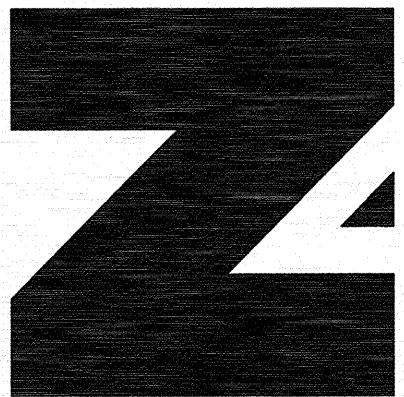




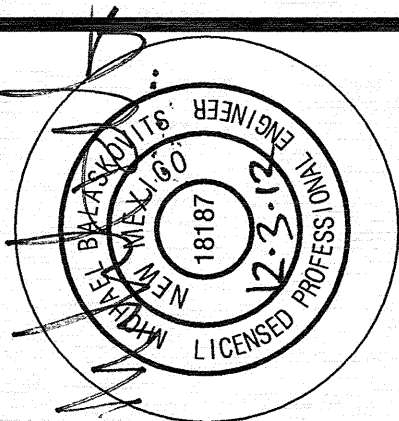
NELSON ARCHITECT, LTD
330 S FAIRBANK ST. ADDISON IL 60101
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Desert Hills Healthcare

(5310) 5200 SEQUOIA RD. NW, ALBUQUERQUE, NM 87120

Residential Treatment Facility

Bohannon & Huston



#	Issued	Date
1	Design Review	2012-07-27
2	Permit and Pricing	2012-10-05
3	Construction	2012-12-03
4		
5		
6		
7		
8		
9		
10		

Drawn/Checker	ECT	Approver	CTH/ABR	2012-11-19
Sheet Name	GRADING AND DRAINAGE PLAN			
Sheet Number	C1.0			

C1.0



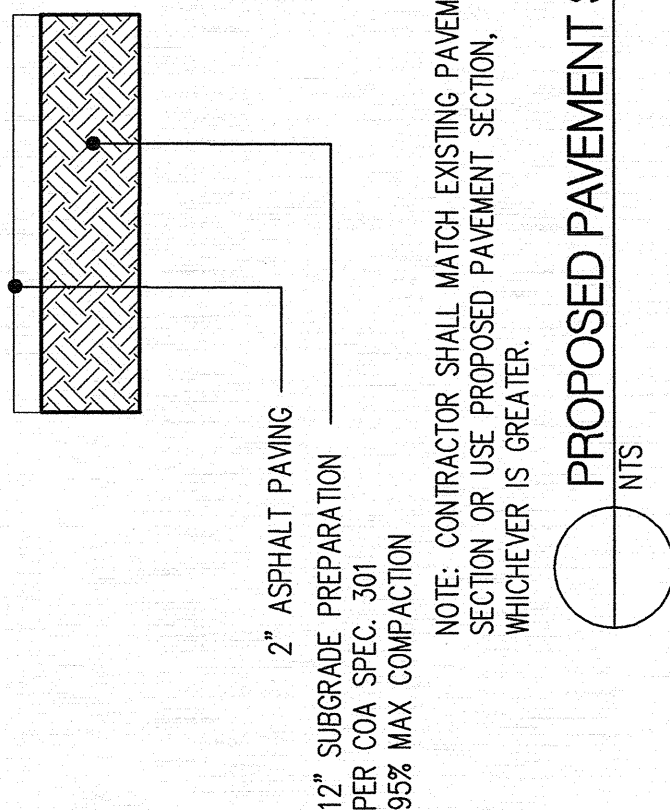
VICINITY MAP - ZONE MAP G-11

BENCH MARK

- 10-G11 CITY OF ALBUQUERQUE CONTROL 1/4" METALLIC DISK STAMPED "MCS BM 10-G11" EMBEDDED TO TOP OF CONCRETE DRIP INLET NORTH SIDE OF SEQUOIA RD. 16.0 FEET EAST OF THE ONE CURB RETURN. AT THE INTERSECTION OF CORDOVA AND SEQUOIA RD NW.
 - 12-H11 CITY OF ALBUQUERQUE CONTROL 3/4" ALUMINUM DISK SET FLUSH WITH THE TOP OF THE CURB AND STAMPED "12-H11 1987"
- NORTHING: 146759.02 (NAD 83)
EASTING: 150544.30 (NAD 83)
RECORD ELEVATION: 5104.854 (NAVD 1988)

KEYED NOTES

1. INSTALL NEW 4" WIDE CONCRETE VALLEY GUTTER PER COA
2. STANDARD DRAWING 2421.
3. NEW PAVING PER PAVING SECTION THIS SHEET.
4. WATER HARVESTING AREA.



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOLOGICAL INVESTIGATION" ALL OTHER WORK SHALL, UNLESS SPECIFICALLY NOTED OTHERWISE, BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS" (SECOND PRIORITY), SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (QAS) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE CITY, STATE, AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SITE AND FILL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE 4'-0" FROM PLAIN ELEVATIONS. PAV ELEVATION SHALL BE 1/4'-0" FROM BUILDING PLAIN ELEVATION.
9. ALL PROPOSED CONTIGUOUS SELECT TOP OF PAVEMENT ELEVATIONS IN THE PAVING AREA AND MUST BE ADJUSTED FOR MEANS AND SEASONS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- TO-TOP OF CURB FLOW LINE
- EXISTING FINISHED GRADE
- PROPOSED FINISHED GRADE
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK
- PROPOSED RETAINING WALL
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- NEW ASPHALT PAVING