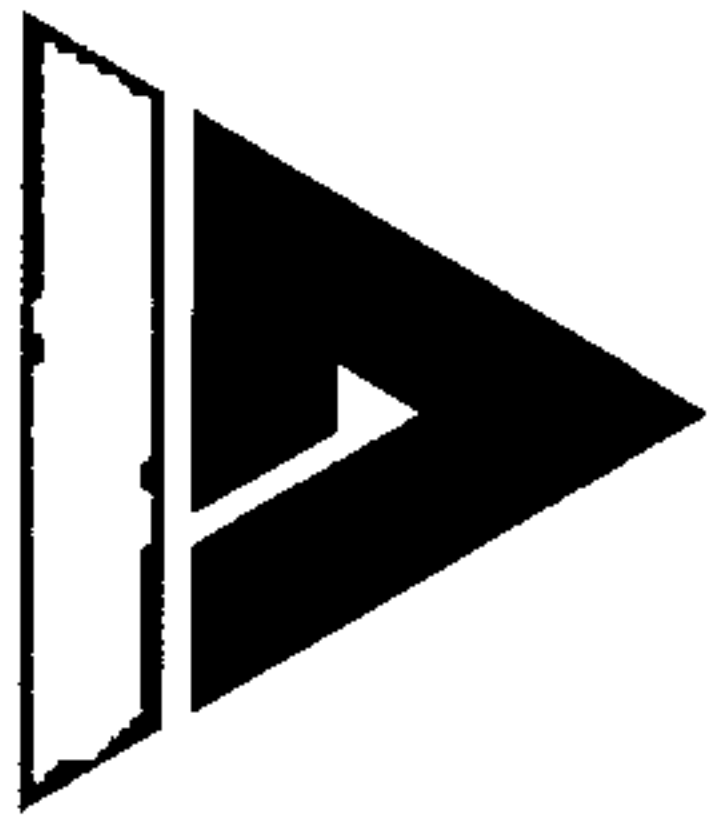
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: MARCH 2, 2016 By: Fred C. Arfman

COA STAFF. ELECTRONIC SUBMITTAL RECEIVED. _____



**ISAACSON & ARFMAN, P.A.****Consulting Engineering Associates**

Thomas O. Isaacson, PE(RET.) & LS(RET.) . Fred C. Arfman, PE . Asa Nilsson-Weber, PE

March 1, 2016

Mr. Abiel Carrillo, P.E.
Principal Engineer – Hydrology
Development Review Services Division
City of Albuquerque

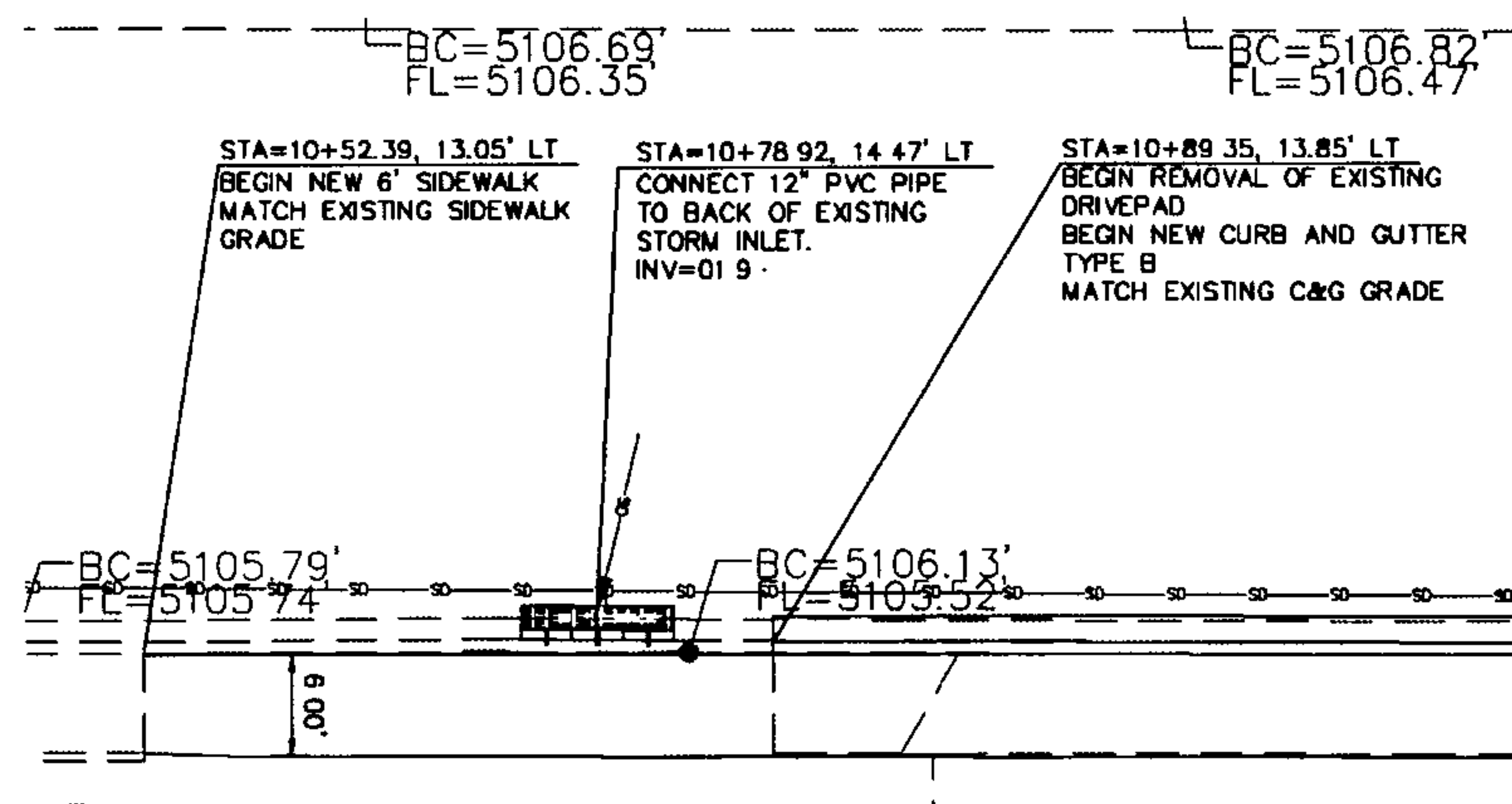
RE: G11D031 – COORS / TUSCON RETAIL SHOPS

Dear Mr. Carrillo,

Attached with this letter are two copies of the revised drainage and grading plan for your review. Revisions are in response to site plan adjustments which do not impact the overall grading and drainage concepts previously submitted and reviewed.

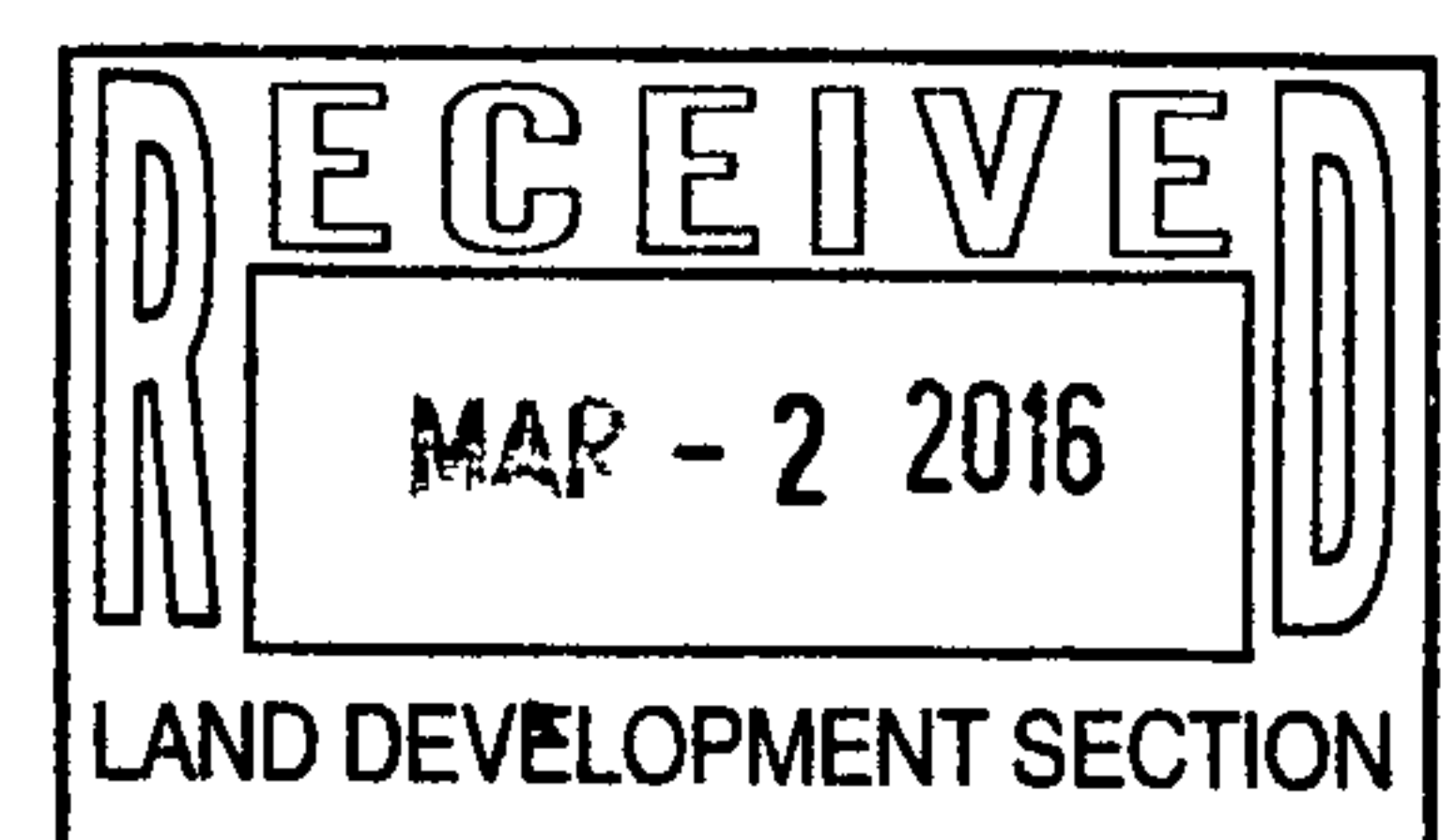
With regards to your e-mailed review comments dated January 21, 2016:

- The plat combining the two lots is being heard at DRB today (March 2, 2016.) By the time you review this, the process should be complete. No cross-lot drainage easement is required.
- Construction plans for the work in Coors Blvd. have been prepared and submitted to NMDOT. This submittal includes the storm drain stub to be installed and extended to the property line.

Please call me at 268-8828 or email me at freda@iacivil.com if you have any questions.

Sincerely,
Isaacson & Arfman, PA


Fred C. Arfman, PE



Abiel X. Carrillo

From: Abiel X. Carrillo
Sent: Thursday, January 21, 2016 4:53 PM
To: Fred Arfman
Subject: G11D031 - Coors/Tucson Retail Shops (Eng Stamp Date: 12-24-2015)

Fred, just so you know, we are trying to expedite initial reviews by emailing comments instead of preparing a letter....

Fred,

Based upon the information provided in your submittal received 12-24-2015, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- It appears that the intent expressed at DRB (8/26/15) to combine the two lots has not happened. If the two lots are to remain uncombined, then a cross-lot drainage easement needs to be granted, with beneficiaries and maintenance responsibilities defined on the plat.
- An existing stub appears to be available for the site. Confirmation from the NMDOT that the use of the stub continues to be approved for the entire combined development needs to be provided. If the stub was constructed with this site in mind with the improvements completed by the NMDOT along Coors recently, then just provide the basic information about that project (Project Title or Control Number, year constructed).

If you have any question please do not hesitate to contact me.

This email replaces a letter attachment. A Reply to this email will not be considered a re-submittal.

Abiel Carrillo, P.E.

Principal Engineer - Hydrology
Planning Department
Development Review Services Division
City of Albuquerque
505-924-3986
acarrillo@cabq.gov
600 2nd Street NW
Albuquerque, NM 87102



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #: _____ City Drainage #: G11/DO31
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Coors Tucson, LLC Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

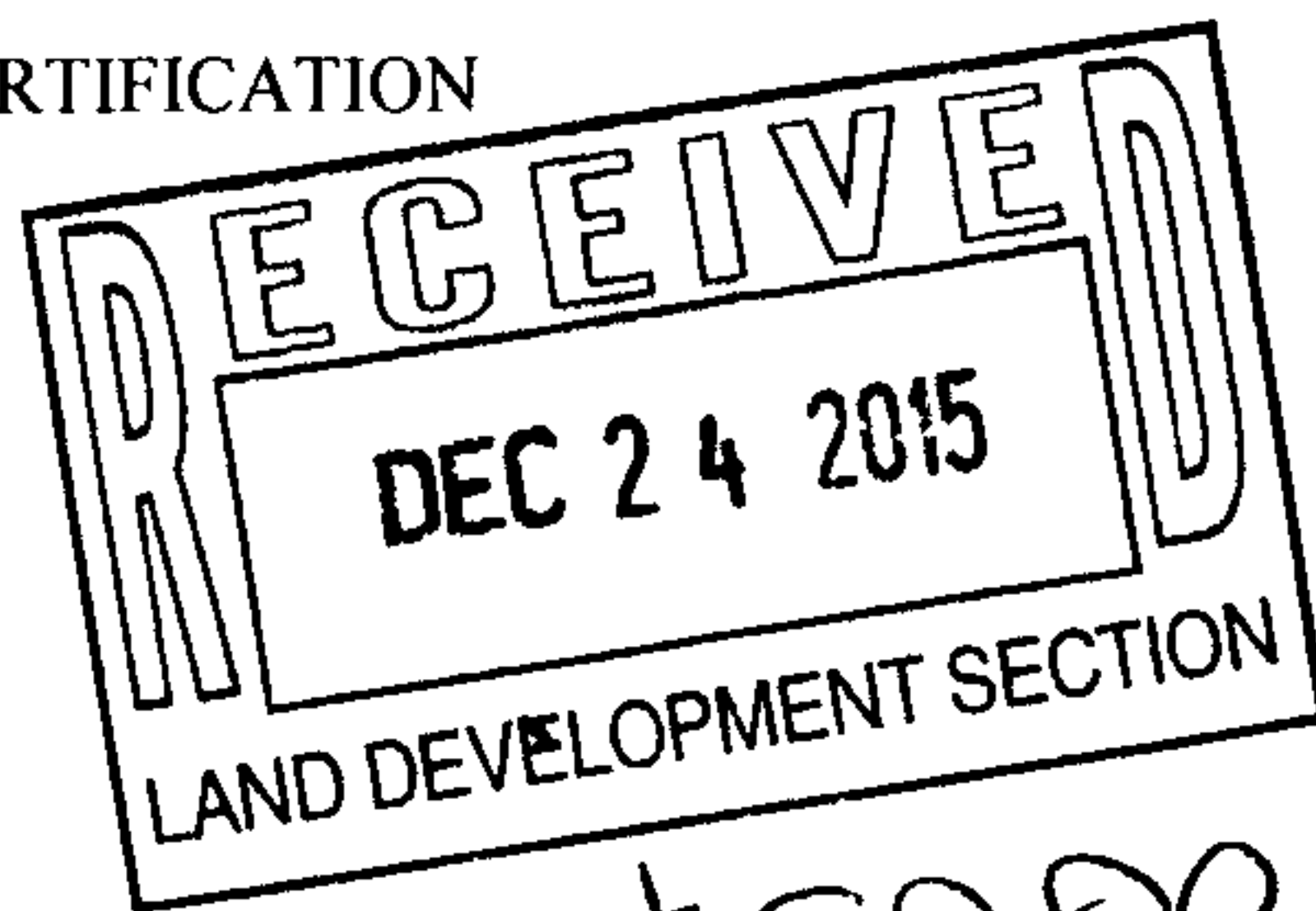
- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
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☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: December 24, 2105 By: Fred C. Arfman

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE



December 9, 2016

Genny Donart
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

Re: Coors Blvd – Tucson Rd Retail Shops
Request for Certificate of Occupancy- Transportation Development
Engineer's Stamp dated 03-29-16 (G11-D031)
Certification dated 12-06-16

Based upon the information provided in your submittal received 12-06-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact me at (505) 924-3630.

Albuquerque

Sincerely,

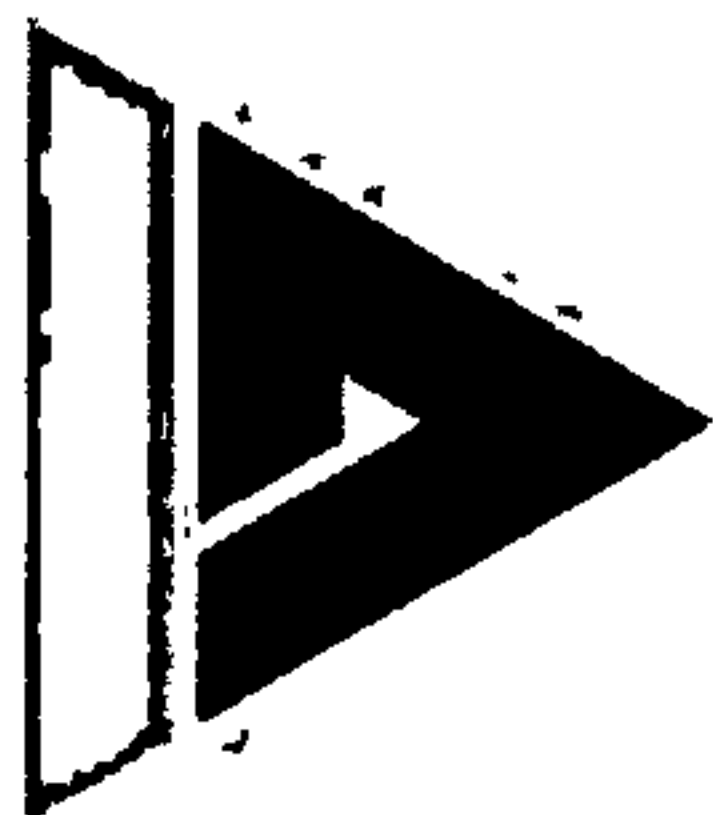
Logan Patz

New Mexico 87103

Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

LWP via: email
C: CO Clerk, File



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.) , Fred C. Arfman, PE , Ann Nilsson-Weber, PE

December 6, 2016

City of Albuquerque
Planning Department
Traffic Division
600 2nd St NW
Albuquerque, NM 87102

**RE: Coors & Tucson Retail Shops
Traffic Certification**

I, Genevieve L. Donart, NMPE #15088, of the firm Isaacson & Arfman, P.A., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA or TCL approved plan dated 03/24/16. The record information edited onto the original design document has been obtained by Will Plotner NMPS #14271 of the firm Cartesian Surveying, Inc. I further certify that I have personally visited the project site on 12/06/16 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

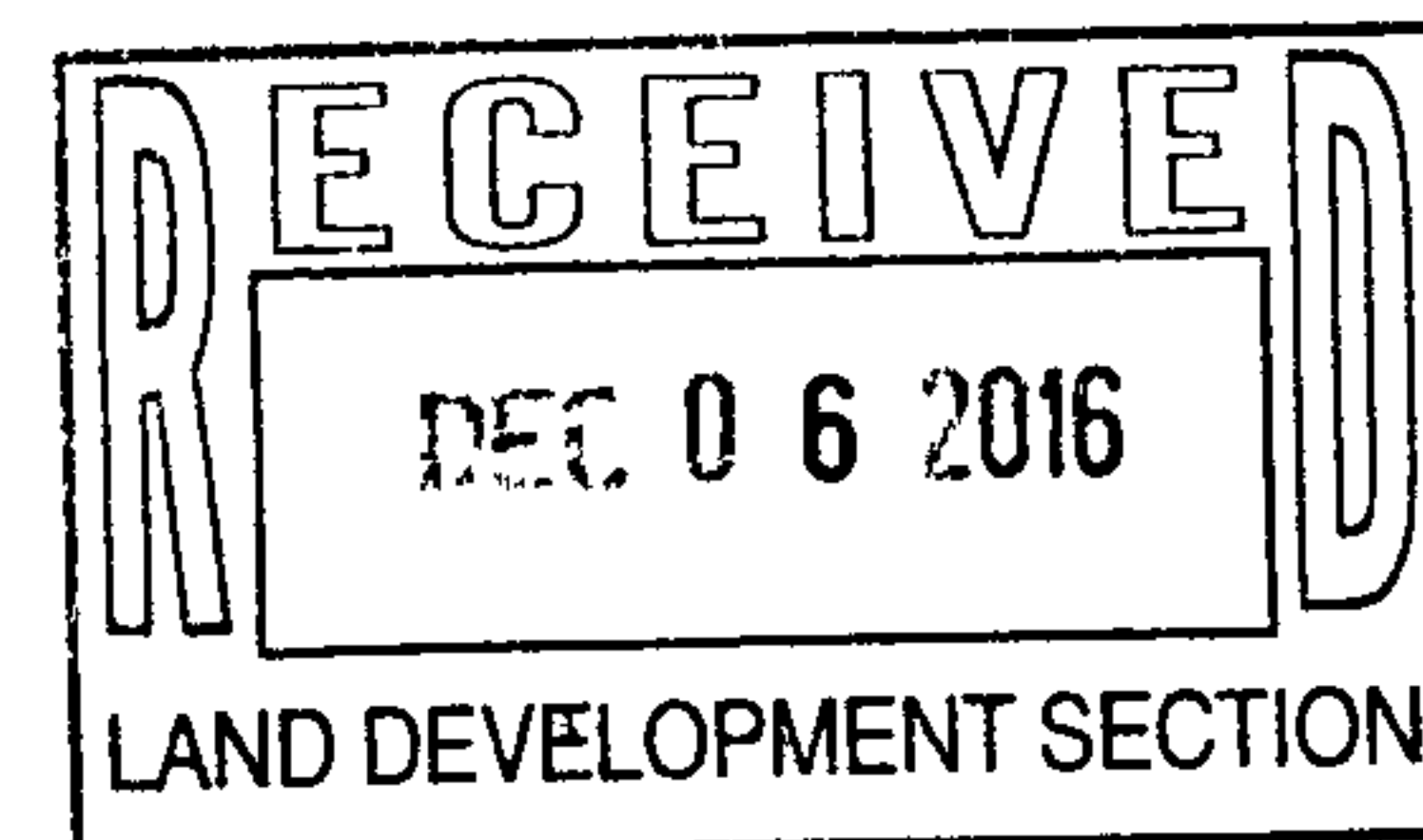
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Genevieve L. Donart 12/06/16

Signature of Engineer or Architect

DATE





City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #: _____ City Drainage #: G11/D031
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: Coors Tucson, LLC Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ **ENGINEER** ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL? ☐ Yes ☒ No

DATE SUBMITTED: December 6, 2016 By: Genny Donart

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

COA STAFF ELECTRONIC SUBMITTAL RECEIVED ☐

6110031

NMDOT Approval

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.

----- Forwarded message -----

From: **Trujillo, Timothy R, NMDOT** <TimothyR.Trujillo@state.nm.us>

Date: Thu, Apr 21, 2016 at 3:20 PM

Subject: RE: Coors Tucson Retail Shops (NM448 MM15.75)

To: Genny Donart <gennyd@iacivil.com>

Cc: Bryan Bobrick <BryanB@iacivil.com>, "Suazo, Israel , NMDOT" <Israel.Suazo@state.nm.us>

Genny,

I don't have any further comments regarding the development at Coors and Tucson. The site may tap into the existing drop inlet on Coors and discharge at the historical rate/volume. Please let me know if there are any changes to the site before final acceptance from COA.

On a side note, will there be mitigation needed for removal of UST's associated with the old gas station? Will the site require a SWPPP?

Thanks,

Tim Trujillo, PE

NMDOT – D3 Drainage

505 798-6690

From: Genny Donart [<mailto:gennyd@iacivil.com>]

Sent: Thursday, April 21, 2016 3:12 PM

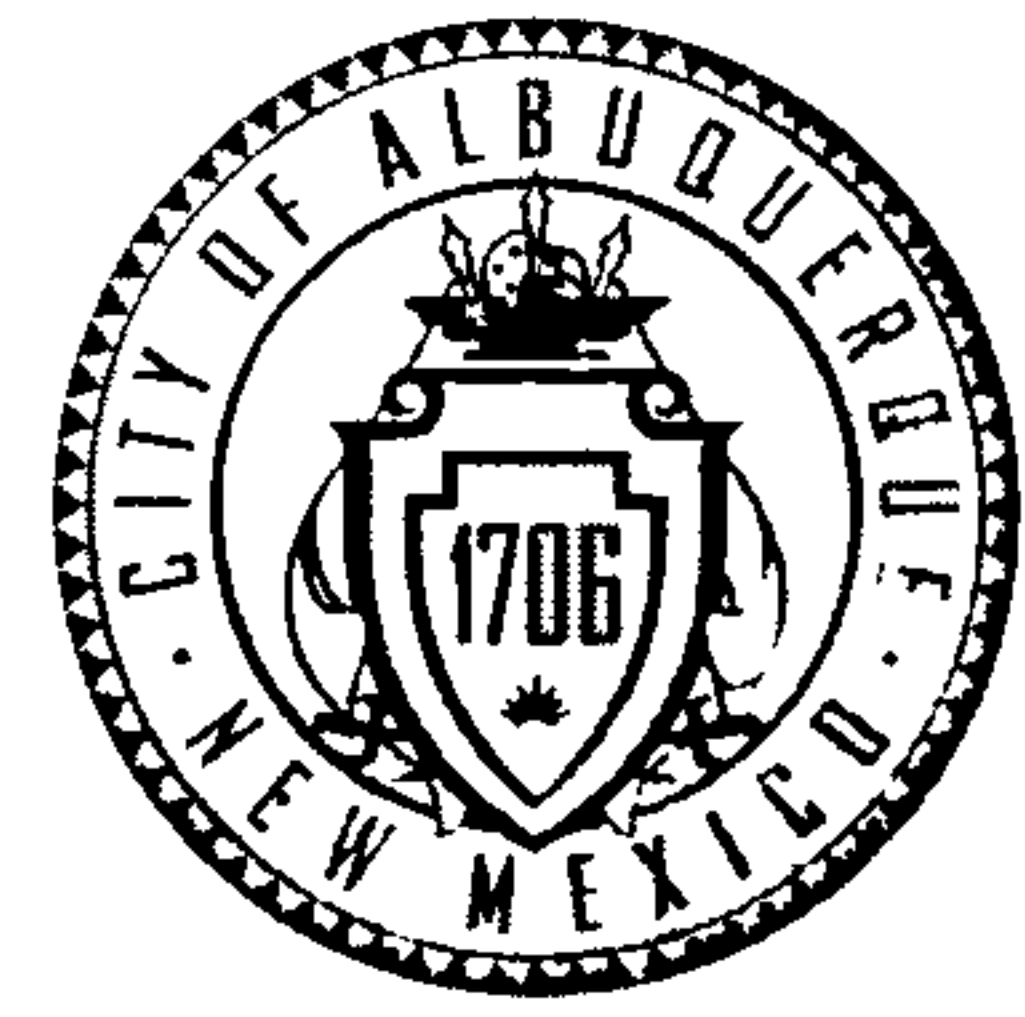
To: Trujillo, Timothy R, NMDOT

Cc: Bryan Bobrick; Suazo, Israel , NMDOT

Subject: Re: Coors Tucson Retail Shops (NM448 MM15.75)

Thank you Tim!

CITY OF ALBUQUERQUE



March 30, 2016

Fred Arfman
Isaacson & Arfman, P.A.
128 Monroe St., NE
Albuquerque, NM 87108

Re: Coors Blvd. – Tucson Rd. Retail Shops
Coors and Tucson NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 3-29-16 (G11-D031)

Dear Mr. Arfman,

The TCL submittal received 3-29-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

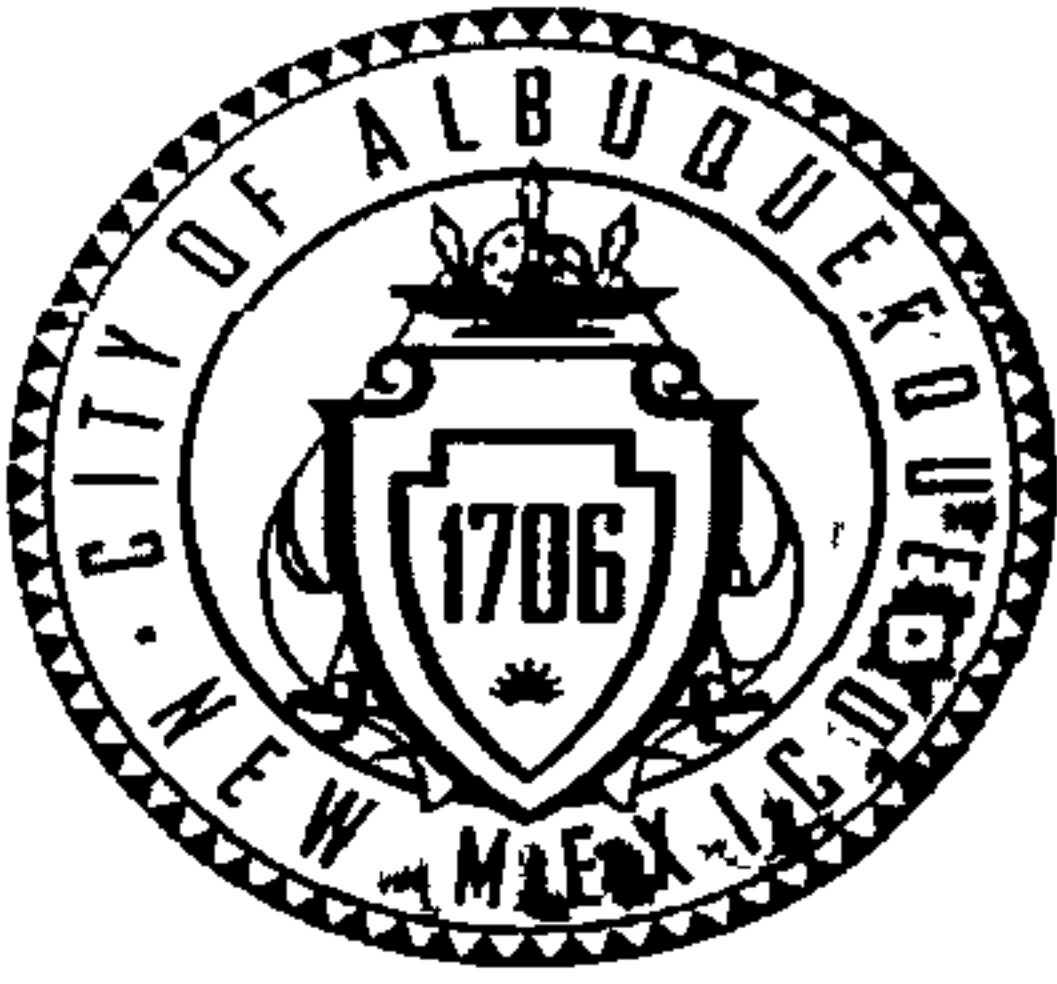
\gs via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #. _____ City Drainage #. G11/D031

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Coors Tucson, LLC Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner

Address: P.O. Box 44414 - Rio Rancho, NM 87174

Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER ARCHITECT CERTIFICATION
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☐ DRAINAGE REPORT
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☐ OTHER (SPECIFY) _____

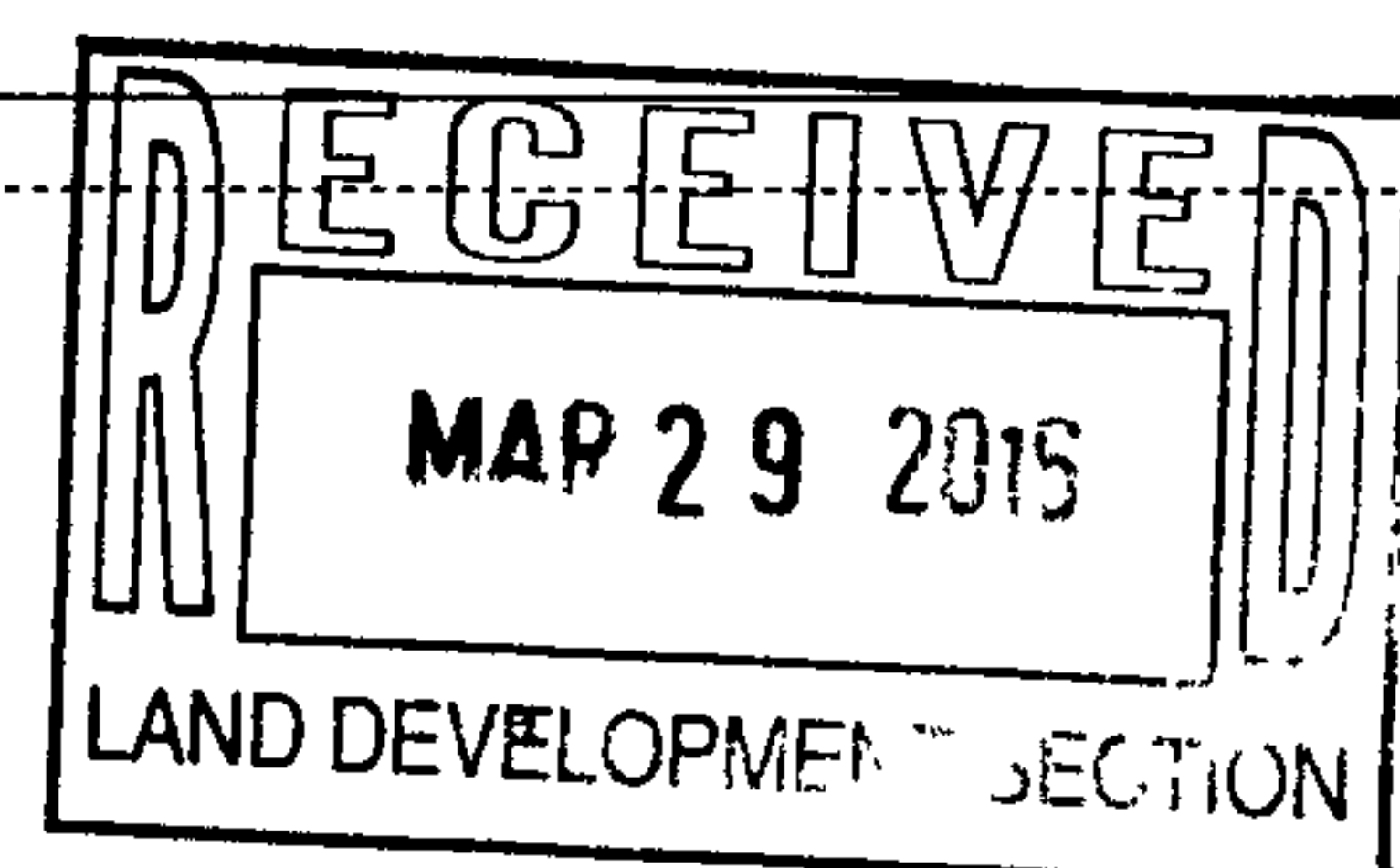
CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?. ☐ Yes ☒ No

DATE SUBMITTED: MARCH 29, 2016 By: Fred C. Arfman

COA STAFF ELECTRONIC SUBMITTAL RECEIVED ☐



08711763

Executive First

County Clerk *JF*

GRANT OF RECIPROCAL EASEMENTS

THIS INDENTURE made and entered into this 29th day of Oct 120
January, 1987, by and between James E. Hinnen and Shirley Hinnen,
his wife, and Jon M. Powers and Vivian L. Powers, his wife, d/b/a
J & J, a New Mexico General Partnership, hereinafter called "J &
J", and Zip Lube, Inc., A New Mexico corporation, hereinafter
called "Zip":

W I T N E S S E T H

WHEREAS, J & J are the owners of Tract A of the replat of
the Northeast Unit and vacated portions of Corona Drive and
Blanco Place, N.W., Town of Atrisco Grant, as the same is shown
and designated on said replat thereof filed in the office of the
County Clerk of Bernalillo County, New Mexico, on December 21,
1984, and,

Whereas, Zip is the owner of that certain property described
as Tract B of the replat of the Northeast Unit and vacated
portions of Corona Drive and Blanco Place, N.W., Town of Atrisco
Grant, as the same is shown and designated on said replat thereof
filed in the office of the County Clerk of Bernalillo County, New
Mexico, on December 21, 1984, and,

WHEREAS, the parties hereto desire to establish a public
vehicular access and business interchange roadway between their
respective properties, said roadway to be twenty-four feet (24')
in width and comprised of the southerly twelve feet (12') of the
J & J real property and the northerly twelve feet (12') of the

Zip property, both of which properties are more particularly described above and,

121

WHEREAS, the southerly twelve feet (12') of the J & J property is more particularly described on Exhibit "A" attached hereto and incorporated herein by reference, and,

WHEREAS, the northerly twelve feet (12') of the Zip property is more particularly described on Exhibit "A" attached hereto and incorporated herein by reference,

THEREFORE, in consideration of the sum of one dollar (\$1.00) and other valuable consideration paid each to the other, receipts of which are mutually acknowledged, it is hereby agreed as follows:

1. J & J and Zip reciprocally grant, bargain, sell and convey unto each other an easement over the respective portions of their real properties as each portion is more particularly described on Exhibit "A" attached hereto, and only upon those described portions.

2. The parties hereto, their heirs, assigns and successors in interest shall have and hold said easement in perpetuity except as otherwise provided herein.

3. The easements granted herein shall constitute a vehicular drive twenty-four feet (24') in width by combining legal descriptions of each of the respective properties as set forth on Exhibit "A" attached hereto and incorporated herein by reference.

4. Permitted Uses: The vehicular roadway established by this Grant of Reciprocal Easements shall be used only for public

access and business interchange for the benefit of the businesses owned by the respective parties situate presently upon the real property of each of the parties hereto. No vehicular parking of either a temporary or regular nature shall be permitted upon the easement.

5. Automatic termination: The easement herein granted by J & J in favor of Zip shall automatically terminate in the event that the owners of tract B, as hereinabove described or their heirs or assigns should utilize said tract B or any portion thereof for the purpose of installation, repair, sales or service to automobile exhaust systems, brakes, shock absorbers or the like.

6. Maintenance: The cost of paving, striping, signing and all things required by municipal, county or state laws, rules and regulations shall be borne equally by the parties hereto. In the event a party hereto shall fail to pay his one half of the cost incurred in maintenance or other required expenditures upon the easement then, and in such event, the non-defaulting party may pay the defaulting party's portion and shall thereafter have the right to collect from the defaulting party shall further be entitled to use any lawful means to collect said sums from the defaulting party.

WITNESS our hands and seals this 29th day of January, 1987.

J & J, a New Mexico
General Partnership

ZIP LUBE, INC., a New Mexico
Corporation

By:

James E. Hinnen
James E. Hinnen, General Partner

By:

Robert Cochran
President

By:

Shirley Hinnen
Shirley Hinnen, General Partner

By:

Jon M. Powers
Jon M. Powers, General Partner

By:

Vivian L. Powers
Vivian L. Powers, General Partner

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this
29th day of January 1987, James E. Hinnen and Shirley Hinnen.

My commission expires:

12-26-88

Cindy Rella
Notary Public

The foregoing instrument was acknowledged before me this
29th day of January, 1987, by Jon M. Powers and Vivian L.
Powers.

My commission expires:

12-26-88

Cindy Rella
Notary Public

ACKNOWLEDGMENT

124

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 29th day of January, 1987, James E. Hinnen and Shirley Hinnen.

My commission expires:

12-26-88

Andy Rella
Notary Public

(SEAL)

The foregoing instrument was acknowledged before me this 29th day of January, 1987, by Jon M. Powers and Vivian L. Powers.

My commission expires:

12-26-88

Andy Rella
Notary Public

(SEAL)

ACKNOWLEDGMENT FOR CORPORATION

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 29th day of January, 1987, by Robert Cocherell, Jr.,
President of Zip Lube, Inc., a New Mexico corporation,
(Title)

on behalf of said corporation.

My commission expires:

2/21/87

Yvonne K. Jones
Notary Public

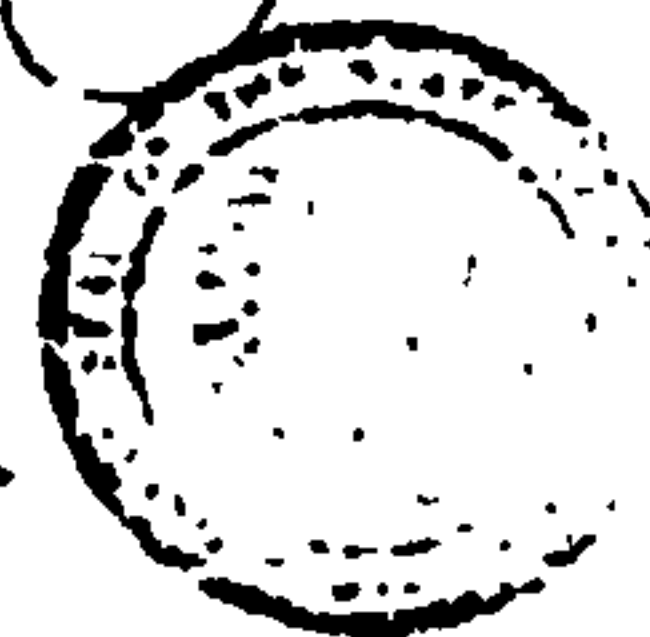
(SEAL)

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED WITH RECORD

1987 FEB -4 PM 1:53

Mr. 449A-120-125
GLADYS M. DAVIS
PUBLIC RECORDER

-4-



OFFICIAL SEAL
YVONNE K. JONES
NOTARY PUBLIC - STATE OF NEW MEXICO
Notary Bond Filed With Secretary of State
My Commission Expires _____

LEGAL DESCRIPTION - 12' Access Easement within Tract A

125

A certain tract of land situate in Section 2, T10N, R2E, N.M.P.M., being the Southerly twelve feet (S'ly 12') of Tract A of the Replat of the N.E. Unit and vacated portions of Corona Drive and Blanco Place N.W., TOWN OF ATRISCO GRANT, as the same is shown and designated on said Replat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on December 21, 1984, and being more particularly described as follows:

BEGINNING at the Southeast corner of said tract, a point on the West right-of-way of a sixteen-foot (16') alley, and being the same Southeast corner of said Tract A; thence leaving said alley right-of-way, S 89 degree 50' 55" W, 189.51 feet to the Southwest corner; thence, N 00 degree 09' 05" W, 12.00 feet to the Northwest corner; thence, N 89 degree 50' 55" E, 186.54 feet to the Northeast corner, a point on said alley right-of-way; thence, S 14 degree 02' 35" E, 12.36 feet to the point of beginning, and containing 0.0518 acres, more or less.

LEGAL DESCRIPTION - 12' Access Easement within Tract B

A certain tract of land situate in Section 2, T10N, R2E, N.M.P.M., being the Northerly twelve feet (N'ly 12') of Tract B of the Replat of the N.E. Unit and vacated portions of Corona Drive and Blanco Place N.W., TOWN OF ATRISCO GRANT, as the same is shown and designated on said Replat thereof filed in the office of the County Clerk of Bernalillo County, New Mexico on December 21, 1984, and being more particularly described as follows:

BEGINNING at the Northeast corner of said tract, being a point on the West right-of-way of a sixteen-foot (16') alley, and being the same Northeast corner of said Tract B; thence leaving said right-of-way, S 89 degree 50' 55" W, 189.51 feet to the Northwest corner; thence, S 00 degree 09' 05" E, 12.00 feet to the Southwest corner; thence, N 89 degree 50' 55" E, 192.48 feet to the Southwest corner, a point on said West right-of-way of the alley; thence along said right-of-way, N 14 degree 02' 35" W, 12.36 feet to the point of beginning, and containing 0.0526 acres, more or less.

EXHIBIT "A"

**AMENDMENT TO
GRANT OF RECIPROCAL EASEMENTS**

This AMENDMENT TO GRANT OF RECIPROCAL EASEMENTS ("this Amendment") is made this 12 day of September, 2015 (the "Effective Date"), by and between J. Craig Hinnen and Barbara Lynn Hinnen, as successors-in-interest to James E. Hinnen, Shirley Hinnen, Jon M. Powers and Vivian L. Powers d/b/a J & J, a New Mexico general partnership ("Hinnen") and Lubricar Properties III, LLC, a New Mexico limited liability company, as successor-in-interest to Zip Lube, Inc., ("Lubricar").

RECITALS

A. Hinnen is the owner of the real property and improvements located in Bernalillo County, New Mexico legally described as follows:

Tract lettered "A" of the Replat of Tract A-43 of the N.E. Unit & Vacated Portions of Corona Drive & Blanco Place N.W., Town of Atrisco Grant, Sec. 2, T 10 N, R 2 E, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 21, 1984 in Volume C25, folio 194 ("Tract A").

B. Lubricar is the owner of the real property and improvements located in Bernalillo County, New Mexico legally described as follows:

Tract lettered "B-1" of the Plat of Tracts B-1, B-2, Town of Atrisco Grant, Being a Replat of Tract B Projected Sec. 2, T 10 N, R 2 E, N.M.P.M., Albuquerque, New Mexico, November, 1986 as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 1987 in Volume C32, folio 150 ("Tract B-1").

C. Tract A and Tract B-1 are subject to the Grant of Reciprocal Easements dated January 29, 1987, filed February 4, 1987 in Book Misc. 449-A, Page 120 as Document No. 87-11763, records of Bernalillo County, New Mexico (the "Existing Reciprocal Easement"). Tract A and Tract B-1 are collectively referred to as the "Property".

D. Hinnen and Lubricar desire to amend the Existing Reciprocal Easement as set forth herein.

AGREEMENT

1. **Section 4 Modification.** The first sentence of Section 4 is hereby deleted and replaced with the following: "The vehicular roadway established by this Grant of Reciprocal Easement shall be used only for private access for the benefit of the owners of the Property and their employees, agents, tenants, licensees, invitees, or customers".

6575057
Atrisco Title Company
Old Republic Title Company

**AMENDMENT TO
GRANT OF RECIPROCAL EASEMENTS**

This AMENDMENT TO GRANT OF RECIPROCAL EASEMENTS ("this Amendment") is made this 17 day of September, 2015 (the "Effective Date"), by and between J. Craig Hinnen and Barbara Lynn Hinnen, as successors-in-interest to James E. Hinnen, Shirley Hinnen, Jon M. Powers and Vivian L. Powers d/b/a J & J, a New Mexico general partnership ("Hinnen") and Lubricar Properties III, LLC, a New Mexico limited liability company, as successor-in-interest to Zip Lube, Inc., ("Lubricar").

RECITALS

A. Hinnen is the owner of the real property and improvements located in Bernalillo County, New Mexico legally described as follows:

Tract lettered "A" of the Replat of Tract A-43 of the N.E. Unit & Vacated Portions of Corona Drive & Blanco Place N.W., Town of Atrisco Grant, Sec. 2, T 10 N, R 2 E, Bernalillo County, New Mexico, as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on December 21, 1984 in Volume C25, folio 194 ("Tract A").

B. Lubricar is the owner of the real property and improvements located in Bernalillo County, New Mexico legally described as follows:

Tract lettered "B-1" of the Plat of Tracts B-1, B-2, Town of Atrisco Grant, Being a Replat of Tract B Projected Sec. 2, T 10 N, R 2 E, N.M.P.M., Albuquerque, New Mexico, November, 1986 as the same is shown and designated on the Plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January 19, 1987 in Volume C32, folio 150 ("Tract B-1").

C. Tract A and Tract B-1 are subject to the Grant of Reciprocal Easements dated January 29, 1987, filed February 4, 1987 in Book Misc. 449-A, Page 120 as Document No. 87-11763, records of Bernalillo County, New Mexico (the "Existing Reciprocal Easement"). Tract A and Tract B-1 are collectively referred to as the "Property".

D. Hinnen and Lubricar desire to amend the Existing Reciprocal Easement as set forth herein.

AGREEMENT

1. **Section 4 Modification.** The first sentence of Section 4 is hereby deleted and replaced with the following: "The vehicular roadway established by this Grant of Reciprocal Easement shall be used only for private access for the benefit of the owners of the Property and their employees, agents, tenants, licensees, invitees, or customers".

2. **Section 5 Modification.** Upon a sale or transfer of Tract A divesting Hinnen of fee simple interest to an unrelated third party, Section 5 shall expire and be of no further force or effect.


3. **Ratification.** The parties hereby ratify and acknowledge the location and existence of the easement legally described on Exhibit A and Exhibit B of the Existing Reciprocal Easement.

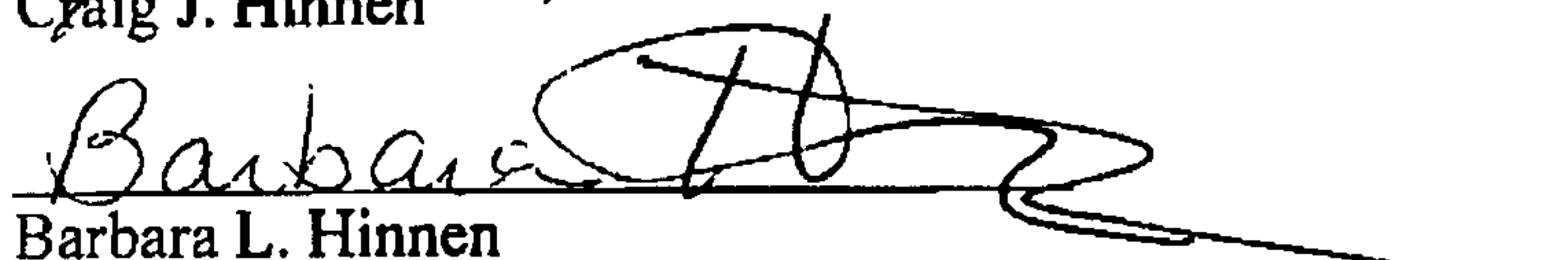
4. **Private Easement.** Nothing contained herein shall be construed as a grant to the general public of any rights of ingress and egress or other uses.

5. **Amendment.** This Amendment may not be altered or amended unless in writing and signed by all parties, or their successors and assigns.

6. **Agreement and Easements Run with the Property.** The terms, burdens and benefits of this Amendment and the easements ratified and granted herein shall run with and be appurtenant to the Property.

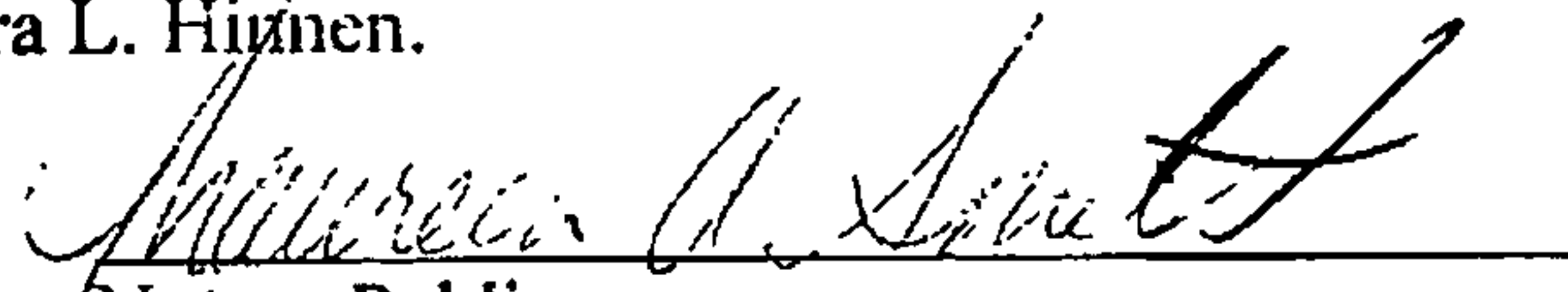
IN WITNESS WHEREOF, the undersigned, being the owner of Tract A, sets forth its hand.

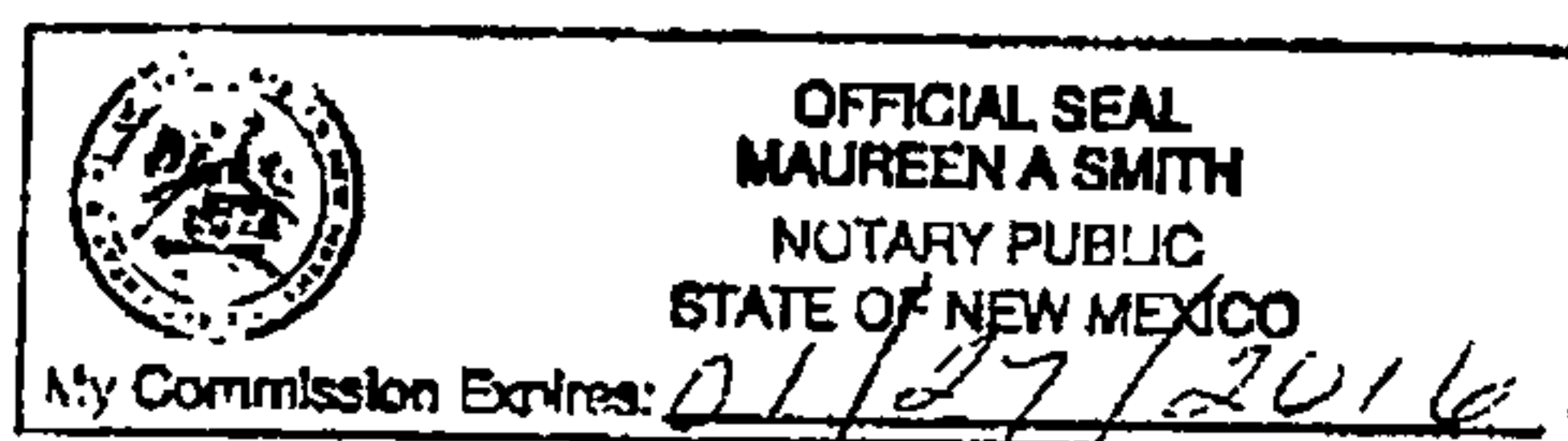

Craig J. Hinnen


Barbara L. Hinnen

STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me on September 2nd, 2015, by Craig J. Hinnen and Barbara L. Hinnen.


Notary Public



IN WITNESS WHEREOF, the undersigned, being the owner of Tract B-1, sets forth its hand.

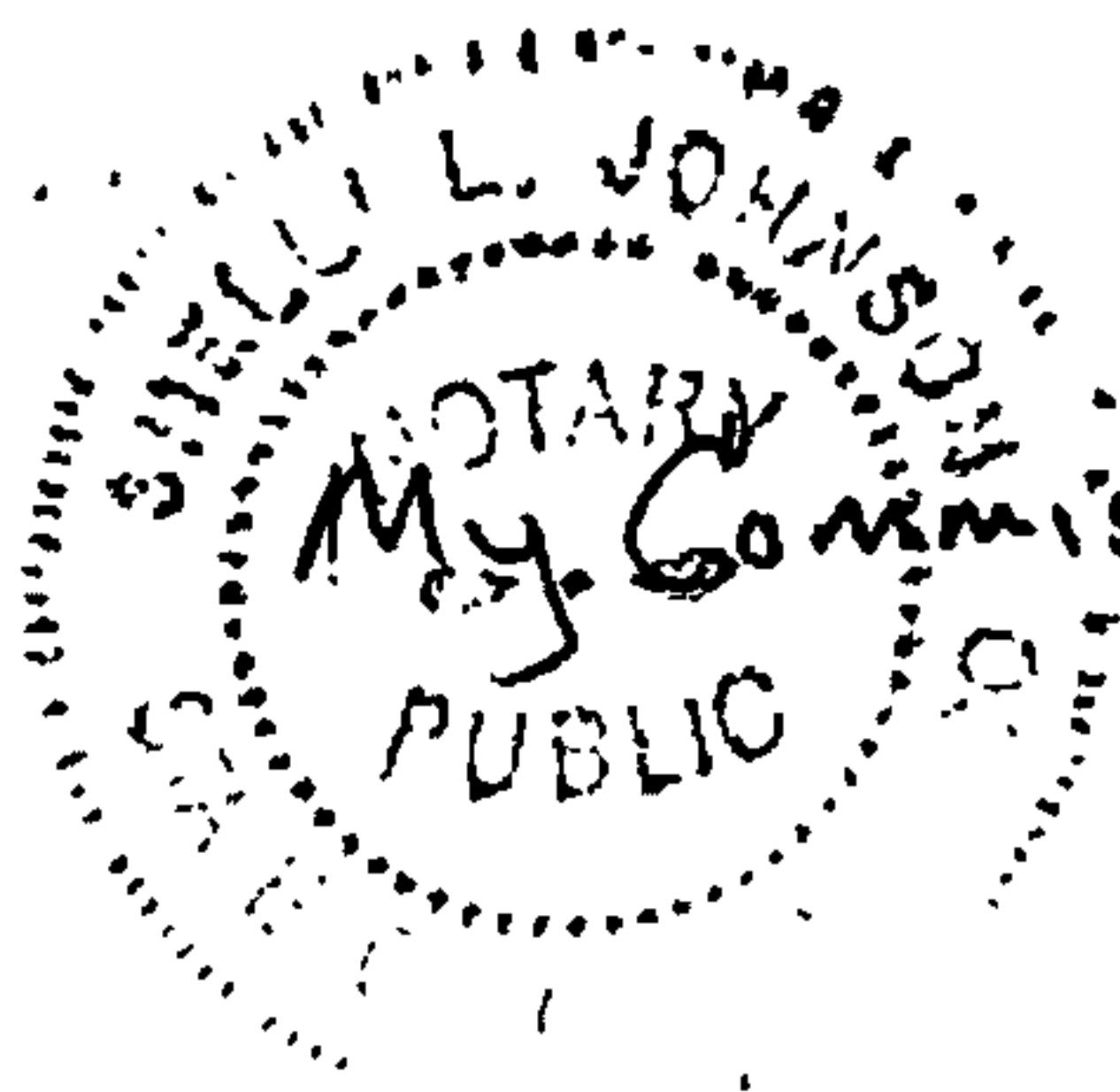
Lubricar Properties III, LLC
a New Mexico limited liability company

By: Jones
Name: Richard B. Jones
Title: CFO Lubricar Inc., its Manager

STATE OF New Mexico)
)ss.
COUNTY OF Bernalillo)

The foregoing instrument was acknowledged before me on September 9th, 2015, by Richard B. Jones, CFO of Lubricar Properties III, LLC, a New Mexico limited liability company on behalf of said company.

Shelli L Johnson
Notary Public



3.29.18

CITY OF ALBUQUERQUE



March 30, 2016

Fred Arfman
Isaacson & Arfman, P.A.
128 Monroe St., NE
Albuquerque, NM 87108

Re: Coors Blvd. – Tucson Rd. Retail Shops
Coors and Tucson NW
Traffic Circulation Layout
Engineer's/Architect's Stamp dated 3-29-16 (G11-D031)

Dear Mr. Arfman,

The TCL submittal received 3-29-16 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

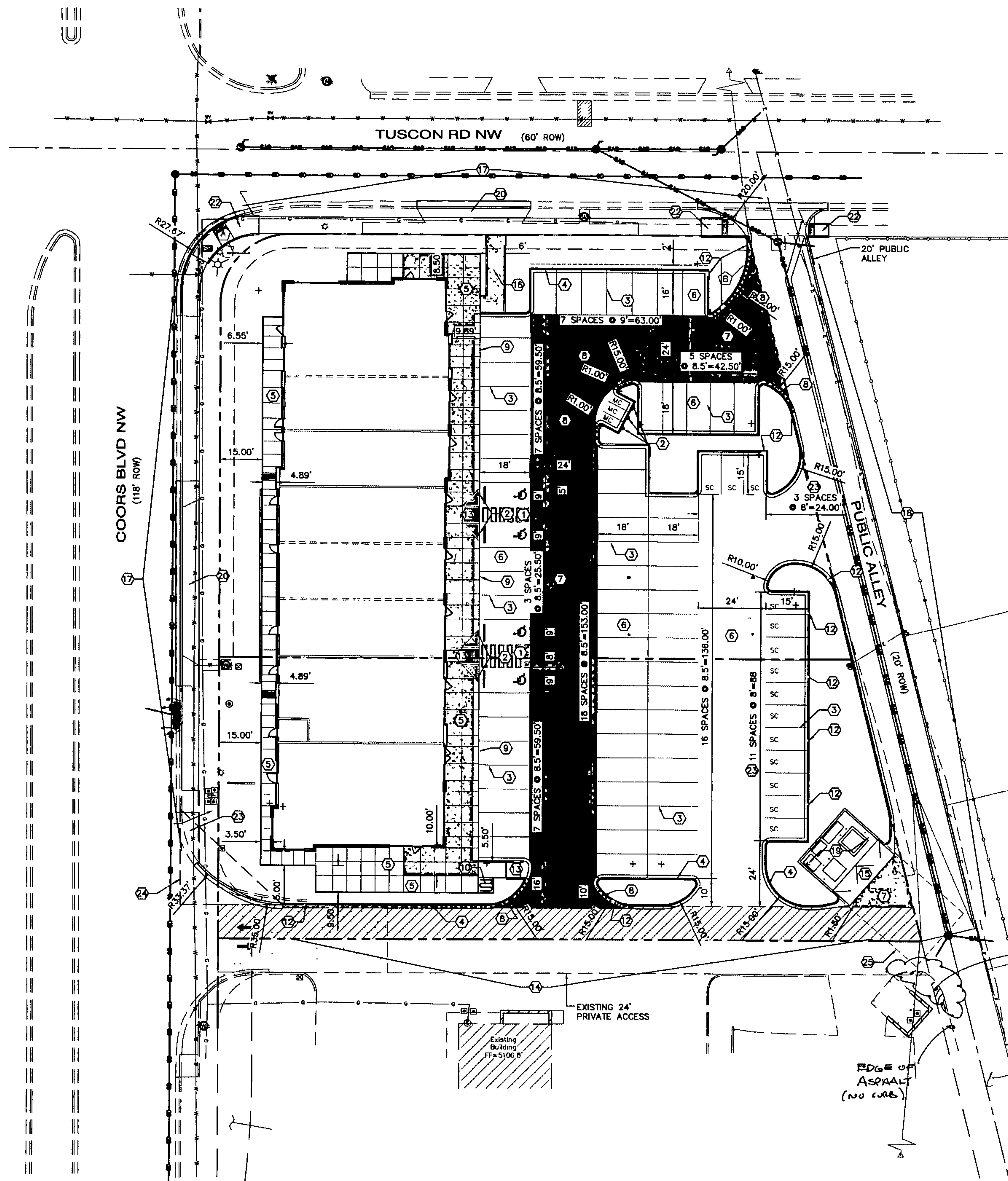
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C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



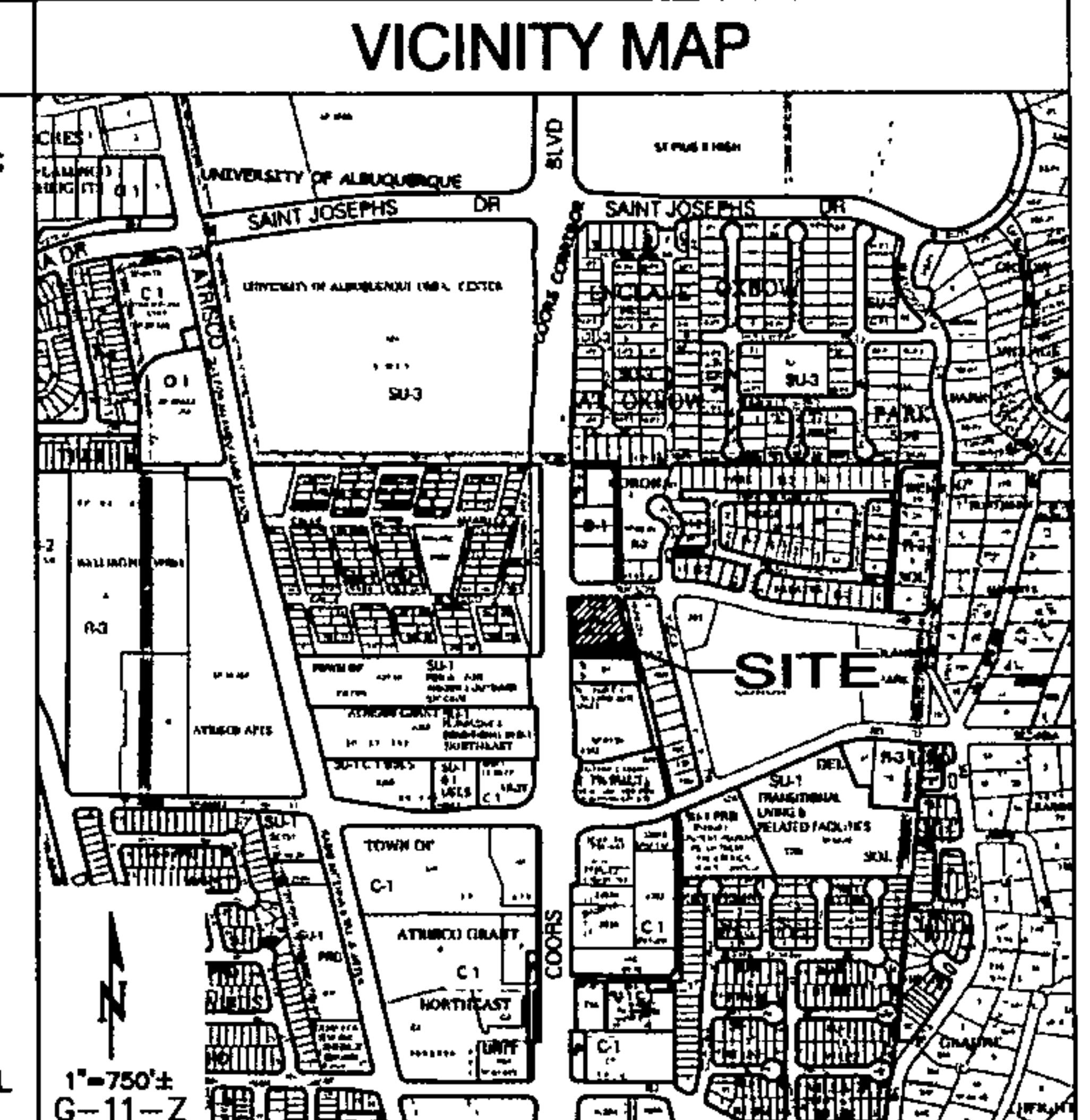
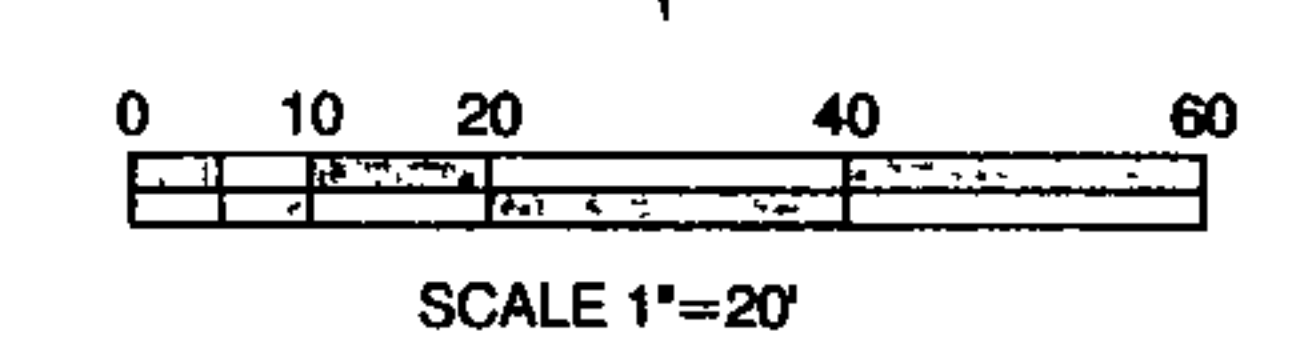
- ### KEYED NOTES
- REFLECTORIZED PAVEMENT STRIPING & ACCESSIBILITY SYMBOL; SEE DETAIL SHEET CP-501.
 - PARKING SIGNS, SEE DETAIL SHEET CP-501.
 - REFLECTORIZED PAVEMENT MARKING 4" SOLID WHITE STRIPE AT EACH PARKING SPACE.
 - PCC CURB AND GUTTER, SEE DETAIL SHEET CP-501.
 - PCC SIDEWALK, SEE DETAIL SHEET CP-501.
 - LIGHT DUTY ASPHALT PAVING, SEE SECTION SHEET CP-501.
 - HEAVY DUTY ASPHALT PAVING, SEE SECTION SHEET CP-501.
 - CURB PAINTED RED WITH 4" SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
 - PCC TURN DOWN SIDEWALK, SEE DETAIL SHEET CP-501.
 - BIKE RACK, SEE DETAIL SHEET CP-501.
 - NOT USED.
 - CURB OPENING, SEE DETAIL SHEET CG-101.
 - PCC ACCESSIBILITY RAMP, SEE DETAIL No. 3 SHEET CP-501.
 - EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR SHALL NOT BLOCK AREA DURING CONSTRUCTION ACTIVITIES.
 - PCC PAVEMENT, SEE DETAIL SHEET CP-501.
 - CONSTRUCT ADA COMPLIANT HANDICAP 6' WIDE ACCESS RAMP WITH FREE-STANDING HANDRAIL EA. SIDE. SEE DETAIL ON SHEET CP-501.
 - CONSTRUCTION WITHIN THE PUBLIC R.O.W. INCLUDING SITE ENTRANCE DRIVE, CONCRETE CURB & GUTTER, PUBLIC SIDEWALK, AND HANDICAP RAMPS SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER.
 - CONSTRUCTION WITHIN THE PUBLIC ALLEY INCLUDING REMOVE / REPLACE ASPHALT PAVEMENT AND NEW CONCRETE ALLEY GUTTER SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER.
 - TRASH ENCLOSURE. SEE ARCHITECTURAL FOR DETAILS.
 - REMOVAL OF DRIVEPADS AND REPLACEMENT BY PCC CURB & GUTTER AND SIDEWALK, (SEE PUBLIC WORK ORDER).
 - EXISTING ADA RAMP (PUBLIC) TO REMAIN.
 - NEW ADA RAMP (PUBLIC); SEE PUBLIC WORK ORDER.
 - EACH COMPACT SPACE TO BE LABELED "COMPACT" BY PAINTING THE INDIVIDUAL SPACE AT EACH END IN 18" HIGH LETTERS (WHITE).
 - CLEAR SIGHT TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - 40'x24' SOLID WASTE MANEUVERING ZONE.

DELIVERY VEHICULAR ROUTE
 6' ADA ACCESSIBLE PATH

CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED

ACCESSIBLE AREA (NO CURB)

EDGE OF ASPHALT (NO CURB)



- ### GENERAL NOTES
- SEE SHEET CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
 - ALL CURB RADII ARE 2' UNLESS OTHERWISE DIMENSIONED.
 - ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
 - ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

PARKING ANALYSIS

| | |
|-----------------------------|--|
| RESTAURANT AREA: | 4,320 SF |
| PARKING REQUIRED: | 42 SPACES (1 SPACE PER 4 SEATS, 168 TOTAL SEATS) |
| RETAIL AREA: | 7,760 SF |
| PARKING REQUIRED: | 39 SPACES (1 SPACE PER 200 SF) |
| TOTAL PARKING REQUIRED: | 81 SPACES |
| TOTAL PARKING PROVIDED: | 81 SPACES |
| HC PARKING REQUIRED: | 2 SPACES 1 SPACE VAN ACCESSIBLE |
| HC PARKING PROVIDED: | 4 SPACES 1 SPACE VAN ACCESSIBLE |
| MC PARKING REQUIRED: | 2 SPACES |
| MC PARKING PROVIDED: | 3 SPACES |
| SMALL CAR PARKING (25% MAX) | |
| SMALL CAR PARKING PROVIDED: | 14 SPACES (17.5%) |

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
PH: 505-268-8828 10000 isaacrfm.com

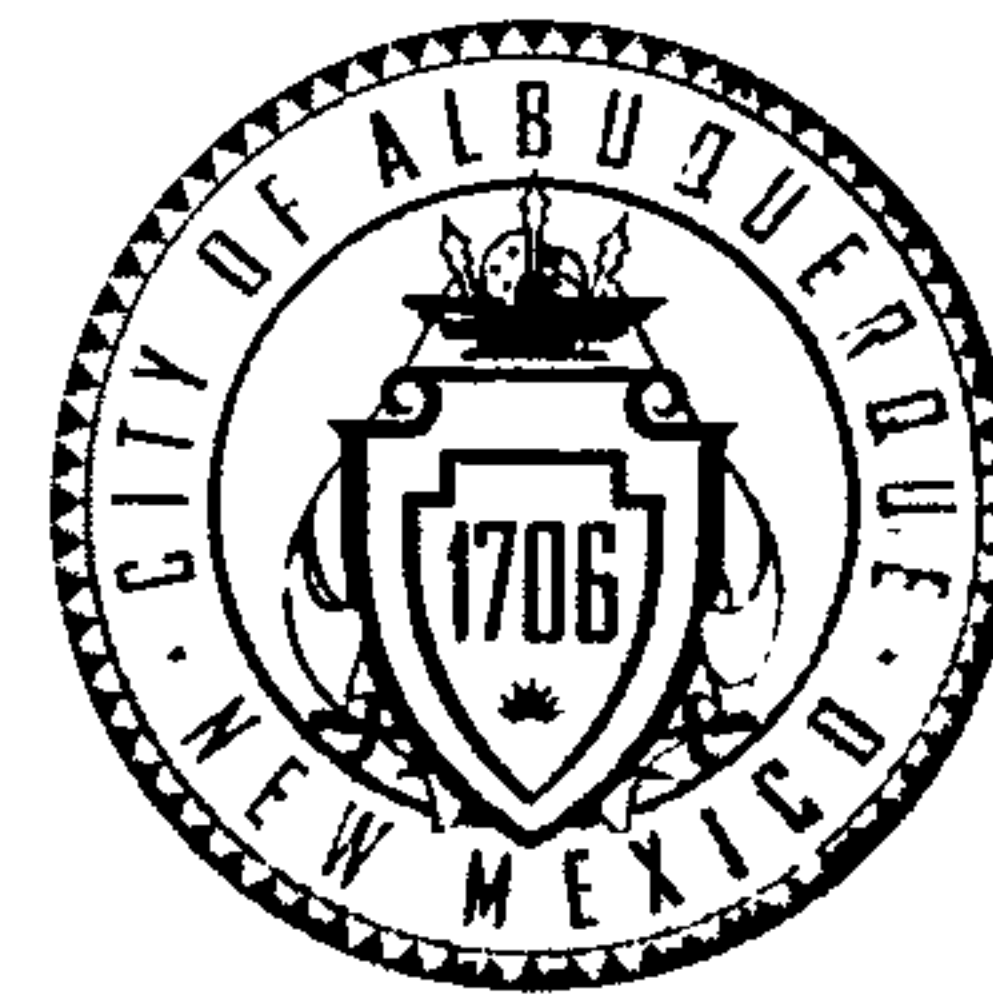
2137 CP-102.dwg Mar 28, 2018

COORS BLVD - TUCSON RD
RETAIL SHOPS
COORS TUCSON LLC

TRAFFIC CIRCULATION LAYOUT PLAN

| | | | | | | | |
|-----------|----------|---------------|--|-------|--|----------|--------|
| Date: | 03-01-16 | No. Revision: | | Date: | | Job No.: | 2137 |
| Drawn By: | BJB/DEC | | | | | | CP-102 |
| Old By: | FCA | | | | | | SH. OF |

CITY OF ALBUQUERQUE



March 16, 2016

Fred Arfman
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

Re: Coors Blvd. – Tucson Rd. Retail Shops
Coors Blvd. and Tucson Rd.
Traffic Circulation Layout
Engineer's/Architect's Stamp 3-10-16 (G11-D031)

Dear Mr. Arfman,

Based upon the information provided in your submittal received ³⁻¹¹⁻¹⁶~~XX-XX-16~~, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the extents of the current phase.
2. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
3. Please detail and dimension all proposed sidewalks, curb cuts, ADA ramps and intersection details. Please show all traffic directional arrows and signs.
4. Identify all existing access easements and rights of way with dimensions.
5. Identify the right of way width, medians, curb cuts, and street widths on Coors Blvd. and Tucson Rd., public alley and shared entrance south of the project site on Coors Blvd.
6. Please list the width and length for all existing and proposed parking spaces.
7. Compact parking spaces are defined and dimensioned as 8 ft. wide by 15 ft. in length. In review of submitted drawing, the parking spaces at the south east corner at 7.5 ft. wide.
8. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
9. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
10. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width. Please clarify and detail the dimension of HC parking spaces.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs. Please show a detail of HC parking signs.

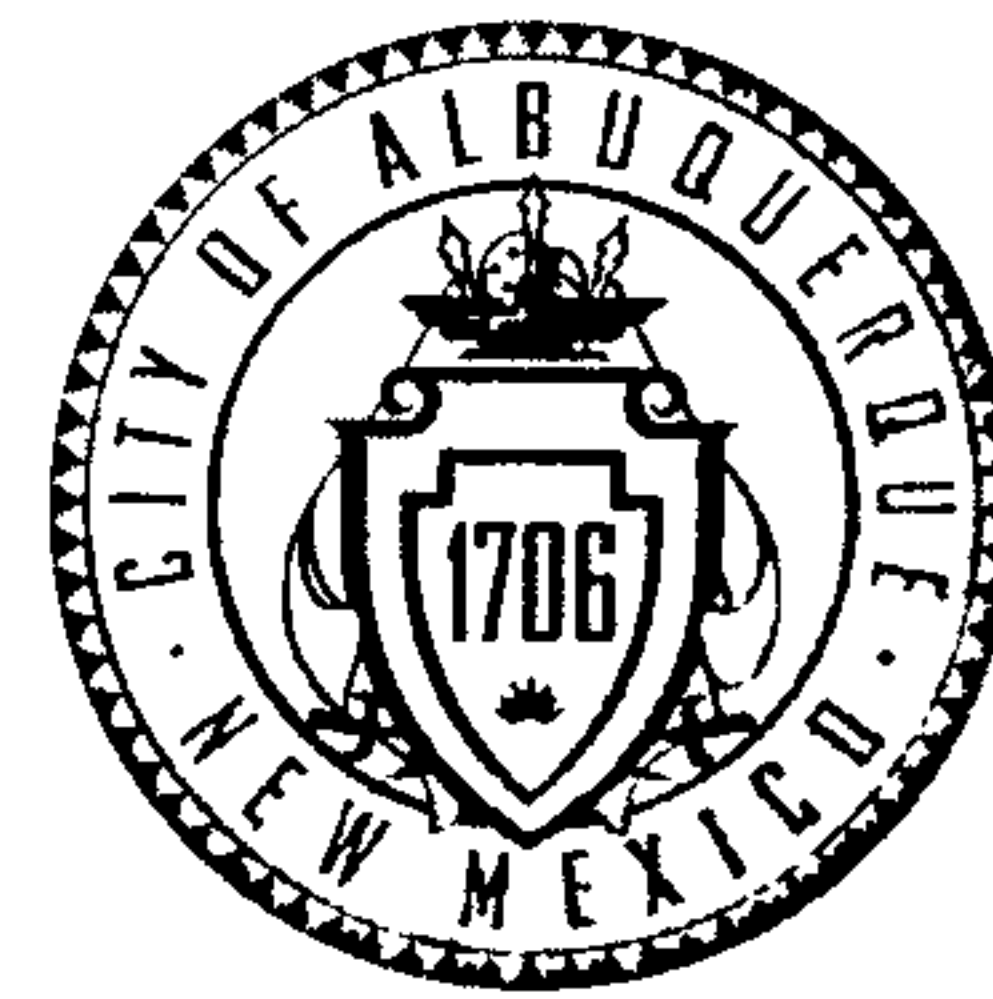
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



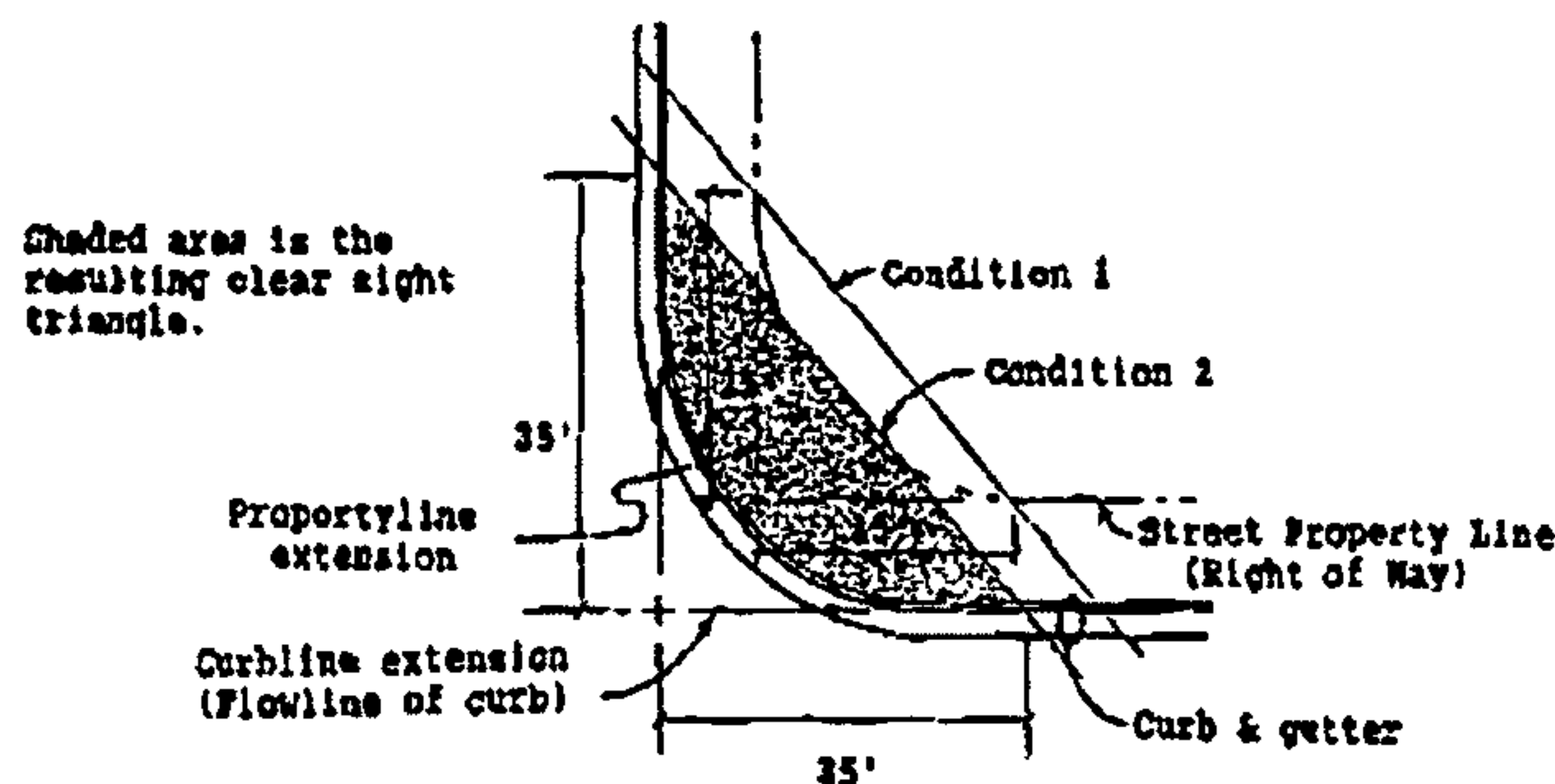
12. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978) Please show this detail.
13. Show all drive aisle widths and radii.
14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Coors Blvd. and Tucson Rd.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details of pathway and HC ramps.
16. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Please call out detail and dimension of curb barrier.
17. Design delivery vehicle route needs to be shown.
18. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
19. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail for the intersection of Coors Blvd. and Tucson Rd. Provide a clear sight details for all entrances and exits off of Coors Blvd. and Tucson Rd. per DPM requirements for residential roads and alley ways.

PO Box 1293

Albuquerque

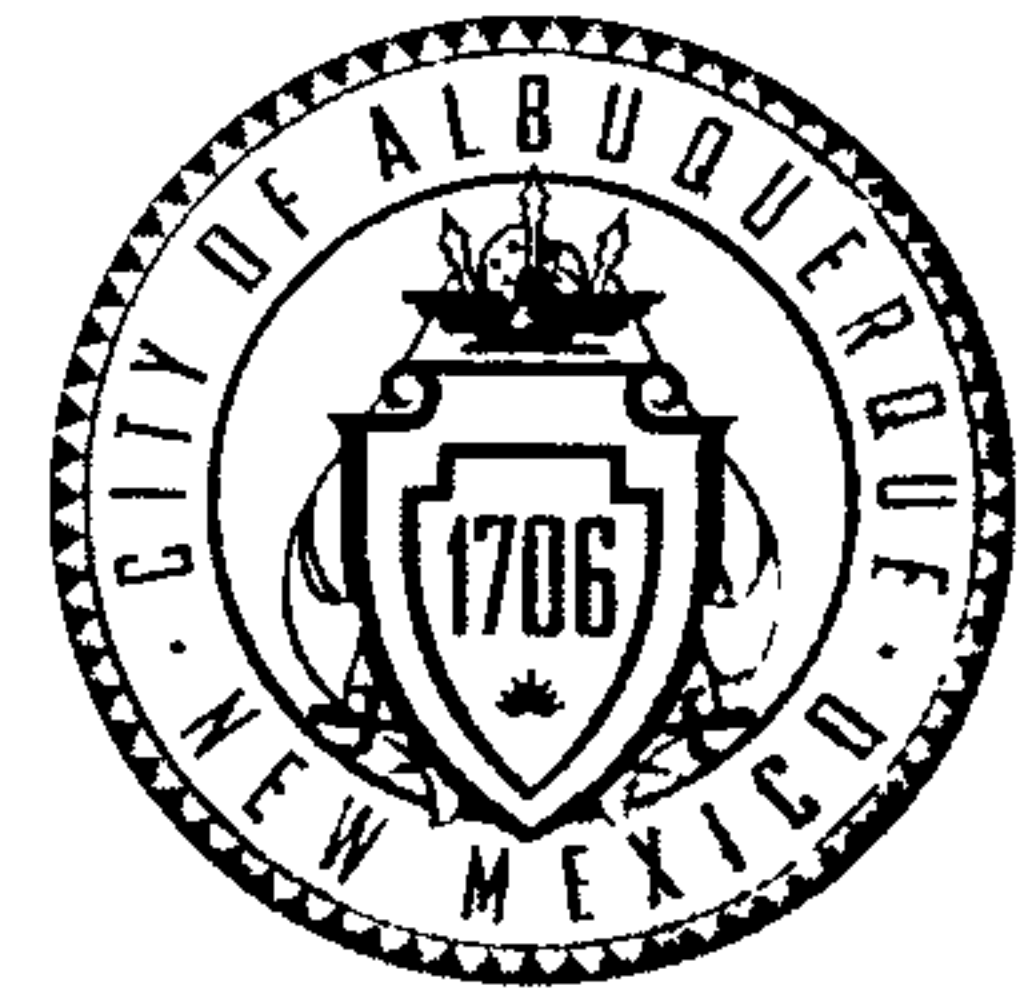
New Mexico 87103

www.cabq.gov



20. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
21. Please include a copy of your shared access agreement with the adjacent property owner.

CITY OF ALBUQUERQUE



22. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
23. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
24. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
25. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

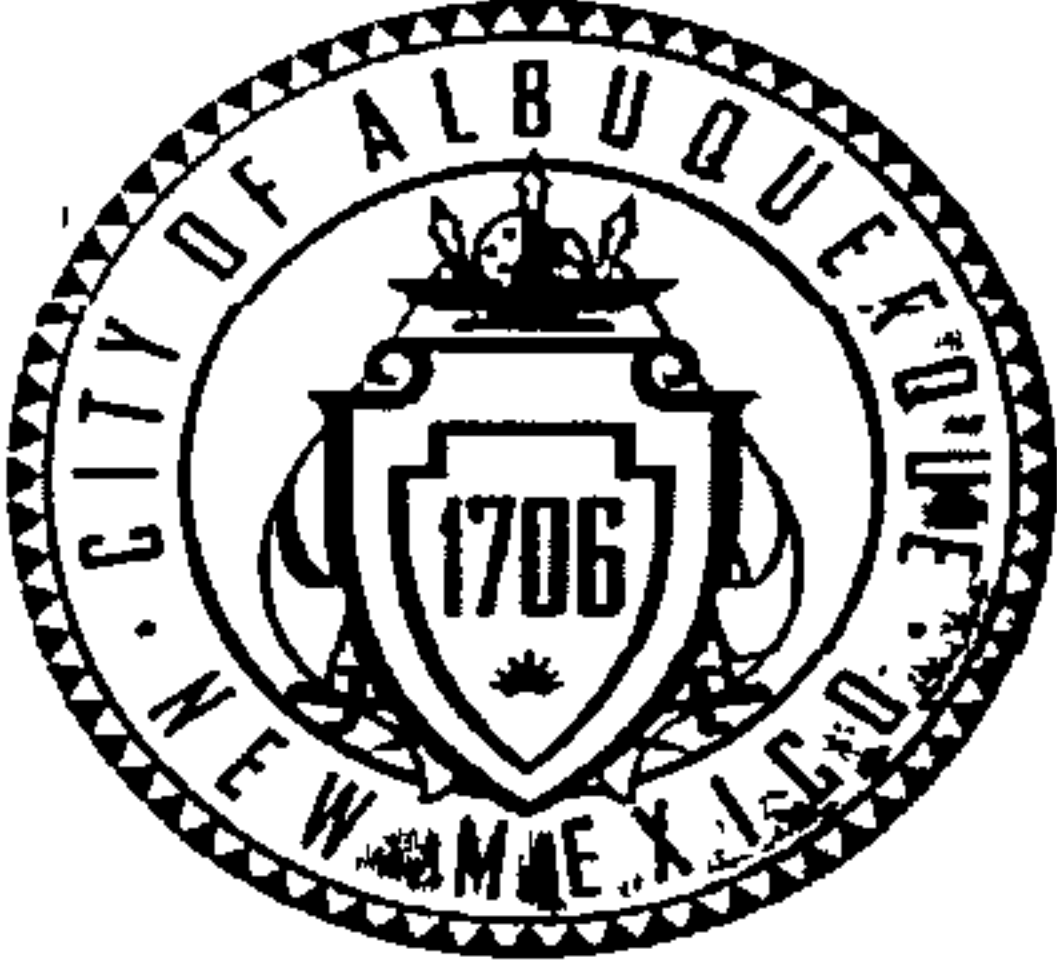
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #: _____ City Drainage #: G11/D031
DRB#: _____ EPC#: _____ Work Order# _____
Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Coors Tucson, LLC Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply.

DEPARTMENT:

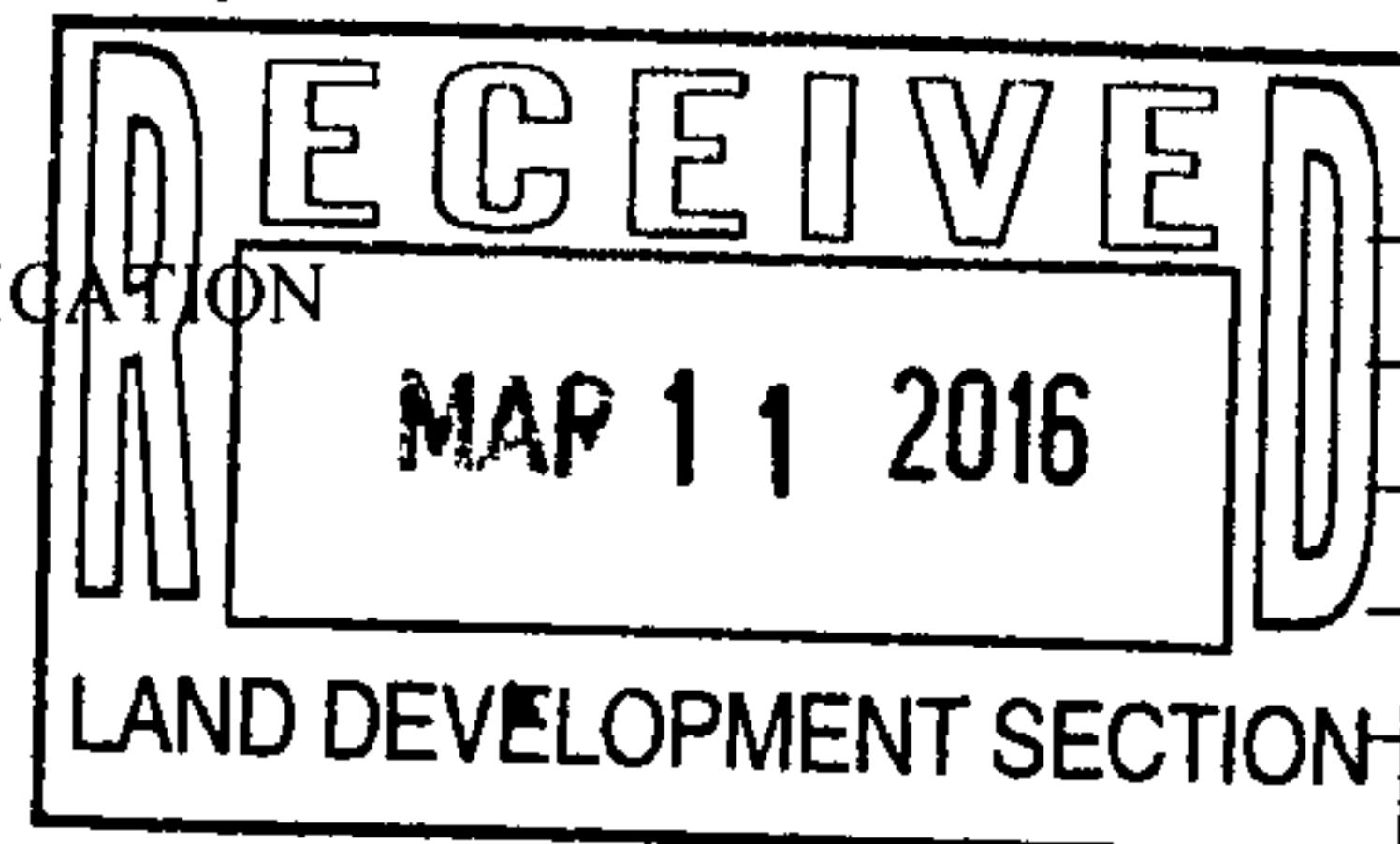
☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

☒ ENGINEER ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)



☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ OTHER (SPECIFY) _____

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: MARCH 11, 2016 By Fred C. Arfman

COA STAFF ELECTRONIC SUBMITTAL RECEIVED _____