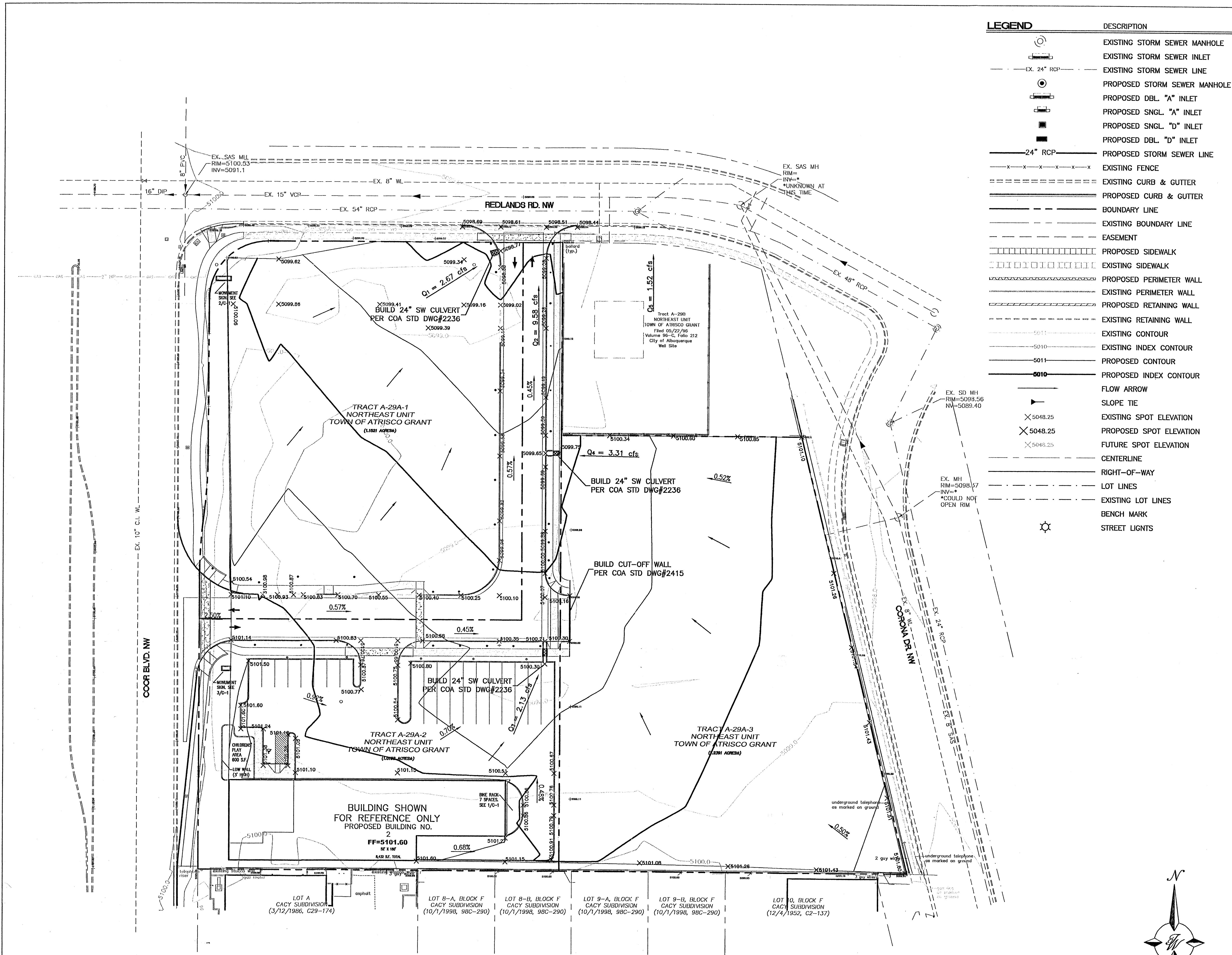
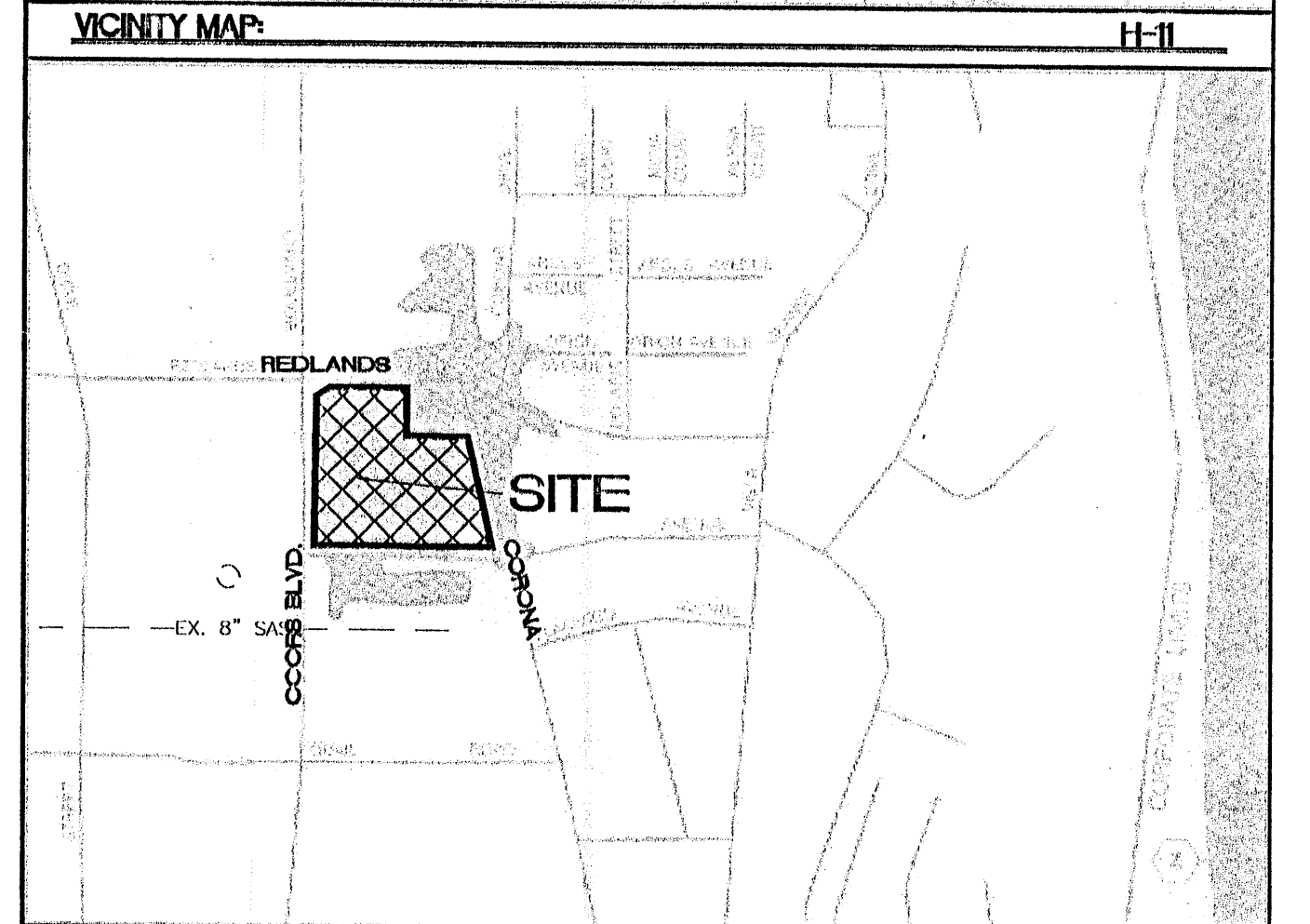
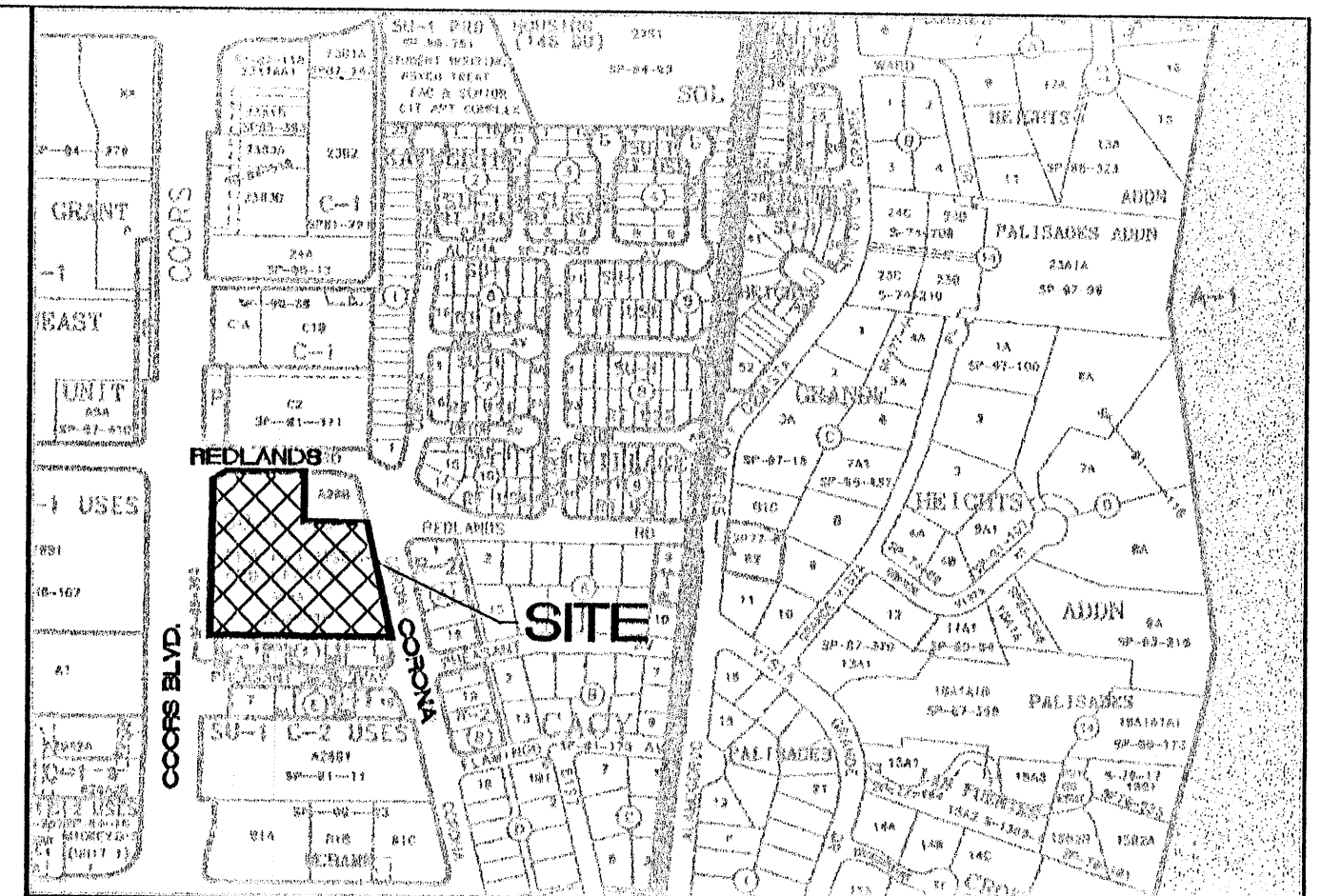




LEGEND	DESCRIPTION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED DBL "A" INLET
	PROPOSED SNGL "A" INLET
	PROPOSED SNGL "D" INLET
	PROPOSED DBL "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	BENCH MARK
	STREET LIGHTS



FEMA MAP: 35001C00927

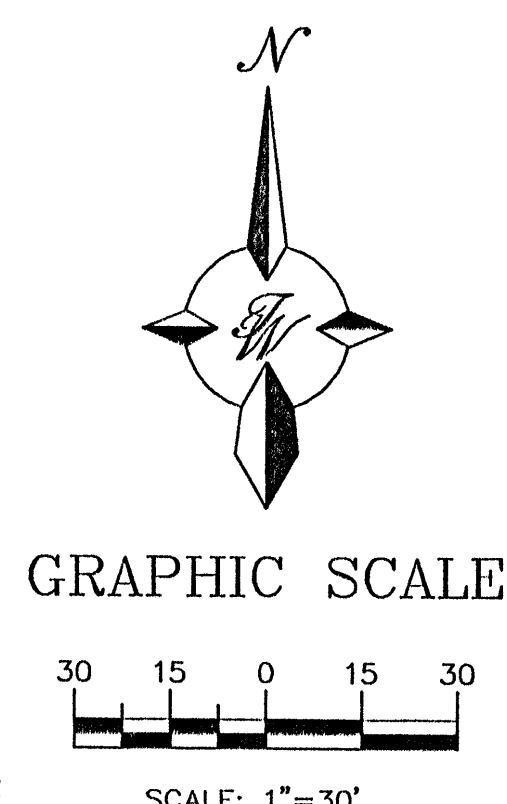
LEGAL DESCRIPTION: TRACT A-29A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL FINISH FLOOR ELEVATIONS SHALL BE GREATER THAN 5101.50' IN ELEVATION.

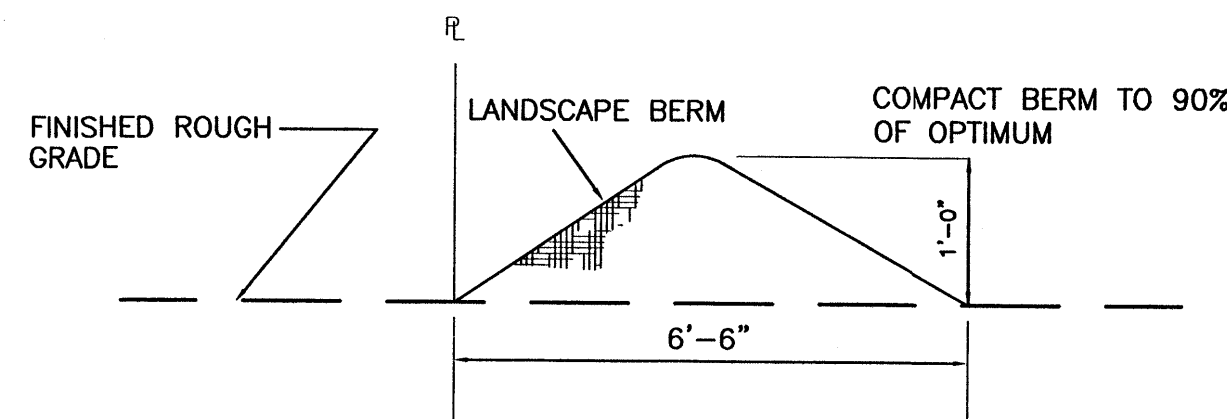
ROUGH GRADING APPROVAL		DATE
ENGINEER'S SEAL	MASTER GRADING AND DRAINAGE PLAN	DRAWN BY MP
	COORS AND REDLANDS, N.W.	DATE 12-20-2002
RONALD P. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	200036GR.DWG
		SHEET # C-2
		JOB # 200036 R

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



RECEIVED
FEB 25 2003
HYDROLOGY SECTION

COOR BLVD. NW



LANDSCAPE BERM DETAIL

TRACT A-29A-1
NORTHEAST UNIT
TOWN OF ATRISCO GRANT

TRACT A-29A-3
NORTHEAST UNIT
TOWN OF ATRISCO GRANT

TRACT A-29A-2
NORTHEAST UNIT
TOWN OF ATRISCO GRANT

FF=5102.00

LOT A
CACY SUBDIVISION
(3/12/1986, C29-174)

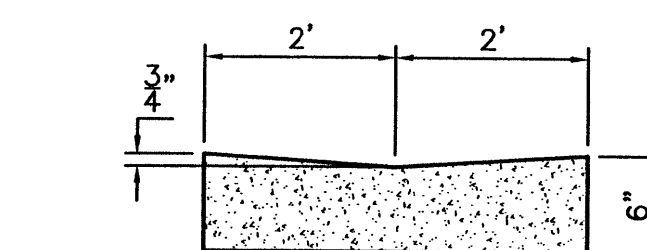
LOT 8-A, BLOCK F
CACY SUBDIVISION
(10/1/1998, 98C-290)

LOT 8-B, BLOCK F
CACY SUBDIVISION
(10/1/1998, 98C-290)

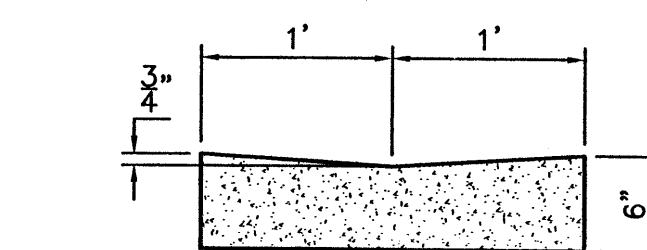
LOT 9-A, BLOCK F
CACY SUBDIVISION
(10/1/1998, 98C-290)

LEGEND

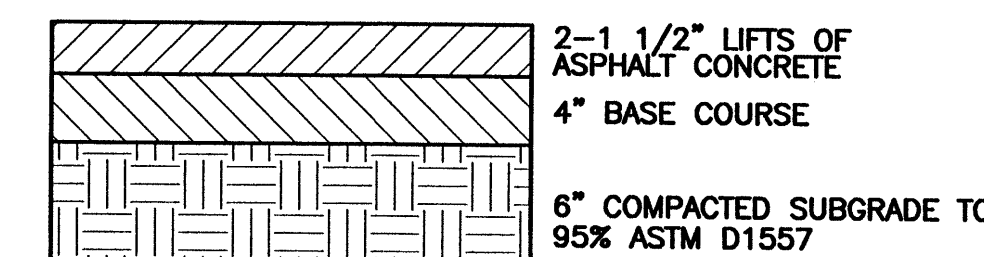
- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PROPOSED PERIMETER WALL
- EXISTING PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- FUTURE SPOT ELEVATION



4' CONCRETE ALLEY GUTTER DETAIL

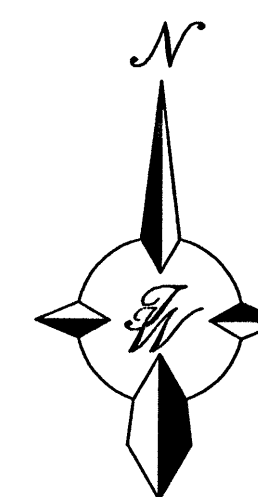


2' CONCRETE ALLEY GUTTER DETAIL

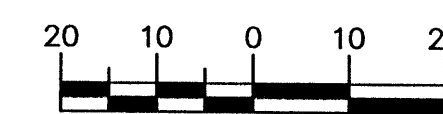


REFER TO SOILS REPORT
FOR ACTUAL PAVING SECTION

PAVING SECTION

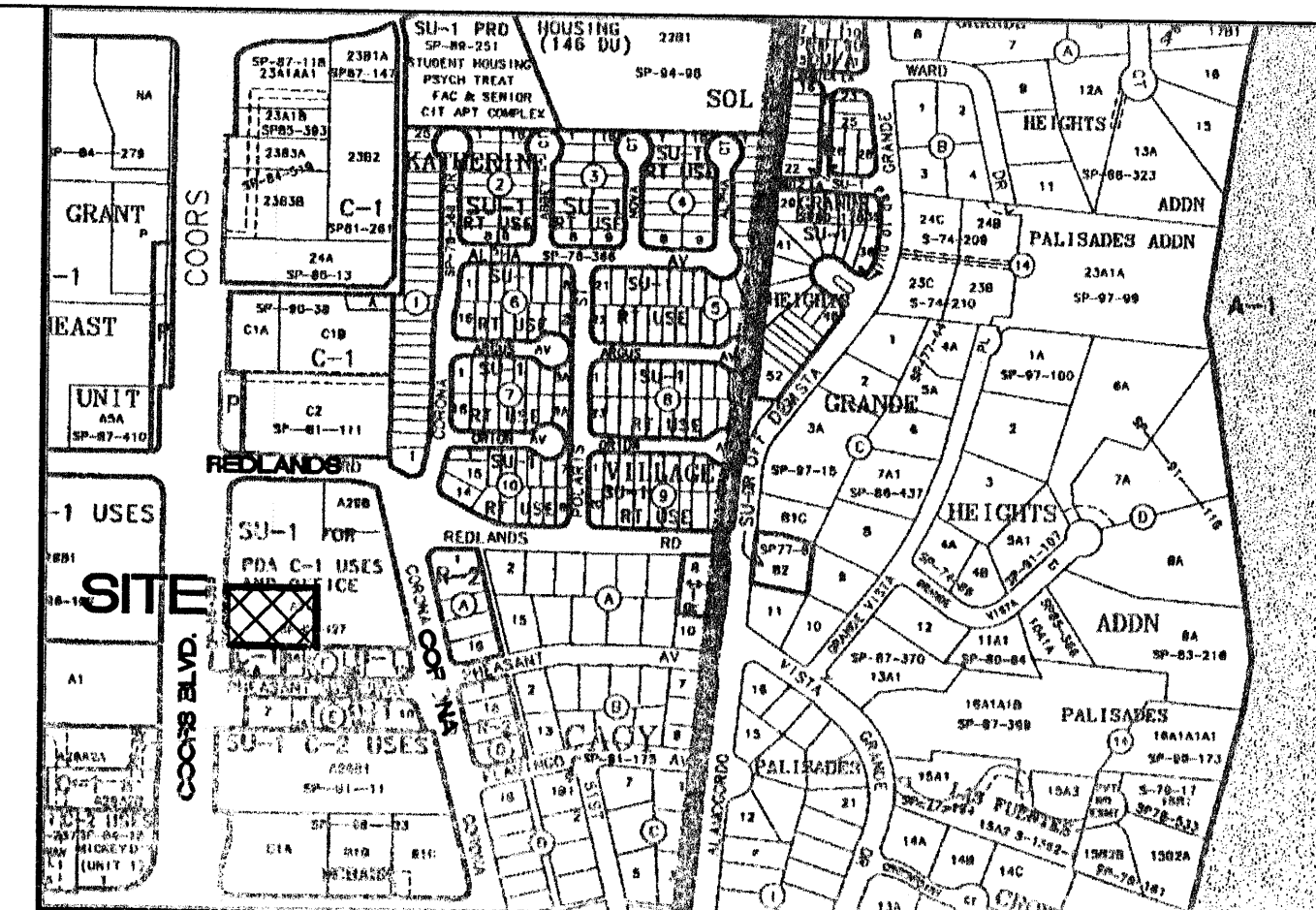


GRAPHIC SCALE

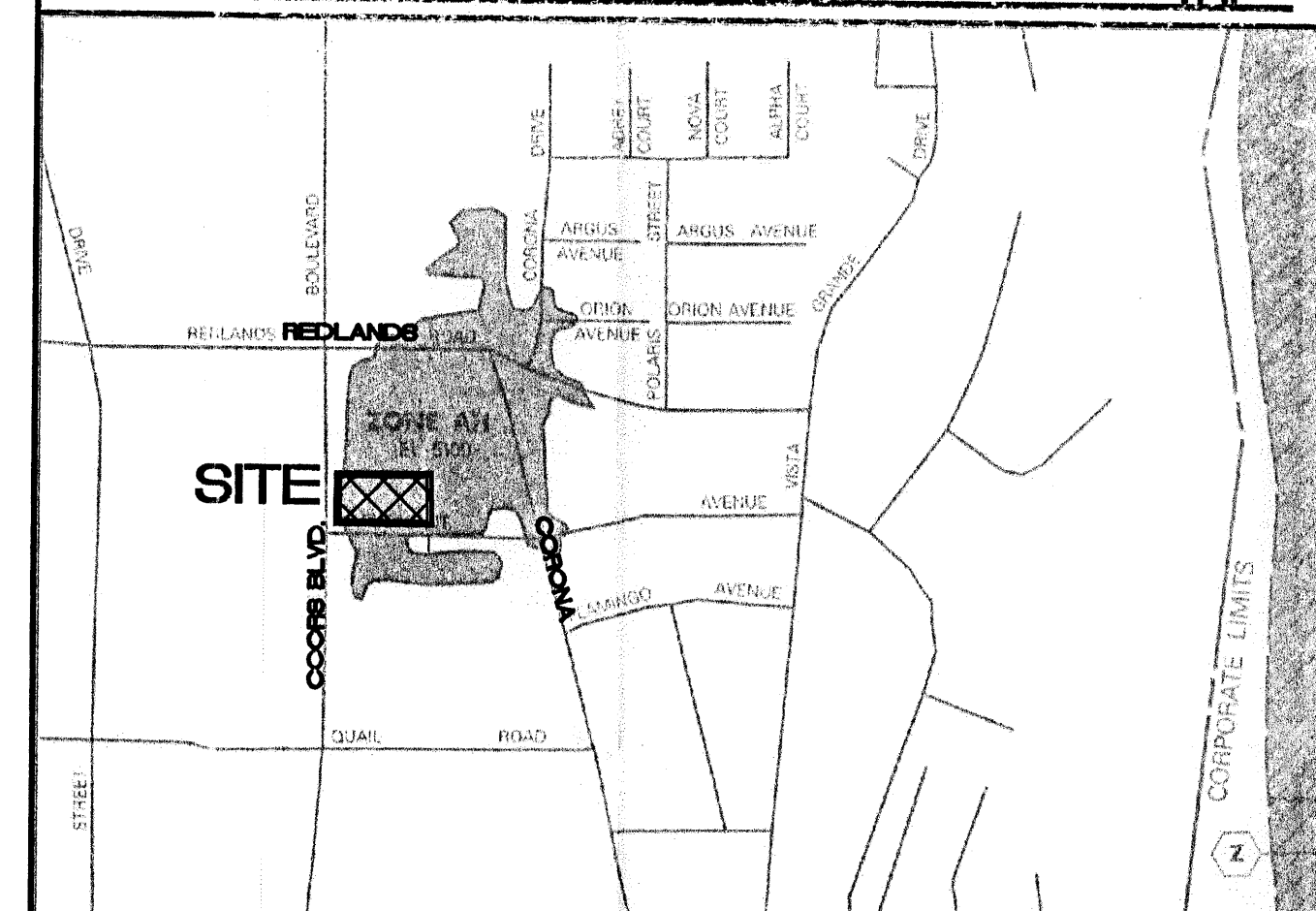


SCALE: 1"=20'

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



VICINITY MAP



FEMA MAP

3500100327

LEGAL DESCRIPTION

TRACT A-29A-2, NORTHEAST UNIT; TOWN OF ATRISCO GRANT

NOTES

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO PREPARE EPA NOTICE OF INTENT PER NEW EPA REGULATIONS.

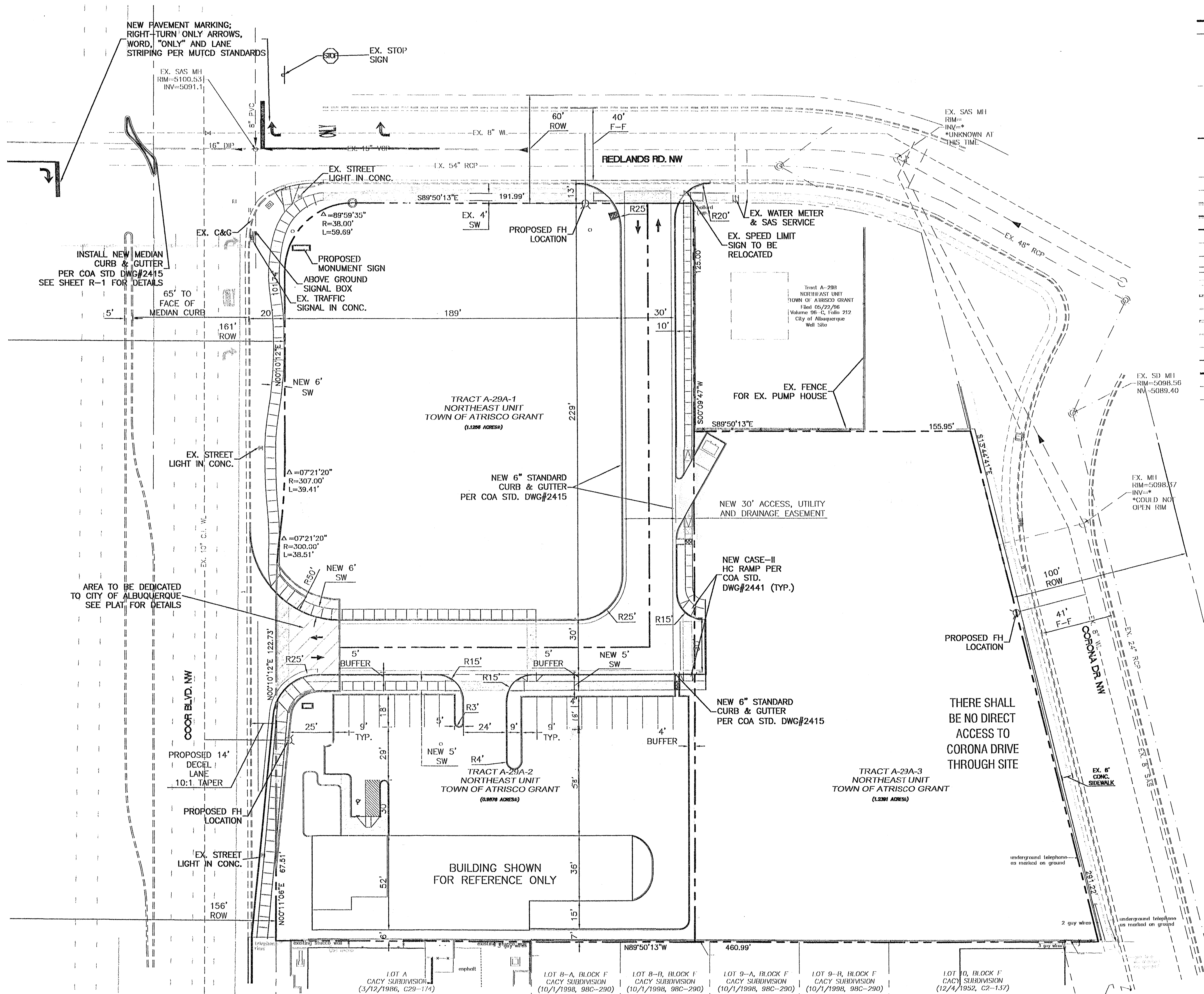
EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL FINISH FLOOR ELEVATIONS SHALL BE GREATER THAN 5101.50' IN ELEVATION.

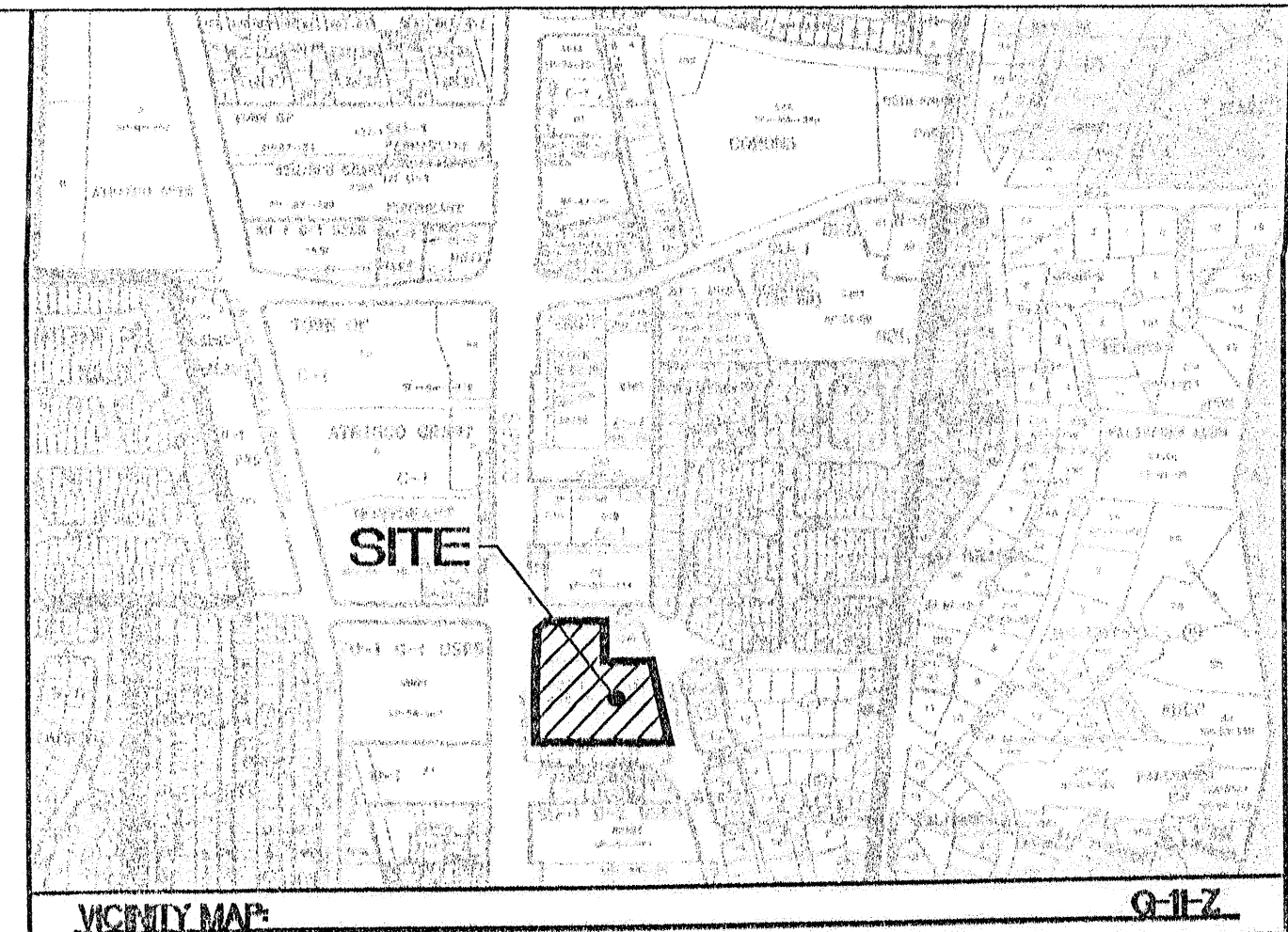
ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	GRADING AND DRAINAGE PLAN	DRAWN BY JDN
	QUALITY CARE CAR CENTER	DATE 02-24-03
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2036VBGR.DWG
		SHEET # C-1
		JOB # 200036VB



LEGEND	DESCRIPTION
○	EXISTING SAS MANHOLE
— EX. 4\" SAS —	EXISTING SANITARY SEWER LINE
●	PROPOSED SAS MANHOLE
8	PROPOSED SAS CLE-ROUT
▶	DIRECTION OF FLOW
— 6\" SAS —	PROPOSED SANITARY SEWER LINE
—	SANITARY SEWER SERVICE LINE
⊗	EXISTING METER
⊗	EXISTING VALVE W/BOX
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING WATER LINE
⊗	PROPOSED METER
⊗	PROPOSED VALVE W/BOX
⊗	PROPOSED FIRE HYDRANT
— 0\" WL —	PROPOSED WATER LINE
⊗	EXISTING STORM SEWER MANHOLE
— EX. 24\" HCP —	EXISTING STORM SEWER LINE
—	EXISTING FENCE
—	EXISTING CURB & GUTTER
—	PROPOSED CURB & GUTTER
—	BOUNDARY LINE
—	EXISTING BOUNDARY LINE
—	EASEMENT
—	PROPOSED SIDEWALK
—	EXISTING SIDEWALK
—	PROPOSED PERIMETER WALL
—	EXISTING PERIMETER WALL
—	PROPOSED RETAINING WALL
—	EXISTING RETAINING WALL
—	CENTERLINE
—	RIGHT-OF-WAY
—	PHASE LINE
—	LANE
—	STRIPING
—	BENCH MARK
—	STREET LIGHTS



- LEGAL DESCRIPTION:**
TRACT A-29-A, NORTHEAST UNIT; TOWN OF ATRISCO GRANT
- NOTES:**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - LIGHT FIXTURES SHALL BE A MAXIMUM OF 20 FEET HIGH WITH FULL CUTOFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL ON SHEET 2/A-1.
 - SIGNAGE SHALL BE CONSISTENT WITH COORS CORRIDOR PLAN AND ACCEPTABLE TO THE PLANNING DIRECTOR. SIGNAGE SHALL BE SHOWN PRIOR TO DRB SUBMITTAL. BUILDING MOUNTED SIGNAGE SHALL BE RESTRICTED TO A 2 FOOT TALL MAXIMUM LETTER (INDIVIDUAL CHANNEL, CAST LETTER, OR NEON) WITH A MAXIMUM OF 6% SIGNAGE AREA OF THE FACADE TO WHICH IT IS APPLIED. THERE SHALL BE NO SIGNAGE FACING ADJUTING RESIDENTIAL.
 - ALL ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - NO BACK LT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BAND.
 - NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS SHALL BE PERMITTED.
 - SITE IS LOCATED ON COORS BOULEVARD WHICH HAS AN EXISTING BIKE LANE AND IS LOCATED ON CITY TRANSIT ROUTES 90(ALL-DAY) & 96 (COMMUTER).

PROJECT NUMBER: 1000051

This plan is consistent with the specific site development plan approved by the Development Review Board (DRB) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

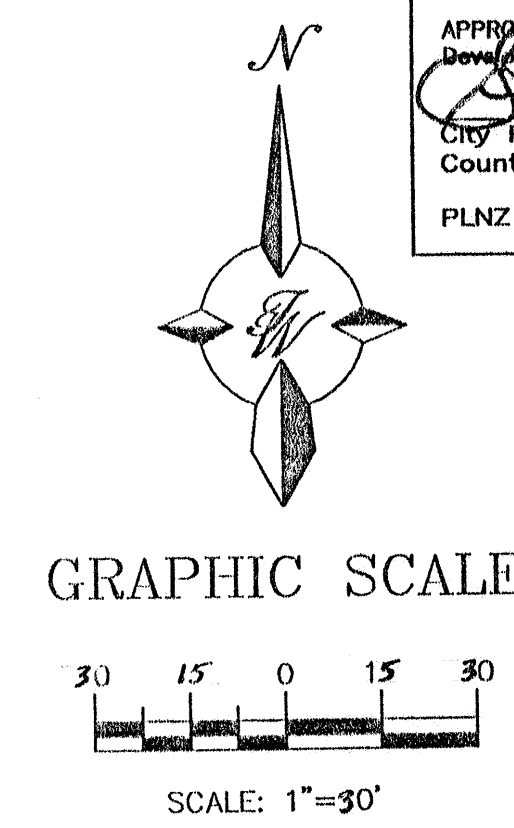
Traffic Engineer, Transportation Division	Date
Public Works & Recreation	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

Solid Waste Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual

Sharon Nelson 1/6/03
City Planner, Albuquerque Bernalillo County Planning Division

PLN2 (10706) 4/96



NOTE: FOR REFERENCE ONLY

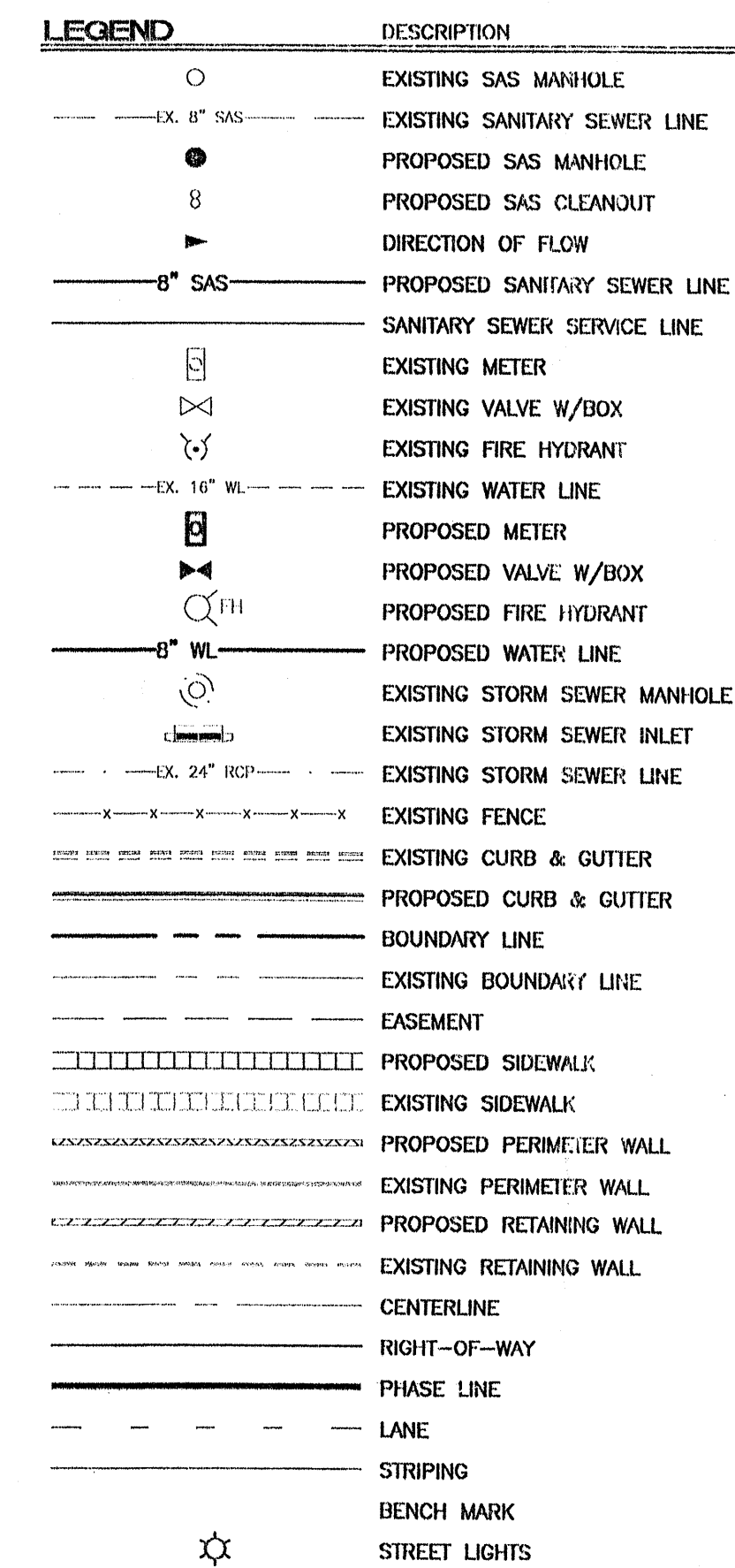
SITE DATA

ZONING:	SU-1 FOR C-1 AND OFFICE
PROPOSED USAGE:	RETAIL & OFFICE USE
MAXIMUM BUILDING HEIGHT:	ALL BLDGS. 26'-0"
LOT AREA:	
TRACT A-29A-1	49,032 SF (1.1256 AC)
TRACT A-29A-2	43,018 SF (0.9876 AC)
TRACT A-29A-3	53,975 SF (1.2391 AC)
DEDICATED R.O.W.	2,531 SF (0.0581 AC)
TOTAL	148,556 SF (3.4104 AC)
BUILDING AREA / SAR:	MAXIMUM 0.25
PARKING:	
PER CITY REQUIREMENTS RECEIVED UPON SUBMITTAL OF SITE PLAN FOR BUILDING PERMITS	

SHEET INDEX

- C-1 SITE PLAN FOR SUBDIVISION
- P-1 PLAT
- C-2 MASTER GRADING & DRAINAGE PLAN
- C-3 MASTER UTILITY PLAN
- L-1 LANDSCAPE PLAN
- R-1 MEDIAN IMPROVEMENTS (FOR REFERENCE ONLY)

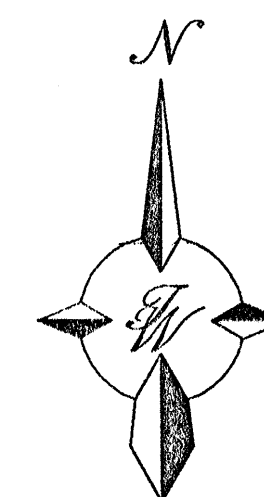
ENGINEER'S SEAL	COORS AND REDLANDS DEVELOPMENT	DRAWN BY MP
	SITE PLAN FOR SUBDIVISION	DATE 01.06.2003
		200036SPS.DWG
		SHEET # C1
	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	JOB # 200036



TRACT A-29-A, NORTHEAST UNIT; TOWN OF ATRISCO GRANT

- A. COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- B. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20 FEET HIGH WITH FULL CUTOFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL ON SHEET 2/A-1.
- C. SIGNAGE SHALL BE CONSISTENT WITH COORS CORRIDOR PLAN AND ACCEPTABLE TO THE PLANNING DIRECTOR. SIGNAGE SHALL BE SHOWN PRIOR TO DRB SUBMITTAL. BUILDING MOUNTED SIGNAGE SHALL BE RESTRICTED TO A 2 FOOT TALL MAXIMUM LETTER (INDIVIDUAL CHARACTERS CAST LETTER, OR NEON) WITH A MAXIMUM OF 6X SIGNAGE AREA OF THE FACADE TO WHICH IT IS APPLIED. THERE SHALL BE NO SIGNAGE FACING ADJUTING RESIDENTIAL.
- D. ALL ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- E. NO BACK LIT, PLASTIC OR VINYL AWNINGS OR ILLUMINATED PLASTIC BAND.
- F. NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS SHALL BE PERMITTED.
- G. SITE IS LOCATED ON COORS BOULEVARD WHICH HAS AN EXISTING BIKE LANE AND IS LOCATED ON CITY TRANSIT ROUTES 90(ALL-DAY) & 96 (COMMUTER).

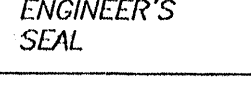
PROJECT NUMBER: _____	
This plan is consistent with the specific site development plan approval by the Development Review Board (DRB) on _____, and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:	
SITE DEVELOPMENT PLAN	
Traffic Engineer, Transportation Division	Date _____
Parks & Recreation	Date _____
Public Works, Water Utilities Division	Date _____
City Engineer, Engineering Division / AMAFCA	Date _____
Solid Waste	Date _____
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date _____
PLNZ (10706) 4/96	


$$\begin{array}{ccccc} 10 & 20 & 0 & 10 & 20 \\ | & | & | & | & | \\ \hline \end{array}$$

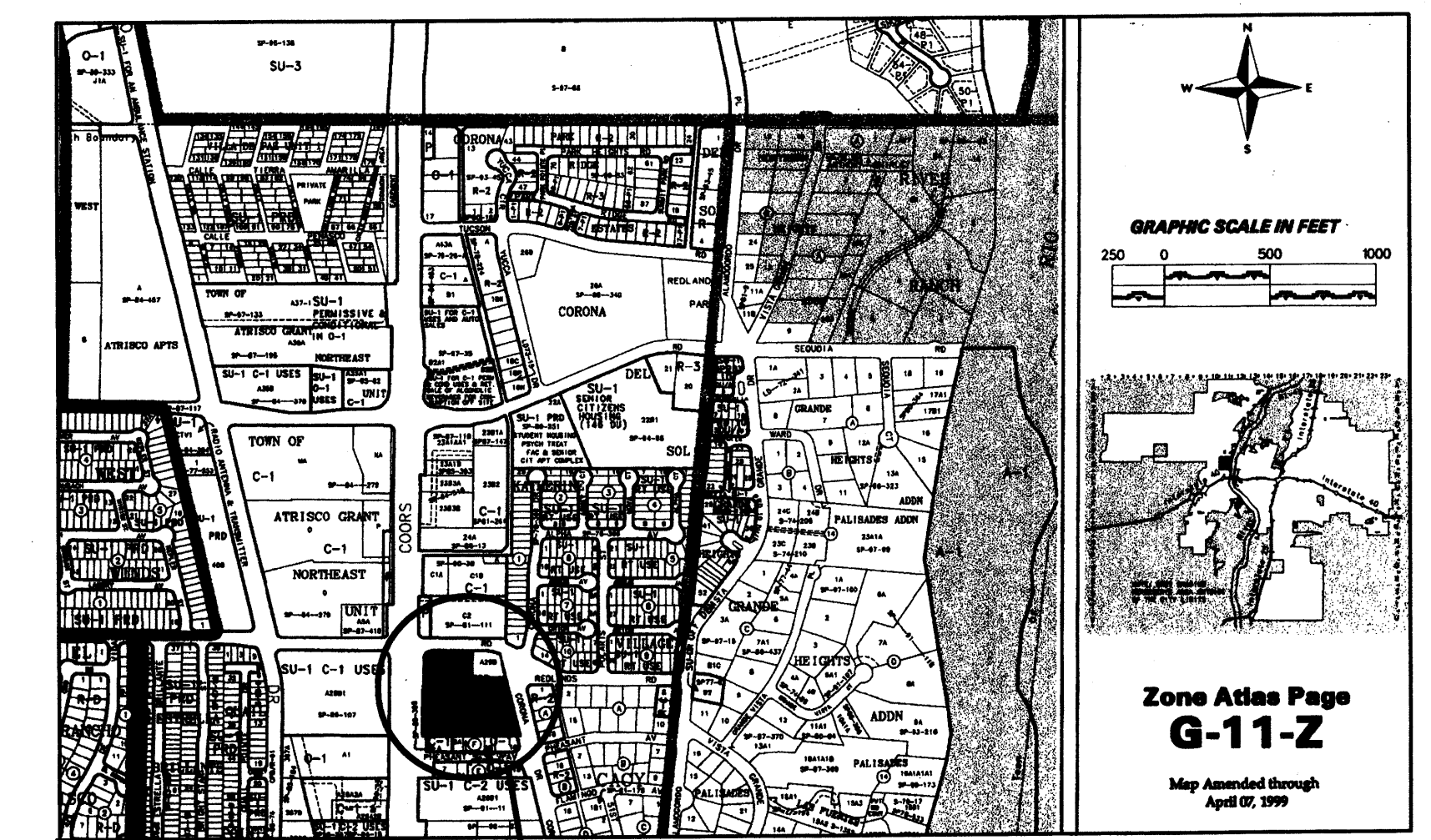
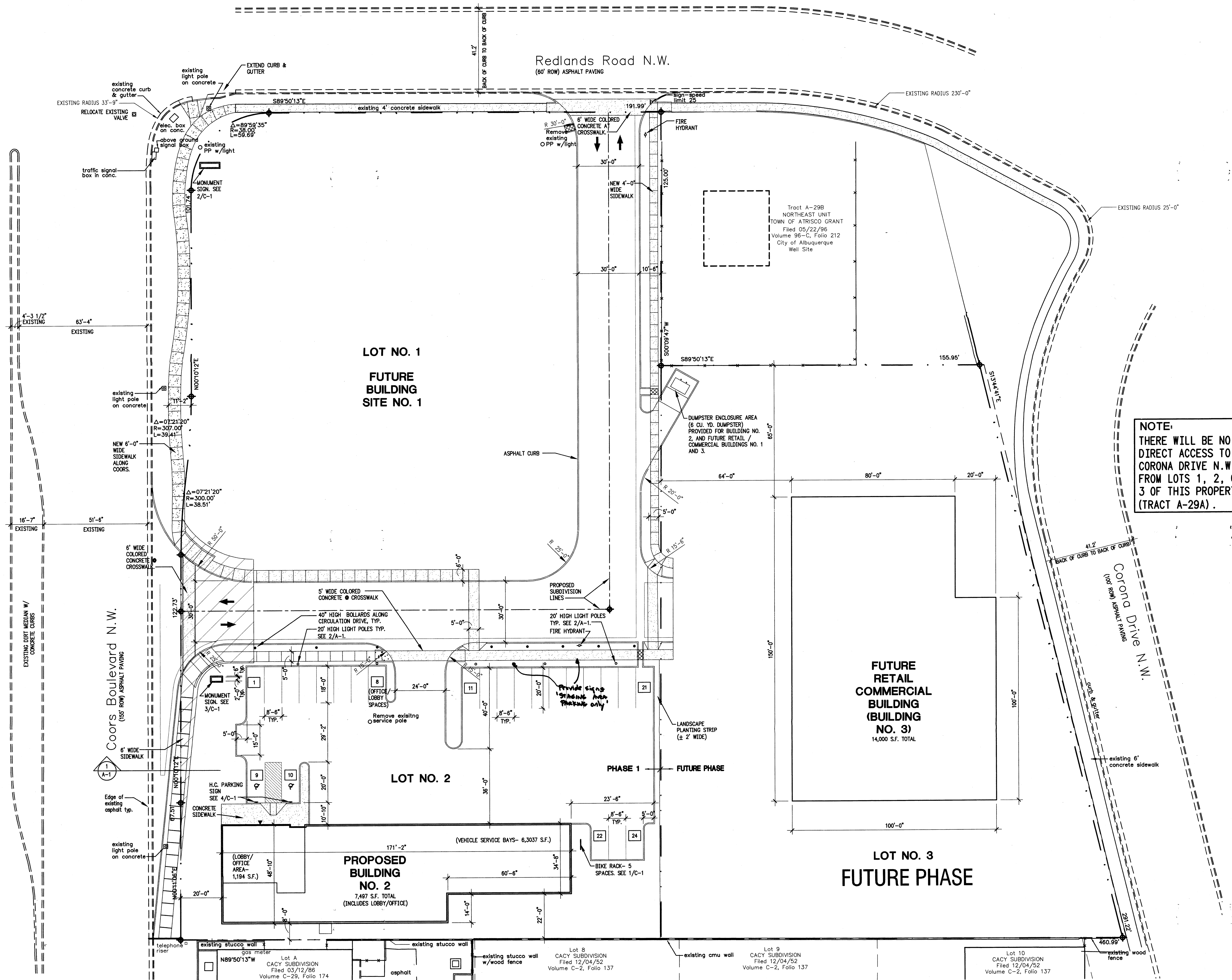
SCALE: 1"=

ZONING:	SU-1 FOR C-1 AND OFFICE
PROPOSED USAGE:	RETAIL & OFFICE USE
MAXIMUM BUILDING HEIGHT:	ALL BLDGS. 26'-0"
LOT AREA:	
TRACT A-29A-1	49,032 SF (1.1256 AC)
TRACT A-29A-2	43,018 SF (0.9876 AC)
TRACT A-29A-3	53,975 SF (1.2391 AC)
DEDICATED R.O.W.	2,531 SF (0.0581 AC)
TOTAL	148,556 SF (3.4104 AC)
BUILDING AREA / SAR:	MAXIMUM 0.25
PARKING:	
PER CITY REQUIREMENTS RECEIVED UPON SUBMITTAL OF SITE PLAN FOR BUILDING PERMITS	

C-1 SITE PLAN FOR SUBDIVISION
P-1 PLAT
C-2 MASTER GRADING & DRAINAGE PLAN
C-3 MASTER UTILITY PLAN
L-1 LANDSCAPE PLAN
R-1 MEDIAN IMPROVEMENTS (FOR REFERENCE ONLY)

ENGINEER'S SEAL 	COORS AND REEDS DEVELOPMENT <i>AS BUILT</i>	7/7/93	DRAWN BY
DAVID SOULE NEW MEXICO 14527 MECHANICAL LICENSED PROFESSIONAL ENGINEER	SITE PLAN FOR SUBDIVISION	DATE 01.06.2003	200036SPS.DWG
RONALD R. BOHANNAN P.E. #7968	TERRA WEST, I.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C1	JOB # 200036

2	Relocate signs per Coors Corridor Plan, orig loc. screened	MP	04/23/2003
1	Added sign near Coors entrance; add sizing for two other	MP	03/17/2003



Location Map
Project Number: 1020651
Application Number: 03 DRB-00285
RECEIVED MAY 21 2004 HYDROLOGY SECTION

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), and that the findings and conditions in the Official Notice; dated _____ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN APPROVAL:

Signature	Date
NA	
Mike McLean	1-25-03
Richard Deane	3-05-03
Roger & Shae	3-11-03
Christina Sandoval	3/5/03
Bruce & Blythe	3/5/03

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
City Planner, Planning Department: 3/5/03

* Environmental Health, if necessary

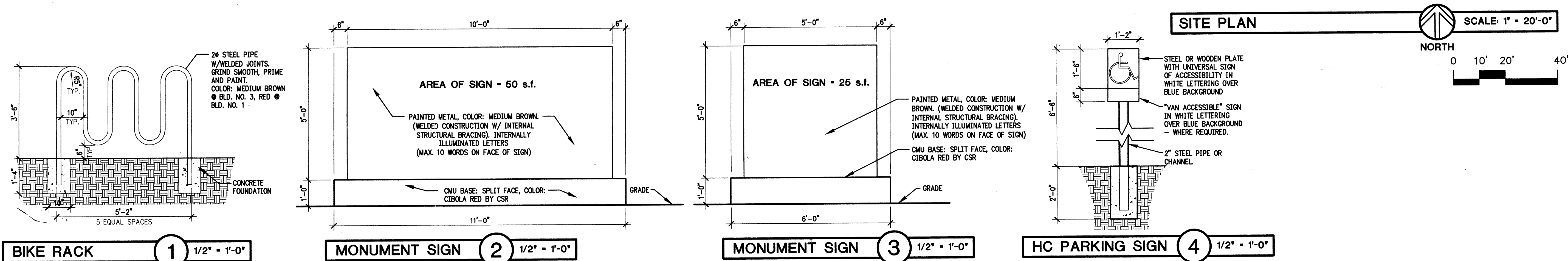
- General Notes**
- COMMON INGRESS/EGRESS, STORM DRAINAGE AND PEDESTRIAN ACCESS ACROSS TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - LIGHT FIXTURES SHALL BE A MAXIMUM OF 20 FEET HIGH WITH FULL CUTOFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. SEE DETAIL ON SHEET 2/A-1.
 - SIGNAGE SHALL BE CONSISTENT WITH COORS CORRIDOR PLAN AND ACCEPTABLE TO THE PLANNING DIRECTOR. SIGNAGE SHALL BE SHOWN PRIOR TO DRB SUBMITTAL. BUILDING MOUNTED SIGNAGE SHALL BE RESTRICTED TO A 2 FOOT TALL MAXIMUM LETTER (INDIVIDUAL CHANNEL, CAST LETTER, OR NEON) WITH A MAXIMUM OF 66 SIGNAGE AREA OF THE FACADE TO WHICH IT IS APPLIED. THERE SHALL BE NO SIGNAGE FACING ADJUTING RESIDENTIAL.
 - ALL ROOFTOP EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM NEARBY PROPERTIES. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - NO BACK LIT, PLASTIC OR VINYL ANNINGS OR ILLUMINATED PLASTIC BAND.
 - NO OUTDOOR LOUDSPEAKERS OR OTHER AMPLIFIED PUBLIC ADDRESS SYSTEMS SHALL BE PERMITTED.
 - GRADE ELEVATIONS ON THIS PLAN REFERENCE +100.0' FINISH FLOOR ELEVATION OF BUILDING NO. 2.

Site Data

LEGAL DESCRIPTION: TRACT A-29A, N.E. UNIT, TOWN OF ATRISCO	
LOT AREA: TRACT A-29A	148,585 S.F.
CURRENT ZONING: SU-1 PDA C-1 USES AND OFFICES	BUILDING NO.2 1,194 S.F./200 = 6 SPACES REQUIRED (FOR LOBBY/OFFICE AREA) 6,303 S.F./1,000 = 7 SPACES REQUIRED
PROPOSED USAGE AND BUILDING AREA:	13 SPACES REQUIRED FOR BUILDING NO.2
FUTURE BUILDING NO.1 11,500 S.F.	24 SPACES PROVIDED (INCLUDES 2 H.C. SPACES)
SITE AREA BUILDING NO.1 50,214 S.F.	NO. OF BICYCLE SPACES REQUIRED: 1 PER 20 PARKING SPACES PROVIDED 20/20 = 1 BICYCLE SPACES REQUIRED
BUILDING NO.2 VEHICLE NEIGHBORHOOD SERVICE CENTER 1,194 S.F. LOBBY/OFFICE AREA 6,303 S.F. SERVICE BAYS 7,497 S.F. TOTAL	NO. OF BICYCLE SPACES PROVIDED: 1 RACK, RACK HAS 5 SPACES
SITE AREA BUILDING NO.2 38,171 S.F.	LANDSCAPE CALCULATIONS:
FLOOR AREA RATIO = BUILDING AREA = 7,497 S.F. LOT AREA 38,171 S.F. = 0.2	LOT NO. 2 TOTAL LOT AREA 38,171 S.F. TOTAL BUILDING AREA 7,497 S.F. NET TOTAL AREA 30,674 S.F.
FUTURE COMMERCIAL-RETAIL BUILDING AREA (BUILDING NO. 3) 14,000 S.F.	LANDSCAPE REQUIREMENT = 15%
LOT NO. 3 FUTURE COMMERCIAL-RETAIL SITE AREA 60,198 S.F.	TOTAL LANDSCAPE REQUIRED = 4,601 S.F. TOTAL LANDSCAPE PROVIDED = 9,402 S.F.

Sheet Index:

- C-1 SITE PLAN FOR BUILDING PERMIT: BUILDING NO. 2
- C-2 CONCEPTUAL GRADING PLAN FOR BUILDING PERMIT: BUILDING NO. 2
- C-3 MASTER UTILITY PLAN FOR BUILDING PERMIT: BUILDING NO. 2
- L-1 LANDSCAPE PLAN
- A-1 EXTERIOR BUILDING ELEVATIONS: BUILDING NO. 2 / SITE SECTIONS



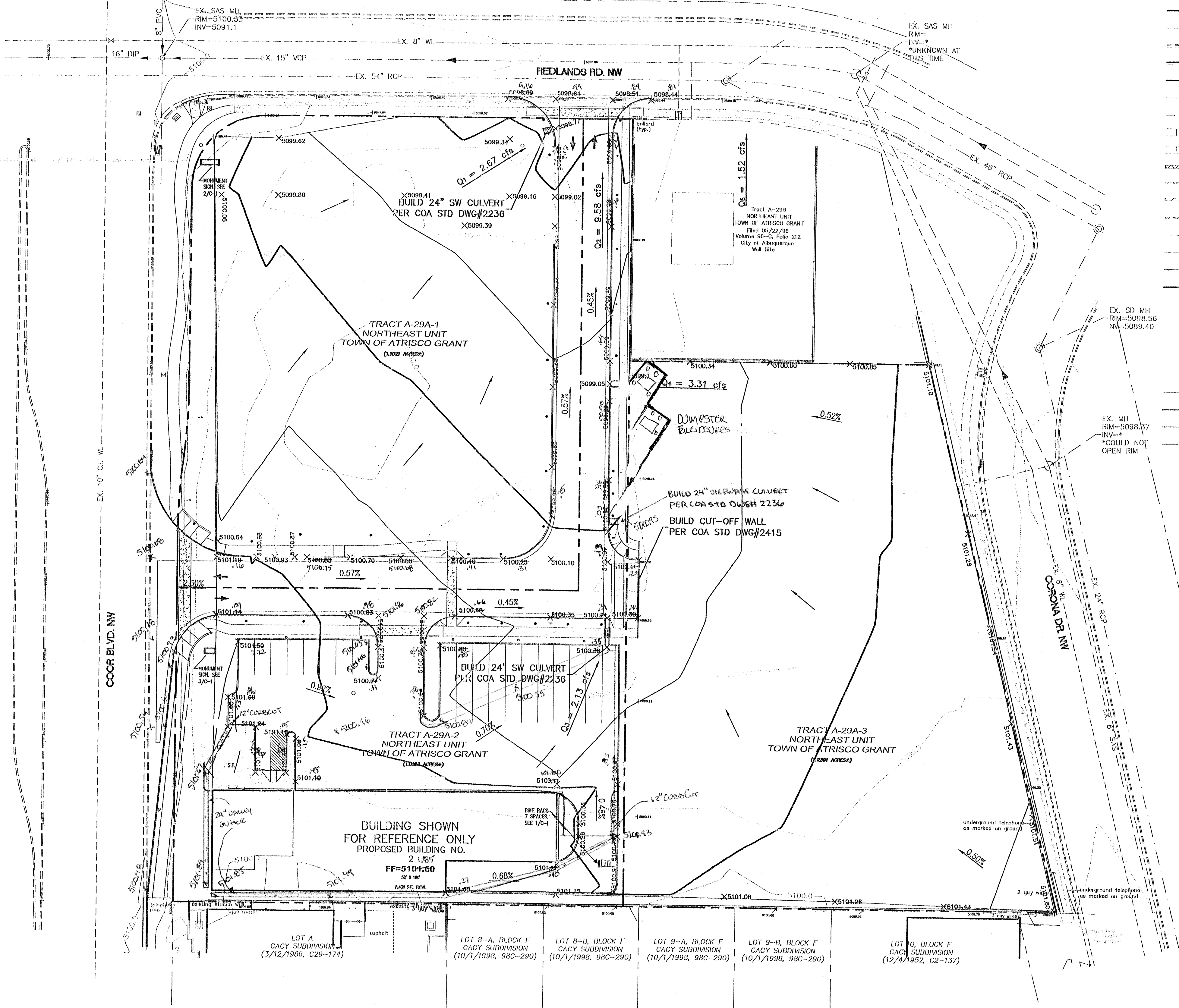
LEE GAMESKY ARCHITECTS P.C.
2412 MILES ROAD SE ALBUQUERQUE, NM 87106
505.842.8865 FAX 842.1893
lga@gwsdp.com

COORS / REDLANDS DEVELOPMENT
Owner: TIJERAS LLC
Albuquerque, New Mexico

PROJECT ARCHITECT: LEE GAMESKY, AIA
Date: 14 FEBRUARY, 2003

SITE PLAN FOR BUILDING PERMIT: BUILDING NO. 2

By: [Signature] File: Siteplan for Permit.dwg Sheet of 1 C-1



LEGEND	DESCRIPTION
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER INLET
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED DBL. "A" INLET
	PROPOSED SNGL. "A" INLET
	PROPOSED SNGL. "D" INLET
	PROPOSED DBL. "D" INLET
	PROPOSED STORM SEWER LINE
	EXISTING FENCE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EXISTING BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	PROPOSED PERIMETER WALL
	EXISTING PERIMETER WALL
	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	FLOW ARROW
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	FUTURE SPOT ELEVATION
	CENTERLINE
	RIGHT-OF-WAY
	LOT LINES
	EXISTING LOT LINES
	BENCH MARK
	STREET LIGHTS

DRAINAGE CERT. W/SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

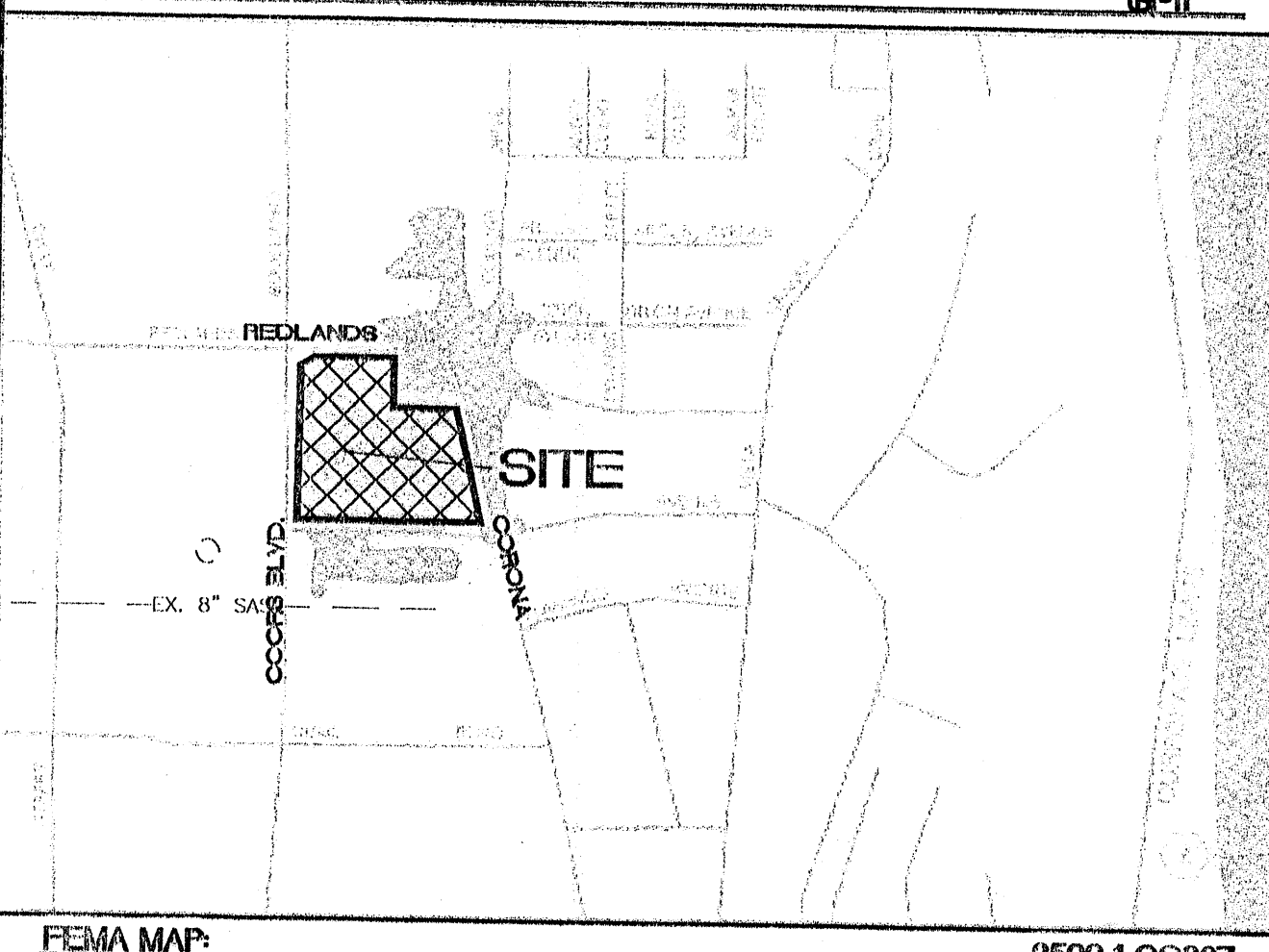
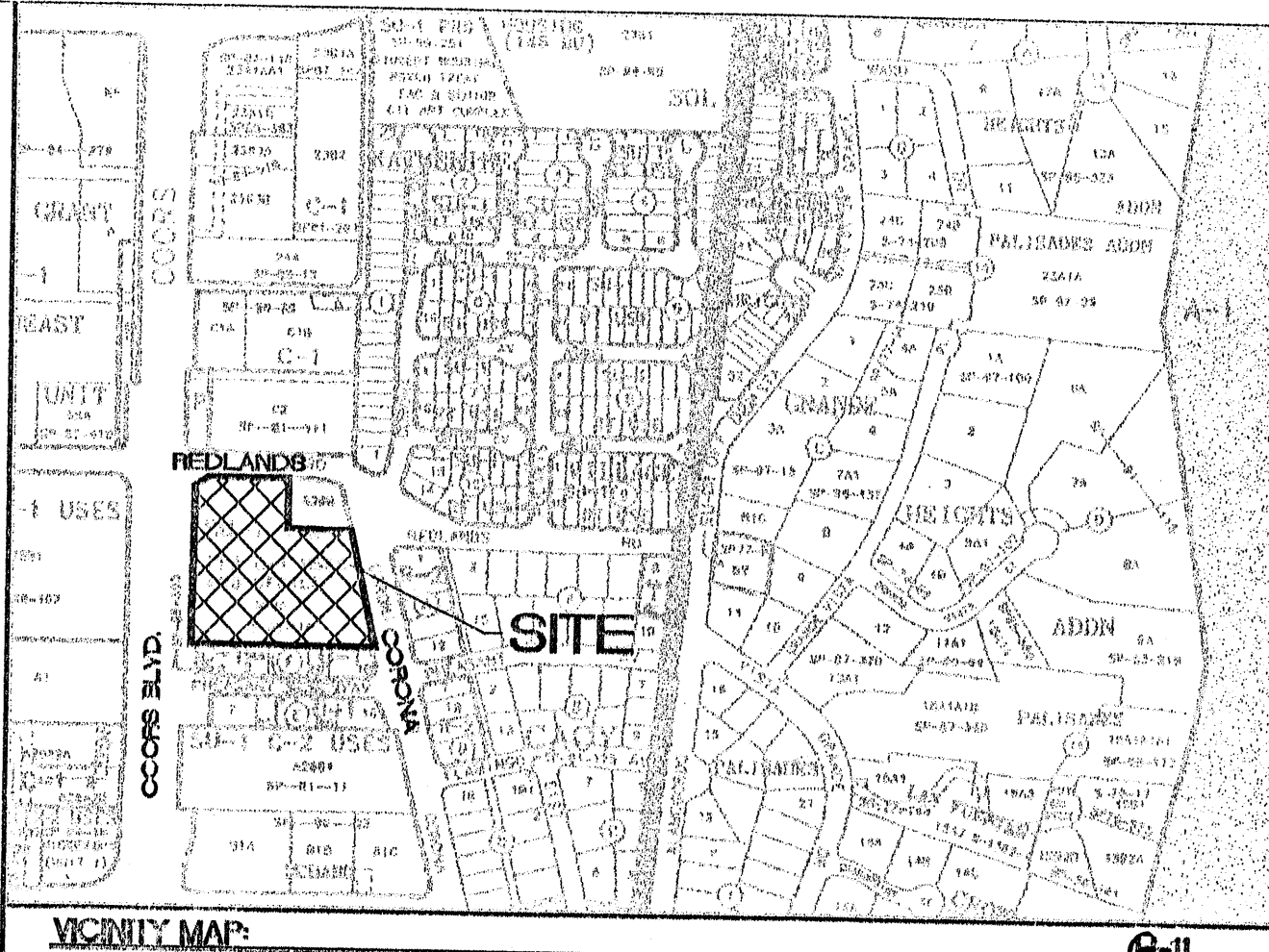
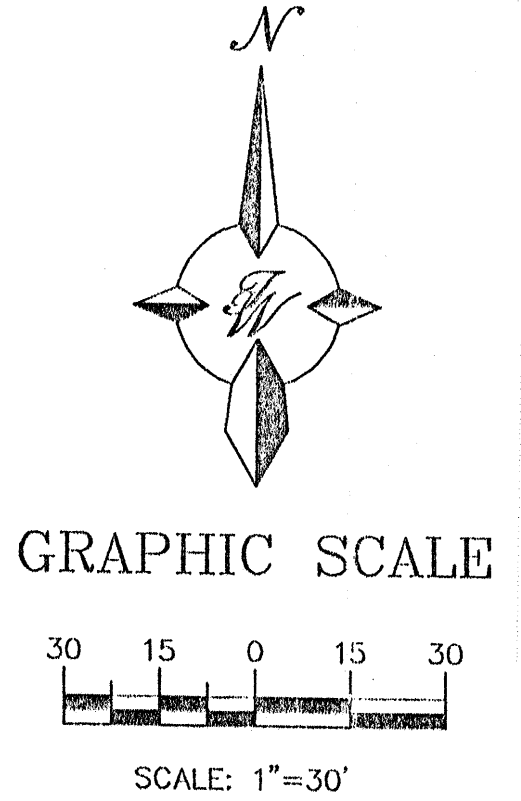
I, RONALD R. BOHANNAN, N.M.P.E. 7868, OF THE FIRM TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/28/01. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY LARRY MEDRANO, N.M.P.S. 11993, OF THE FIRM PRECISION SURVEYS.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/13/04 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF DRAINAGE FOR CERTIFICATE OF OCCUPANCY.

NOTE: EXCEPTIONS HERE: NO EXCEPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

[Signature] N.M.P.E. DATE 5/13/04



LEGAL DESCRIPTION
TRACT A-29A, NORTHEAST UNIT, TOWN OF ATRISCO GRANT

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL FINISH FLOOR ELEVATIONS SHALL BE GREATER THAN 5101.50' IN ELEVATION.

ROUGH GRADING APPROVAL		DATE MAY 14 2004	
ENGINEER'S SEAL	MASTER GRADING AND DRAINAGE PLAN		DRAWN
	COORS AND REDLANDS, N.W.		DATE 12-20-2002
	TERRA WEST, I.C.		200036GR.DWG
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET # C-2
RONALD R. BOHANNAN P.E. #7868		JOB # 200036 R	

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.