

# CITY OF ALBUQUERQUE



June 17, 2016

Michael Balaskovits  
Bohannon Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

**Re: Desert Hills Modernization  
5310 & 5200 Sequoia NW  
Request for Certificate of Occupancy- Transportation Development  
DRB Approval dated 3-28-14 (G11-D051)  
Certification dated 6-14-16**

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 6-14-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

**This letter substitutes the previous CO approval for incorrect address submitted as 5310 Sequoia NW(G11D048).**

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Desert Hills Modernization Building Permit #: \_\_\_\_\_ City Drainage #: G11D048  
DRB#: 1001386 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 22-A & 22-B-1 Corona Del Sol Subdivision  
City Address: 5310 Sequoia Rd. NW, Albuquerque, NM 87120

Engineering Firm: Bohannon Huston, Inc Contact: Michael Balaskovits  
Address: 7500 Jefferson St. NE Albuquerque, NM 87109  
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: Desert Hills Contact: Carol Bickelman  
Address: 5310 Sequoia Rd. NW, Albuquerque, NM 87120  
Phone#: (505) 836-7330 Fax#: (505) 836-7425 E-mail: carol.bickelman@yfce.com

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

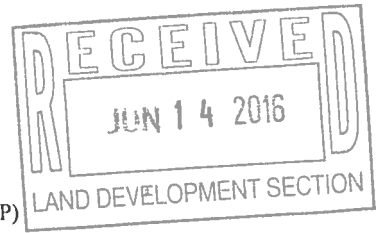
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided  
DATE SUBMITTED: 6-14-2016 By: Mike Balaskovits, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

June 14, 2016

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

Ms. Racquel Michel, P.E.  
Transportation Development Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification – **Submittal** for the Remaining Campus at Desert Hills (East and West Buildings)

Dear Racquel:

Enclosed for your review is the DRB approved Site Plan dated March 28<sup>th</sup>, 2014 and the building permit site plan, engineering stamp date 6-20-2014 which included some minor adjustments and additional detail to the approved DRB plan. These changes can be found based on the red clouds on the plan set.

I visited the site on June 14, 2016 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan specific to the Campus as a whole. The remainder of the improvements previously highlighted in a separate TCL certification dated May 13, 2015 have been completed which include the park area and basketball courts. Furthermore, the existing 10' chain link fence along the south and east ends of the building has been replaced with a 10' high wooden fence in accordance with the approved AA dated 3-27-2015.

Your review and approval is requested for a **Permanent Certificate of Occupancy** for the buildings noted above. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

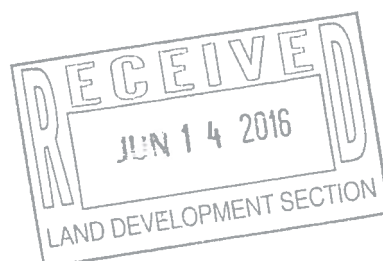
Sincerely,



Michael J. Balaskovits, P.E.  
Project Manager  
Community Development & Planning



MJB  
Enclosure

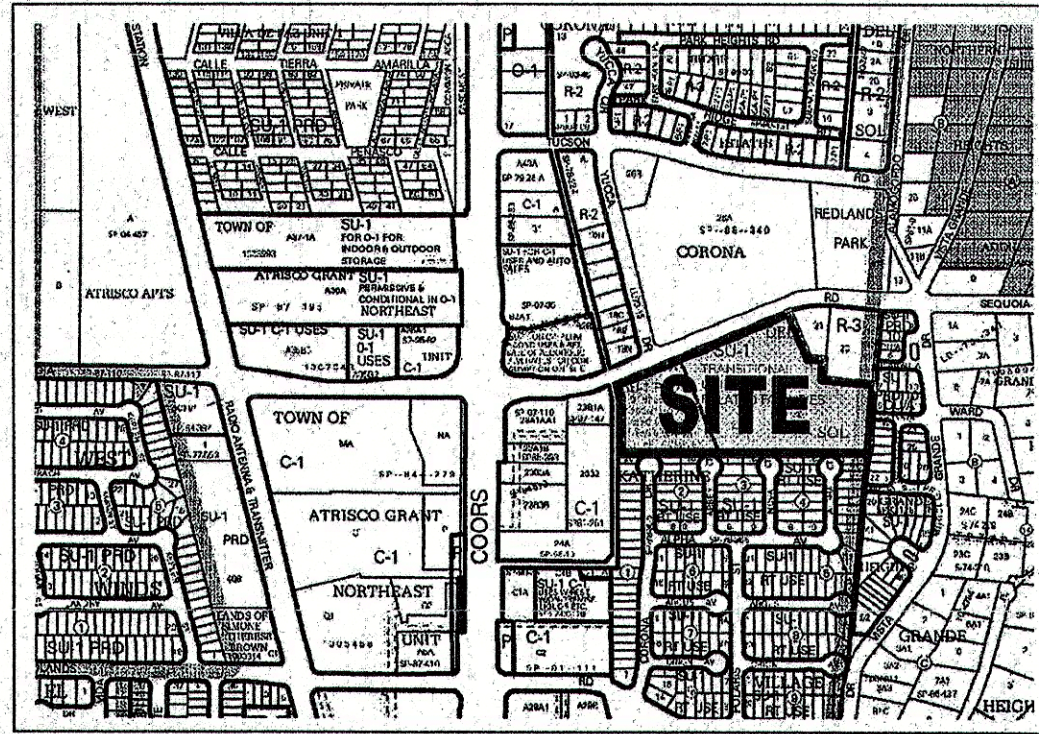


Engineering ▲

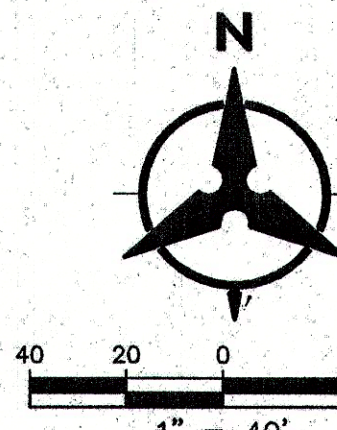
Spatial Data ▲

Advanced Technologies ▲





VICINITY MAP  
N.T.S.  
ZONE ATLAS PAGE G-11-Z



#### CONSTRUCTION SEQUENCING NOTE:

THE NEW RESIDENTIAL TREATMENT CENTER BUILDING WILL BE CONSTRUCTED FIRST, TO ALLOW THE EXISTING RESIDENTS TO BE MOVED INTO IT FROM THE EXISTING BUILDINGS. SUBSEQUENTLY, THE SITE IMPROVEMENTS, INCLUDING NEW PARKING, DRIVE AISLES AND OUTDOOR ACTIVITY AREAS WILL BE CONSTRUCTED.

PROJECT NUMBER: 1001386  
Application Number: 13EPC-40154

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **JANUARY 9TH, 2014**, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

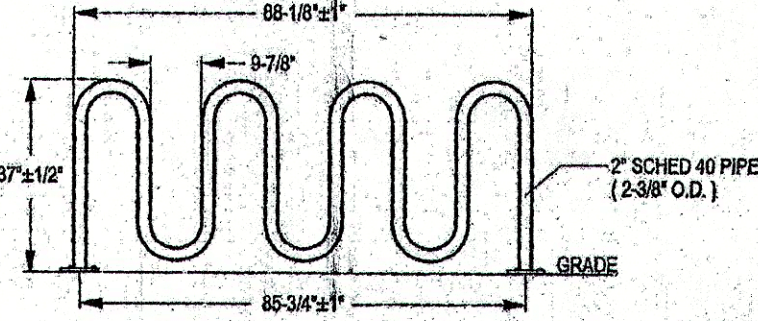
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

	03-28-14
	02/12/14
	2-12-14
	2-12-14
	2-4-2014
	3-28-14

#### GENERAL NOTES

- EXISTING SITE ENTRYWAYS TO REMAIN, AND RECONFIGURED
- THIS PLAN IS PRELIMINARY IN NATURE. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- STORMWATER MANAGEMENT REQUIREMENTS SHALL BE VERIFIED WITH THE CITY ENGINEER - SEE ALSO: GRADING PLAN.
- TRANSIT ROUTE ON COORS BLVD. SEE VICINITY MAP FOR PROXIMITY TO SITE
- PHASE 2 WORK TO INCLUDE INTERIOR REMODEL OF EXISTING BUILDINGS
- PROPOSED PLAN AREA, PLAYGROUND, SOCCER FIELD AREA, EXISTING ROPES AREA AND BASKETBALL COURT AREA ARE SHOWN CONCEPTUALLY FOR USE ONLY. EXACT DESIGN OF THESE AREAS, INCLUDING EQUIPMENT LAYOUT, PLANT MATERIAL ETC. TO BE DEFINED BY CONSTRUCTION DOCUMENTS. SEE ALSO LANDSCAPE PLAN
- LANDSCAPING FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

Tue, 4-Feb-2014 - 8:41:am, Plotted by: MBALASKOVITS  
P:\20140253\CDP\Plans\General\DRB\SP01.dwg



#### 3 BICYCLE RACK N.T.S.

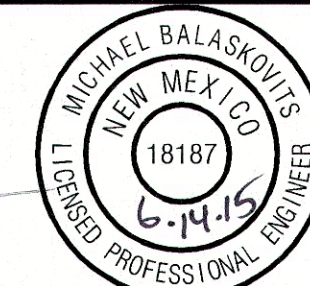
\*A KNOX BOX WILL BE REQUIRED FOR SECURITY FENCE GATES AT ALL DRIVEWAYS.

#### TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 3/27/2015. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6/14/2016 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE RESIDENTIAL TREATMENT BUILDING. SUBSEQUENT CERTIFICATIONS FOR THE EAST AND WEST BUILDINGS WILL BE SUBMITTED UPON COMPLETION OF THEIR RENOVATION

AND PLANS CHECKING OFFICE  
624-3511  
**APPROVED/DISAPPROVED**  
*Ken Muehlbach 6/14/16*  
SIGNATURE & DATE

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



MICHAEL J. BALASKOVITS, NMPE 18187  
DATE

LIGHT FIXTURE  
BLACK ANODIZED ALUMINUM

STEEL LIGHT POLE  
PAINT TO MATCH BLACK ANODIZED ALUMINUM

SMOOTH FINISH BASE  
NATURAL CONCRETE FINISH

#### 4 PARKING LOT LIGHT STANDARD N.T.S.

5' MOUNTAIN STATES  
TELE. EASEMENT  
VOLUME 90C, FOLIO 24

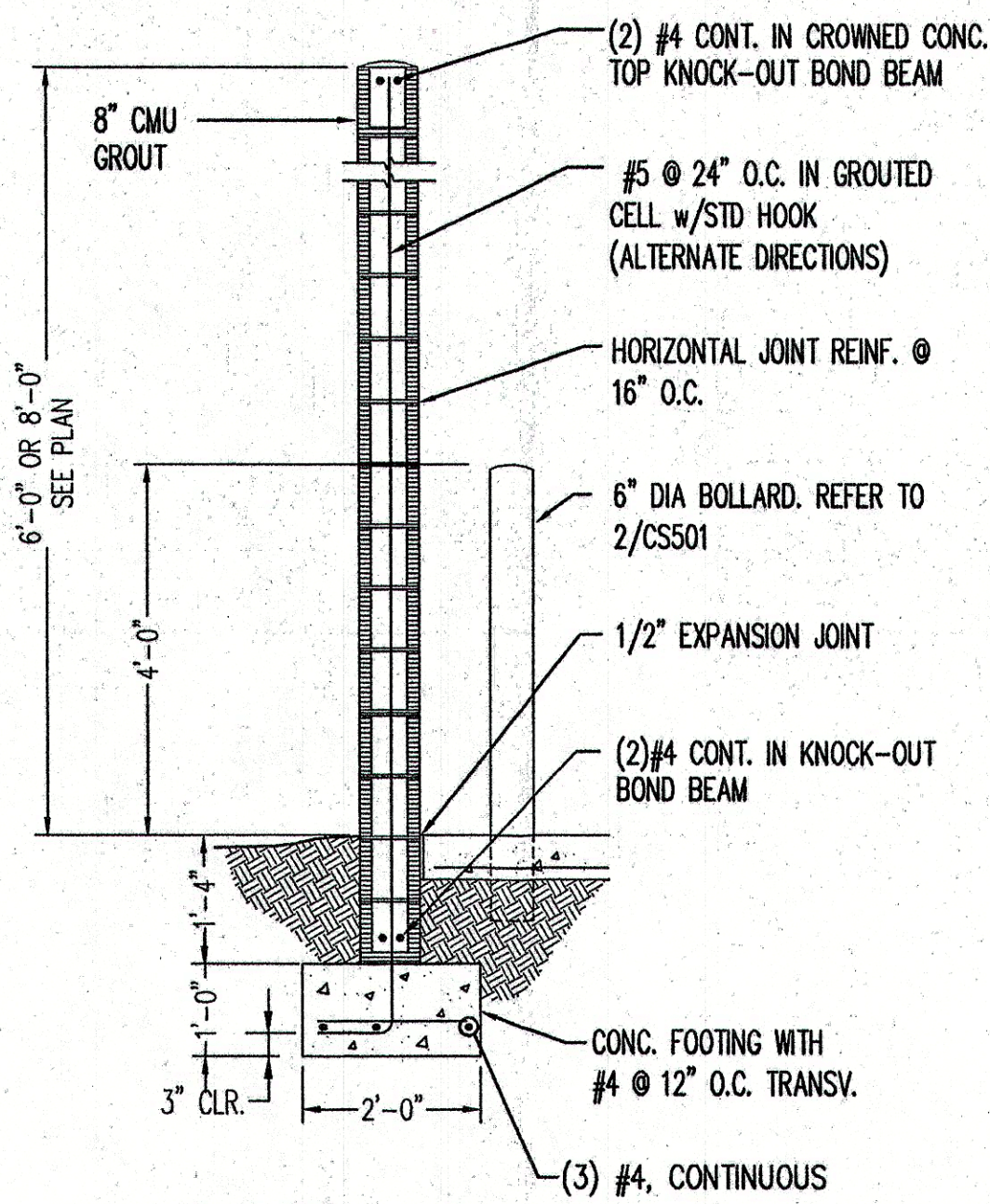
EXISTING  
SU-1 PRD  
10DU/AC  
ZONING

#### DRAWING LEGEND

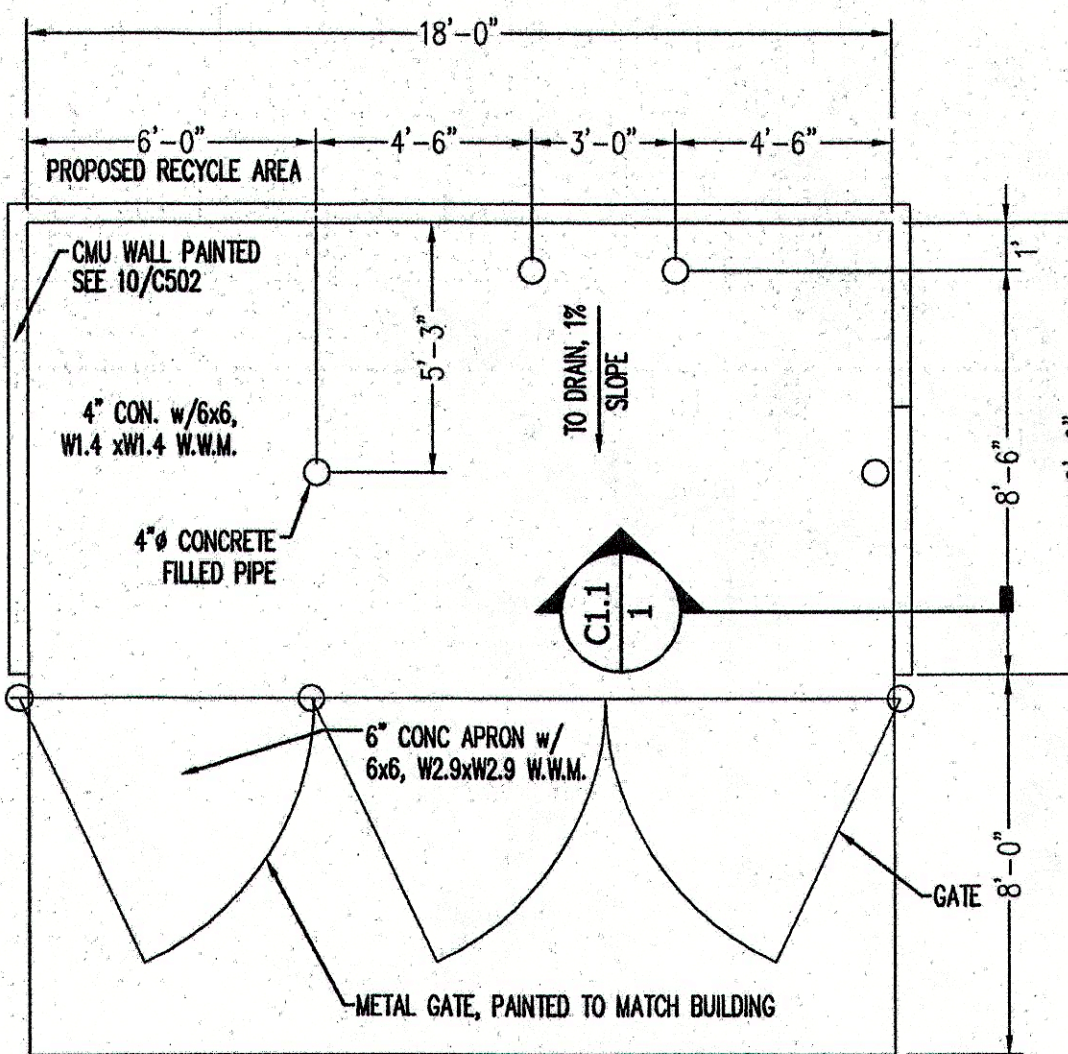
- INDICATES EXISTING PROPERTY LINE
- INDICATES REQUIRED SETBACKS AND EASEMENTS
- INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE
- INDICATES NEW ASPHALT SURFACE FOR PERMANENT USE
- INDICATES PEDESTRIAN OR ACCESSIBLE AISLE WITH PAINTED SIDEWALK
- PROPOSED HYDRANT
- EXISTING HYDRANT
- EXISTING WATER VALVE
- 30' TALL SITE LIGHTING (EXACT LOCATION AND QUANTITY TO BE DETERMINED WITH BUILDING POWER SUBMITTAL - SEE DRAWING THIS SHEET)
- PARKING QUANTITY PER AREA
- EXISTING PARKING QUANTITY PER AREA

#### SITE SUMMARY

ZONING	AREAS	ADDITIONAL DATA
TRACT 22-A: SU-1 FOR STUDENT HOUSING, PSYCH TREATMENT FACILITY AND SENIOR CIT. APT. COMPLEX.	TOTAL NEW BUILDING AREA: 44,200 SQ. FT.	BICYCLE PARKING 1 / 20 VEHICLES =
TRACT 22-B-1: SU-1 TRANSITIONAL LIVING AND RELATED FACILITIES	PROPOSED USE: RESIDENTIAL TREATMENT CENTER	REQUIRED: 10
LEGAL DESCRIPTION: TRACTS 22-A AND 22-B-1, CORONA DEL SOL	PARKING	PROVIDED: 10
TOTAL SITE = 8.2 ACRES +/-	TOTAL PARKING REQUIRED PER CITY:	MOTORCYCLE SPACE: 5
SURROUNDING ZONES: NORTH - R-3 AND REDLANDS PARK EAST - SU-1 PRD SOUTH - C-1 WEST - C-1	COMMUNITY RESIDENTIAL PROGRAM - ONE SPACE, PLUS ONE SPACE PER FOUR BEDS: ONE PLUS 120 BEDS/4 = 30 31 TOTAL REQUIRED SPACES.	
	PROVIDED STANDARD STALLS: 167	
	PROVIDED ACCESSIBLE STALLS: 14	
	TOTAL PARKING PROVIDED: 181	



#### 1 CMU WALL N.T.S.



#### 2 REFUSE ENCLOSURE N.T.S.

#### KEYED NOTES

- CONCRETE WALKWAY - WIDTH AS NOTED
- RAMP (ARROW =DOWN) - SEE DETAILS SHEET C1.1A
- NEW MEDIAN CURB AND GUTTER, PER COA STANDARD DRAWING 2415
- EXISTING FIRE HYDRANT
- TIE TO EXISTING
- LANDSCAPE ISLAND
- PEDESTRIAN DROP OFF AREA
- EXISTING REFUSE AREA
- CONCRETE PARKING BUMPER
- ENCLOSED COURTYARD
- EXISTING BUILDINGS AND SITE IMPROVEMENTS TO REMAIN
- PAINTED PARKING STRIPES (TYP.)
- 10' TALL SECURITY FENCE SEE DETAILS SHEET C1.1A
- BICYCLE PARKING/RACK AREA SEE DETAIL 3 THIS SHEET
- EXISTING BUILDING/IMPROVEMENTS TO BE REMOVED
- NEW ASPHALT DRIVE/PARKING.
- NEW OUTDOOR ACTIVITY AREA
- EXISTING SANITARY SEWER LINE TO BE RELOCATED.
- NEW REFUSE DUMPSTER LOCATION - SEE DETAIL, THIS SHEET
- 30' TALL SITE LIGHTING - SEE NOTES IN DRAWING LEGEND AND DETAIL 4, THIS SHEET
- 12"x18" ACCESSIBLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- 12"x18" MOTORCYCLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- MOTORCYCLE PARKING SPACES.
- PAINTED CROSSWALK.
- 10' TALL TEMPORARY CONSTRUCTION FENCE PER PREVIOUS ADMINISTRATIVE AMENDMENT APPROVAL DATED JANUARY 16TH, 2014.
- NEW FIRE HYDRANT
- NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415.
- Rolling Gate

FEBRUARY 4, 2014

ACADIA  
HEALTH CARE

AMENDED SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
CAMPUS MODERNIZATION  
AHC-DESERT HILLS OF NEW MEXICO  
ALBUQUERQUE, NEW MEXICO

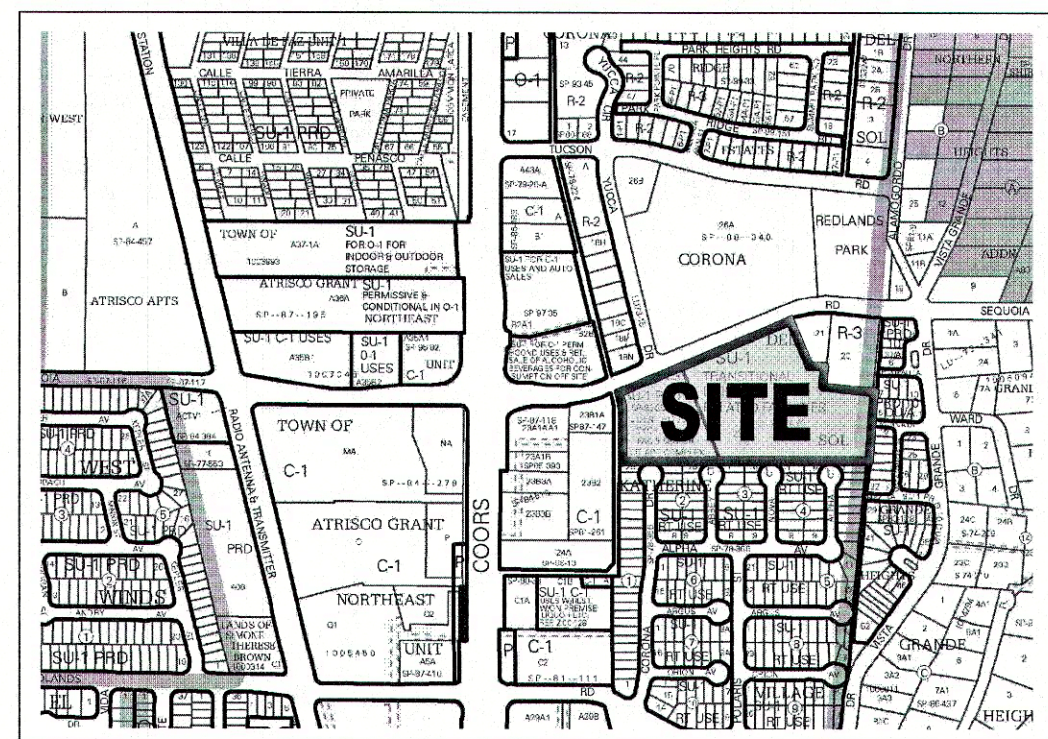
SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT

C1.1

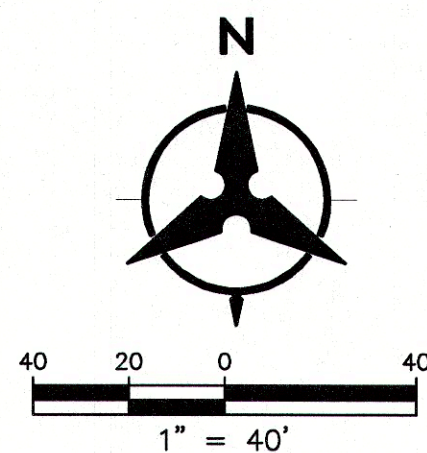
Bohannon & Huston  
www.bhinc.com  
800.877.5332

DRB SUBMITTAL



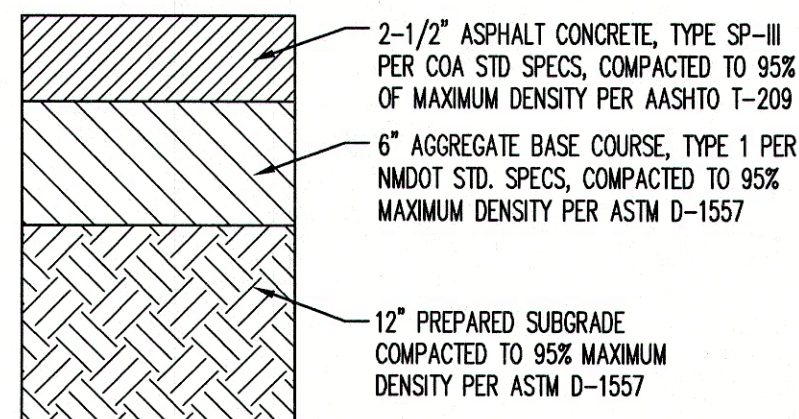


VICINITY MAP  
N.T.S.  
ZONE ATLAS PAGE G-11-Z

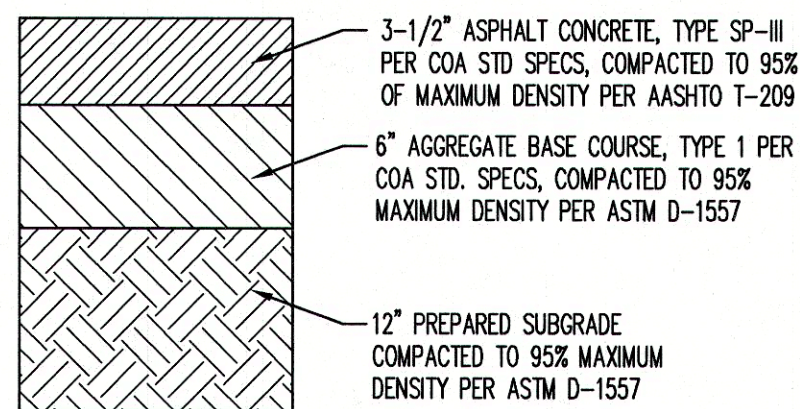


CONSTRUCTION SEQUENCING NOTE:

THE NEW RESIDENTIAL TREATMENT CENTER BUILDING WILL BE CONSTRUCTED FIRST, TO ALLOW THE EXISTING RESIDENTS TO BE MOVED INTO IT FROM THE EXISTING BUILDINGS. SUBSEQUENTLY, THE SITE IMPROVEMENTS, INCLUDING NEW PARKING, DRIVE AISLES AND OUTDOOR ACTIVITY AREAS WILL BE CONSTRUCTED.



3 PARKING AREA ASPHALT PAVEMENT SECTION  
N.T.S.

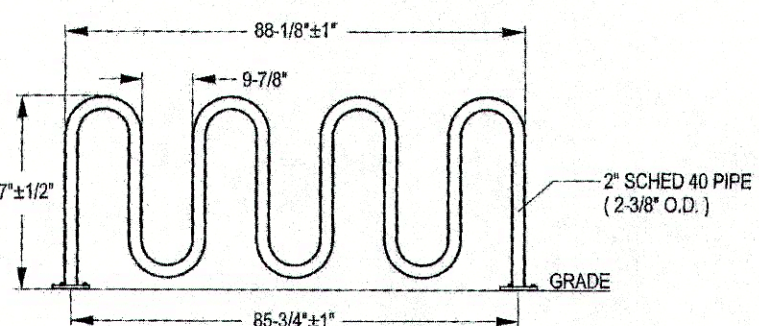


4 HEAVY DUTY ASPHALT PAVEMENT SECTION  
N.T.S. HEAVY DUTY ASPHALT TO BE USED IN DRIVE AISLES

GENERAL NOTES

- EXISTING SITE ENTRYWAY TO TRACT 22-B-1 SHALL BE MODIFIED UNDER COA PROJECT #690283
- STORMWATER MANAGEMENT REQUIREMENTS ARE NOTED ON THE APPROVED GRADING & DRAINAGE PLAN.
- TRANSIT ROUTE ON COORS BLVD. SEE VICINITY MAP FOR PROXIMITY TO SITE
- PHASE 2 WORK TO INCLUDE INTERIOR REMODEL OF EXISTING EAST AND WEST BUILDINGS
- PROPOSED PLAN AREA, PLAYGROUND, SOCCER FIELD AREA, EXISTING ROPES AREA AND BASKETBALL COURT AREA ARE SHOWN ON THE LANDSCAPE PLAN
- LANDSCAPING FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA (OR WITHIN THE R.O.W.)

BE COMPLETED PER COA WORK ORDER 690283



2 BICYCLE RACK  
N.T.S.

\*A KNOX BOX WILL BE REQUIRED FOR SECURITY FENCE GATES AT ALL DRIVEWAYS.

EXISTING C-1 ZONING

EXISTING 20'± RW - ALLEY

EXISTING YUCCA DRIVE

EXISTING SEQUOIA ROAD N.W.  
ROW VARIES

WEST BUILDING

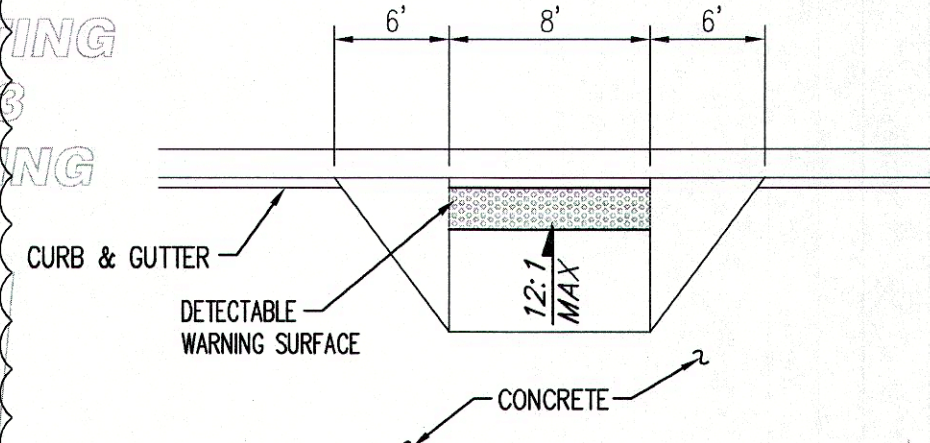
TRACT 22-A  
PROPOSED PLAY AREA WITH PLAY EQUIPMENT. SEE GENERAL NOTE 6.

EAST BUILDING

TRACT 22-B-1

EXISTING ROPES COURSE AND BASKETBALL COURT TO BE RECONFIGURED. SEE GENERAL NOTE 6.

EXISTING R-2 ZONING



5 HANDICAP RAMP DETAIL  
N.T.S.

5' MOUNTAIN STATES TELE. EASEMENT  
VOLUME 90C, FOLIO 24

10' MOUNTAIN STATES TELE. EASEMENT  
VOLUME 90C, FOLIO 24

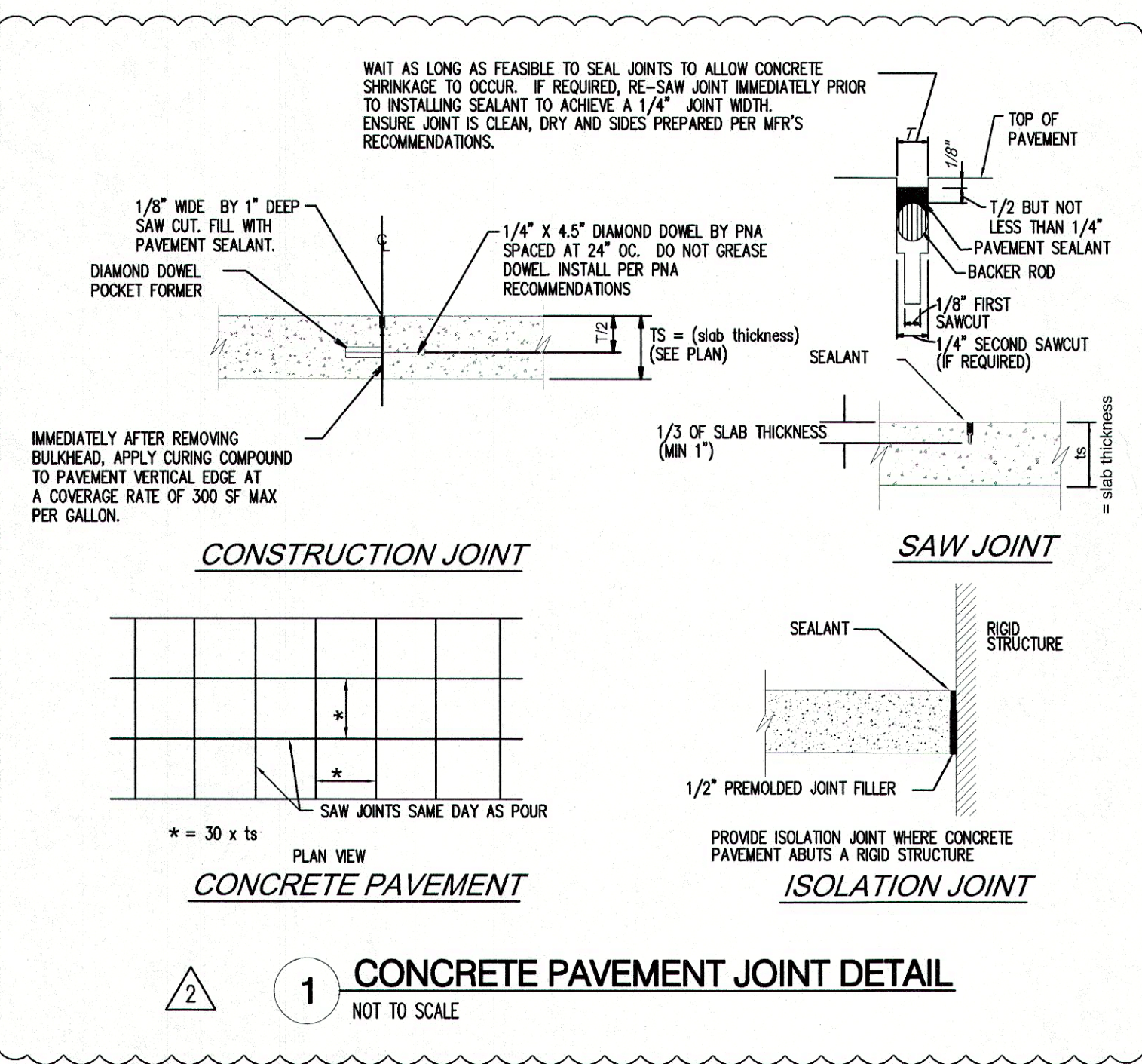
EXISTING SU-1 PRD 10DU/AC ZONING

DRAWING LEGEND

- INDICATES EXISTING PROPERTY LINE
- INDICATES REQUIRED SETBACKS AND EASEMENTS
- INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE
- INDICATES NEW ASPHALT SURFACE FOR PERMANENT USE. ALL PARKING AREAS SHALL BE INSTALLED PER DETAIL 5 THIS SHEET. ALL HEAVY TRAVEL AREAS SHALL BE INSTALLED PER DETAIL 6 THIS SHEET.
- INDICATES PEDESTRIAN OR ACCESSIBLE AISLE WITH PAINTED SIDEWALK
- PROPOSED HYDRANT
- EXISTING HYDRANT
- EXISTING WATER VALVE
- 30' TALL SITE LIGHTING (SEE ELECTRICAL PLANS FOR FURTHER DETAILS)
- LIFT STATION
- MUFFIN MONSTER
- PARKING QUANTITY PER AREA
- EXISTING PARKING QUANTITY PER AREA

SITE SUMMARY

ZONING	AREAS	ADDITIONAL DATA
TRACT 22-A: SU-1 FOR STUDENT HOUSING, PSYCH TREATMENT FACILITY AND SENIOR CIT. APT. COMPLEX.	TOTAL NEW BUILDING AREA: 44,200 SQ. FT.	BICYCLE PARKING 1 / 20 VEHICLES =
TRACT 22-B-1: SU-1 TRANSITIONAL LIVING AND RELATED FACILITIES	PROPOSED USE: RESIDENTIAL TREATMENT CENTER	REQUIRED: 10
LEGAL DESCRIPTION: TRACTS 22-A AND 22-B-1, CORONA DEL SOL	PARKING	PROVIDED: 10
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SURROUNDING ZONES: NORTH - R-3 AND REDLANDS PARK EAST - SU-1 PRD SOUTH - C-1 WEST - C-1	COMMUNITY RESIDENTIAL PROGRAM - ONE SPACE, PLUS ONE SPACE PER FOUR BEDS: ONE PLUS 120 BEDS/4 = 30 31 TOTAL REQUIRED SPACES.	
	PROVIDED STANDARD STALLS:	167
	PROVIDED ACCESSIBLE STALLS:	14
	TOTAL PARKING PROVIDED:	181



1 CONCRETE PAVEMENT JOINT DETAIL  
NOT TO SCALE

KEYED NOTES

- NEW 4" THICK CONCRETE SIDEWALK - WIDTH AS NOTED. SEE JOINT DETAIL 1 THIS SHEET.
- RAMP (ARROW =DOWN) - SEE DETAILS SHEET C2.1
- NEW MEDIAN CURB AND GUTTER, PER COA STANDARD DRAWING 2415
- EXISTING FIRE HYDRANT
- MATCH EXISTING VERTICALLY AND HORIZONTALLY
- LANDSCAPE ISLAND
- INSTALL HANDICAP RAMP PER DETAIL 5 THIS SHEET
- EXISTING REFUSE AREA
- CONCRETE PARKING BUMPER
- ENCLOSED COURTYARD
- EXISTING BUILDINGS AND SITE IMPROVEMENTS TO REMAIN
- PAINTED PARKING STRIPES (TYP.)
- 10' TALL AMERISTAR IMPASSE II SECURITY FENCE SEE GATE DETAILS SHEET C2.1
- BICYCLE PARKING/RACK AREA SEE DETAIL 2 THIS SHEET
- EXISTING BUILDING/IMPROVEMENTS TO BE REMOVED. SEE DEMOLITION PLAN SHEET C1.0
- NEW ASPHALT DRIVE/PARKING.
- NEW OUTDOOR ACTIVITY AREA. SEE LANDSCAPE PLAN FOR DETAILS.
- EXISTING SANITARY SEWER LINE TO BE RELOCATED.
- NEW COMPACTOR DUMPSTER LOCATION - SEE DETAIL 9 SHEET C2.1
- 30' TALL SITE LIGHTING - SEE NOTES IN DRAWING LEGEND
- 12"x18" ACCESSIBLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- 12"x18" MOTORCYCLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- MOTORCYCLE PARKING SPACES.
- PAINT 4" WIDE WHITE STRIPING AT 45° ANGLE @ 2' O.C.
- 10' TALL TEMPORARY CONSTRUCTION FENCE PER PREVIOUS ADMINISTRATIVE AMENDMENT APPROVAL DATED JANUARY 16TH, 2014.
- NEW FIRE HYDRANT
- NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415.
- EXISTING FENCE TO REMAIN

Bohannon & Huston  
www.bhinc.com 800.877.5332

STENGEL-HILL  
ARCHITECTURE

613 WEST MAIN STREET  
LOUISVILLE, KENTUCKY 40202  
502.893.1875  
502.893.1876 fax

ACADIA  
HEALTHCARE



SITE PLAN  
NEW RESIDENTIAL TREATMENT CENTER  
DESERT HILLS OF NEW MEXICO  
ALBUQUERQUE, NEW MEXICO

COA Comments 2014-06-20  
Plan Revisions 2014-06-20

20 JUNE 2014  
AHC1313

C2.0

BID PACKAGE ONE - CONSTRUCTION DOCUMENTS