

CITY OF ALBUQUERQUE



March 16, 2016

Fred Arfman
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Coors Blvd. – Tucson Rd. Retail Shops
Coors Blvd. and Tucson Rd.
Traffic Circulation Layout
Engineer's/Architect's Stamp 3-10-16 (G11-D031)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received ³⁻¹¹⁻¹⁶~~XX-XX-16~~, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify the extents of the current phase.
2. Please identify all existing buildings, doors, structures, sidewalks, curbs, drive pads, wall and anything that influences the parking and circulation on the site.
3. Please detail and dimension all proposed sidewalks, curb cuts, ADA ramps and intersection details. Please show all traffic directional arrows and signs.
4. Identify all existing access easements and rights of way with dimensions.
5. Identify the right of way width, medians, curb cuts, and street widths on Coors Blvd. and Tucson Rd., public alley and shared entrance south of the project site on Coors Blvd.
6. Please list the width and length for all existing and proposed parking spaces.
7. Compact parking spaces are defined and dimensioned as 8 ft. wide by 15 ft. in length. In review of submitted drawing, the parking spaces at the south east corner at 7.5 ft. wide.
8. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space.
9. The handicap accessible spaces must be a minimum of 8.5 ft. in width.
10. The handicap accessible spaces must include an 8 ft. wide van access aisle; all other aisles should be 5 ft. in width. Please clarify and detail the dimension of HC parking spaces.
11. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "**Violators Are Subject to a Fine and/or Towing.**" Please call out detail and location of HC signs. Please show a detail of HC parking signs.

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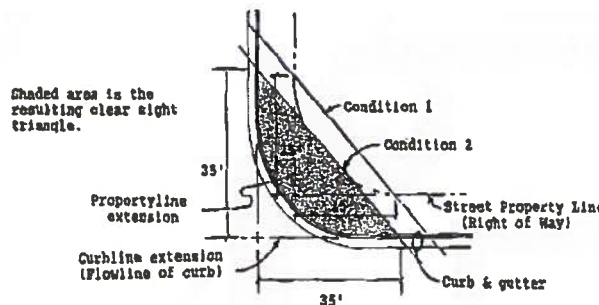
12. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978) Please show this detail.
13. Show all drive aisle widths and radii.
14. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details from Coors Blvd. and Tucson Rd.
15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please clearly show this pathway and provide details of pathway and HC ramps.
16. Provide a min 6" or max 8" high concrete barrier curb or other acceptable barrier between landscaping and parking areas and/or drive aisles. Please call out detail and location of barrier curb. Please call out detail and dimension of curb barrier.
17. Design delivery vehicle route needs to be shown.
18. Service vehicle and/or refuse vehicle maneuvering must be contained on-site; provide a copy of refuse approval.
19. Please provide a sight distance exhibit (see the *Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance*). Please call out this detail for the intersection of Coors Blvd. and Tucson Rd. Provide a clear sight details for all entrances and exits off of Coors Blvd. and Tucson Rd. per DPM requirements for residential roads and alley ways.

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20. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area."
21. Please include a copy of your shared access agreement with the adjacent property owner.

CITY OF ALBUQUERQUE



22. See Chapter 23, Section 6 of the City of Albuquerque *Development Process Manual*, for appropriate drive pad widths.
23. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
24. All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
25. Please include two copies of the traffic circulation layout at the next submittal.

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact Gary Sandoval (505) 924-3675 or me at 924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

\gs via: email
C: CO Clerk, File

New Mexico 87103

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City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Coors Blvd - Tucson Rd Retail Shops Building Permit #: _____ City Drainage #: G11/D031
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract A, Town of Atrisco Grant, Northeast Unit
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Coors Tucson, LLC Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Cartesian Surveys, Inc. Contact: Will W. Plotner
Address: P.O. Box 44414 - Rio Rancho, NM 87174
Phone#: (505) 896-3050 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

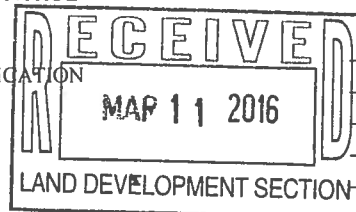
☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ **ENGINEER** ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☒ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

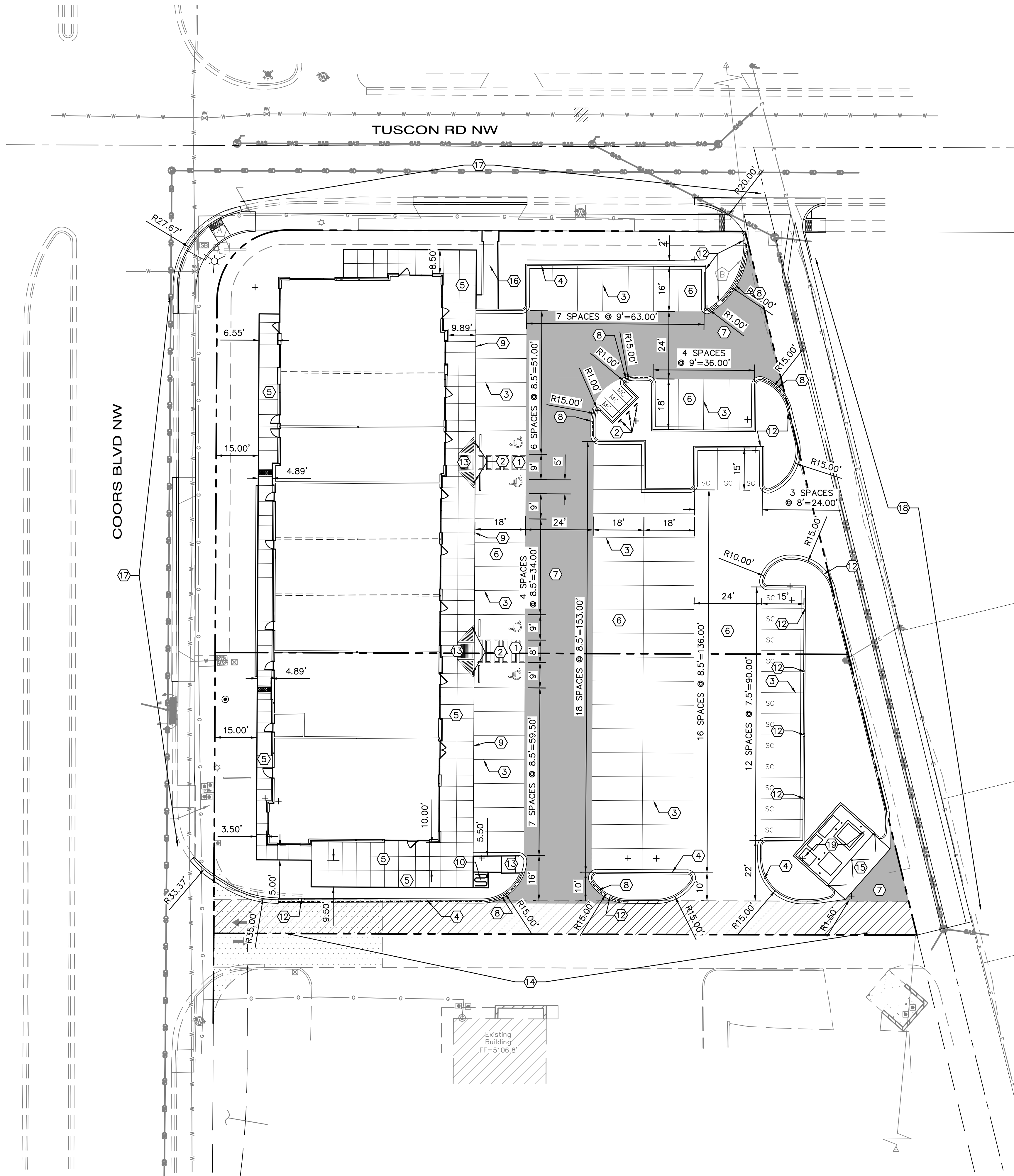


IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: MARCH 11, 2016 By: Fred C. Arfman

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

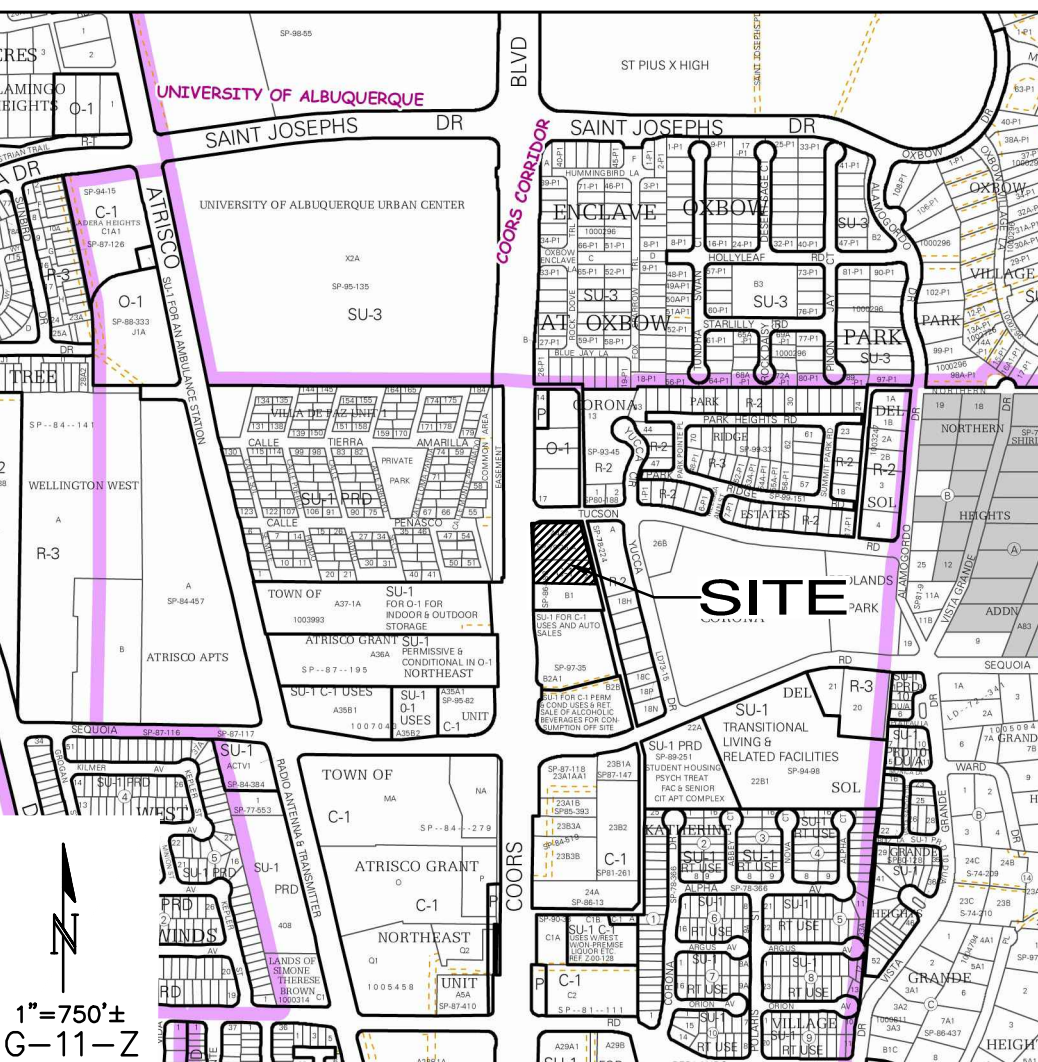
M:\PROJECTS\2100-21-99\2137DWG2137 BUILDING PERMIT\2137 CP-102.dwg, 3/11/2016 10:22:30 AM, GLD



KEYED NOTES

1. REFLECTORIZED PAVEMENT STRIPING & ACCESSIBILITY SYMBOL; SEE DETAIL SHEET CP-501.
2. PARKING SIGNS, SEE DETAIL SHEET CP-501.
3. REFLECTORIZED PAVEMENT MARKING 4" SOLID WHITE STRIPE AT EACH PARKING SPACE.
4. PCC CURB AND GUTTER, SEE DETAIL SHEET CP-501.
5. PCC SIDEWALK, SEE DETAIL SHEET CP-501.
6. LIGHT DUTY ASPHALT PAVING, SEE SECTION SHEET CP-501
7. HEAVY DUTY ASPHALT PAVING, SEE SECTION SHEET CP-501.
8. CURB PAINTED RED WITH 4" SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
9. PCC TURN DOWN SIDEWALK, SEE DETAIL SHEET CP-501.
10. BIKE RACK, SEE DETAIL SHEET CP-501.
11. NOT USED.
12. CURB OPENING, SEE DETAIL SHEET CG-101.
13. PCC ACCESSIBILITY RAMP, SEE DETAIL SHEET CP-501.
14. EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR SHALL NOT BLOCK AREA DURING CONSTRUCTION ACTIVITIES.
15. PCC PAVEMENT, SEE DETAIL SHEET CP-501.
16. CONSTRUCT ADA COMPLIANT HANDICAP ACCESS RAMP WITH FREE-STANDING HANDRAIL EA. SIDE. SEE DETAIL ON SHEET CP-501.
17. CONSTRUCTION WITHIN THE PUBLIC R.O.W. INCLUDING SITE ENTRANCE DRIVE, CONCRETE CURB & GUTTER, PUBLIC SIDEWALK, AND HANDICAP RAMPS SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER.
18. CONSTRUCTION WITHIN THE PUBLIC ALLEY INCLUDING REMOVE / REPLACE ASPHALT PAVEMENT AND NEW CONCRETE ALLEY GUTTER SHALL BE CONSTRUCTED BY PUBLIC WORK ORDER.
19. TRASH ENCLOSURE. SEE ARCHITECTURAL FOR DETAILS.

VICINITY MAP



GENERAL NOTES

- A. SEE SHEET CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- B. ALL CURB RADII ARE 2' UNLESS OTHERWISE DIMENSIONED.
- C. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- D. ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

PARKING ANALYSIS

RESTAURANT AREA:	4,320 SF
PARKING REQUIRED:	42 SPACES (1 SPACE PER 4 SEATS, 168 TOTAL SEATS)
RETAIL AREA:	7,760 SF
PARKING REQUIRED:	39 SPACES (1 SPACE PER 200 SF)
TOTAL PARKING REQUIRED:	81 SPACES
TOTAL PARKING PROVIDED:	81 SPACES
HC PARKING REQUIRED:	2 SPACES 1 SPACE VAN ACCESSIBLE
HC PARKING PROVIDED:	4 SPACES 1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	3 SPACES
SMALL CAR PARKING (25% MAX)	
SMALL CAR PARKING PROVIDED:	15 SPACES (18.5%)

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacivil.com

2137 CP-102.dwg Feb 22, 2016

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COORS BLVD - TUCSON RD
RETAIL SHOPS
COORS TUCSON LLC

TRAFFIC CIRCULATION LAYOUT PLAN

Date:	03-01-16	No. Revision:		Date:		Job No.	2137
Drawn By:	BJB/DEC						CP-102
Ckd By:	FCA						SH. OF