

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

May 15, 2015

Michael Balaskovits Engineer, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

Re: **Desert Hills Modernization, 5310 Sequoia Rd NW**  
**Certificate of Occupancy – Transportation Development**  
Engineer's dated 03-28-2014 (G11D048)  
Certification dated 05-13-2015

*Handwritten notes: 5200 C, GS, G11 D051*

Dear Mr. Balaskovits,

Based upon the information provided in your submittal received 05-13-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Desert Hills Modernization Building Permit #: \_\_\_\_\_ City Drainage #: G11D048  
DRB#: 1001386 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 22-A & 22-B-1 Corona Del Sol Subdivision  
City Address: 5310 Sequoia Rd. NW, Albuquerque, NM 87120

Engineering Firm: Bohannon Huston, Inc Contact: Michael Balaskovits  
Address: 7500 Jefferson St. NE Albuquerque, NM 87109  
Phone#: (505) 823-1000 Fax#: (505) 798-7988 E-mail: mbalaskovits@bhinc.com

Owner: Desert Hills Contact: Carol Bickelman  
Address: 5310 Sequoia Rd. NW, Albuquerque, NM 87120  
Phone#: (505) 836-7330 Fax#: (505) 836-7425 E-mail: carol.bickelman@yfce.com

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☒ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL ☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL ☐ ESC PERMIT APPROVAL  
☐ WORK ORDER APPROVAL ☐ ESC CERT. ACCEPTANCE  
☐ GRADING CERTIFICATION ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 5-12-2015 By: Mike Balaskovits

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

May 13<sup>th</sup>, 2015

Ms. Racquel Michel, P.E.  
Transportation Development Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Traffic Circulation Layout Engineer's Certification – **Submittal** for the Residential Treatment Center (RTC) at Desert Hills

Dear Racquel:

Enclosed for your review is the DRB approved Site Plan dated March 28<sup>th</sup>, 2014 and the building permit site plan, engineering stamp date 6-20-2014 which included some minor adjustments and additional detail to the approved DRB plan. These changes can be found based on the red clouds on the plan set.

I visited the site on May 12<sup>th</sup>, 2015 and it is my belief that the traffic and pedestrian improvements have been constructed in substantial compliance with the approved site plan specific to the RTC building. The remainder of the improvements, highlighted within the attached Approved Site plan will be certified upon completion of the renovation of the existing East and West buildings for their certificate of occupancy. Furthermore the existing 10' chain link fence along the south and east ends of the building will be replaced with a 10' high wooden fence in accordance with the approved AA dated 3-27-2015 prior to final acceptance to the entire site.

Your review and approval is requested for a **Permanent Certificate of Occupancy** for the buildings noted above. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,

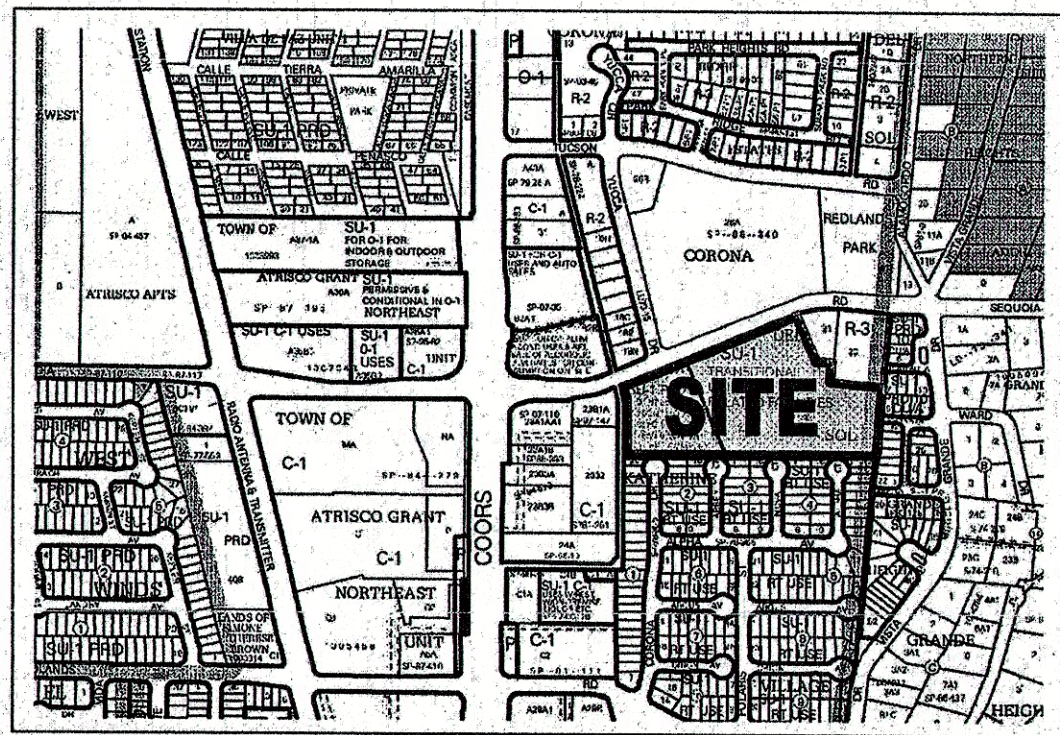


Michael J. Balaskovits, P.E.  
Project Manager  
Community Development & Planning

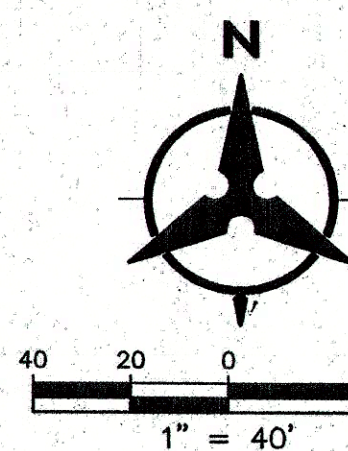


MJB  
Enclosure





VICINITY MAP  
N.T.S.  
ZONE ATLAS PAGE G-11-Z



#### CONSTRUCTION SEQUENCING NOTE:

THE NEW RESIDENTIAL TREATMENT CENTER BUILDING WILL BE CONSTRUCTED FIRST, TO ALLOW THE EXISTING RESIDENTS TO BE MOVED INTO IT FROM THE EXISTING BUILDINGS. SUBSEQUENTLY, THE SITE IMPROVEMENTS, INCLUDING NEW PARKING, DRIVE AISLES AND OUTDOOR ACTIVITY AREAS WILL BE CONSTRUCTED.

PROJECT NUMBER: **1001386**  
Application Number: **13EPC-40154**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated **JANUARY 9TH, 2014**, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

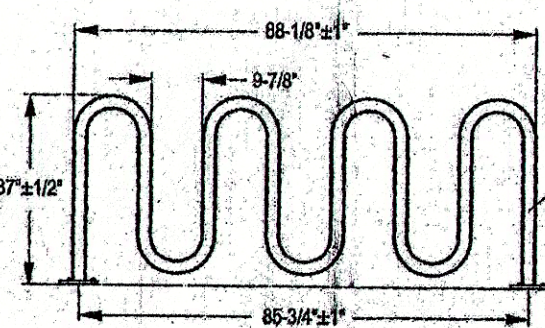
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Alison Porter</i> Traffic Engineering, Transportation Division Water Authority	03-28-14 Date
<i>Carol S. Dumont</i> Parks and Recreation Department	02/12/14 Date
<i>Curtis A. Chae</i> City Engineer	2-12-14 Date
<i>Rory Mangum</i> Solid Waste Management	2-4-2014 Date
<i>Paul Chis</i> DRB Chairperson, Planning Department	3-28-14 Date

#### GENERAL NOTES

- EXISTING SITE ENTRYWAYS TO REMAIN, AND RECONFIGURED
- THIS PLAN IS PRELIMINARY IN NATURE. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
- STORMWATER MANAGEMENT REQUIREMENTS SHALL BE VERIFIED WITH THE CITY ENGINEER - SEE ALSO: GRADING PLAN.
- TRANSIT ROUTE ON COORS BLVD. SEE VICINITY MAP FOR PROXIMITY TO SITE
- PHASE 2 WORK TO INCLUDE INTERIOR REMODEL OF EXISTING BUILDINGS
- PROPOSED PLAN AREA, PLAYGROUND, SOCCER FIELD AREA, EXISTING ROPES AREA AND BASKETBALL COURT AREA ARE SHOWN CONCEPTUALLY FOR USE ONLY. EXACT DESIGN OF THESE AREAS, INCLUDING EQUIPMENT LAYOUT, PLANT MATERIAL ETC. TO BE DEFINED BY CONSTRUCTION DOCUMENTS. SEE ALSO LANDSCAPE PLAN
- LANDSCAPING FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

Tue, 4-Feb-2014 - 8:41:am, Plotted by: MBALASKOVITS  
P:\20140223\CDP\Plans\General\DRB\SP01.dwg



#### 3 BICYCLE RACK N.T.S.

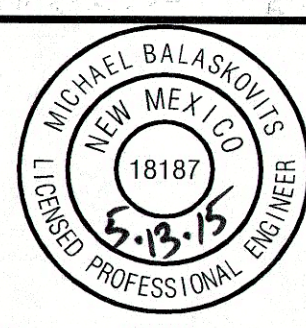
▲ A KNOX BOX WILL BE REQUIRED FOR SECURITY FENCE GATES AT ALL DRIVEWAYS.

APR PLANS CHECKING OFFICE  
924-3511  
*APPROVED/DISAPPROVED*  
*See Marked 2/14/14*  
SIGNATURE & DATE

#### TRAFFIC CIRCULATION LAYOUT CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THE TRAFFIC AND PEDESTRIAN RELATED IMPROVEMENTS HAVE BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED SITE PLAN DATED 3/28/2015. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 5/12/2015 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SITE INFORMATION SHOWN ON THIS DRAWING IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A PERMANENT CERTIFICATE OF OCCUPANCY FOR THE RESIDENTIAL TREATMENT BUILDING. SUBSEQUENT CERTIFICATIONS FOR THE EAST AND WEST BUILDINGS WILL BE SUBMITTED UPON COMPLETION OF THEIR RENOVATION

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



MICHAEL J. BALASKOVITS, NMPE 18187  
DATE

LIGHT FIXTURE  
BLACK ANODIZED ALUMINUM  
STEEL LIGHT POLE  
PAINT TO MATCH BLACK ANODIZED ALUMINUM  
SMOOTH FINISH BASE  
NATURAL CONCRETE FINISH

#### 4 PARKING LOT LIGHT STANDARD N.T.S.

5' MOUNTAIN STATES TELE. EASEMENT  
VOLUME 90C, FOLIO 24

EXISTING  
SU-1 PRD  
10DU/AC  
ZONING

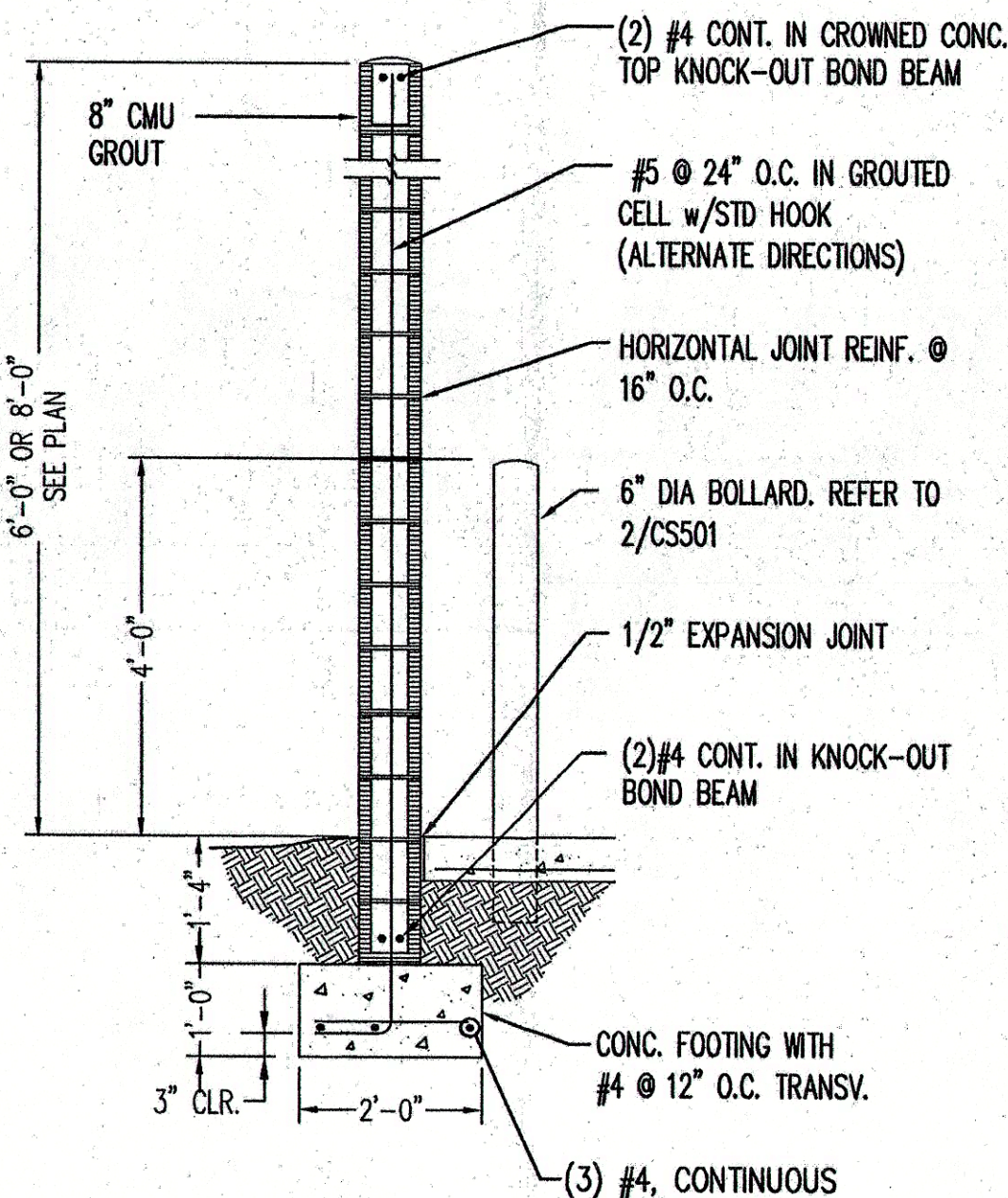
10' MOUNTAIN STATES TELE. EASEMENT  
VOLUME 90C, FOLIO 24

#### DRAWING LEGEND

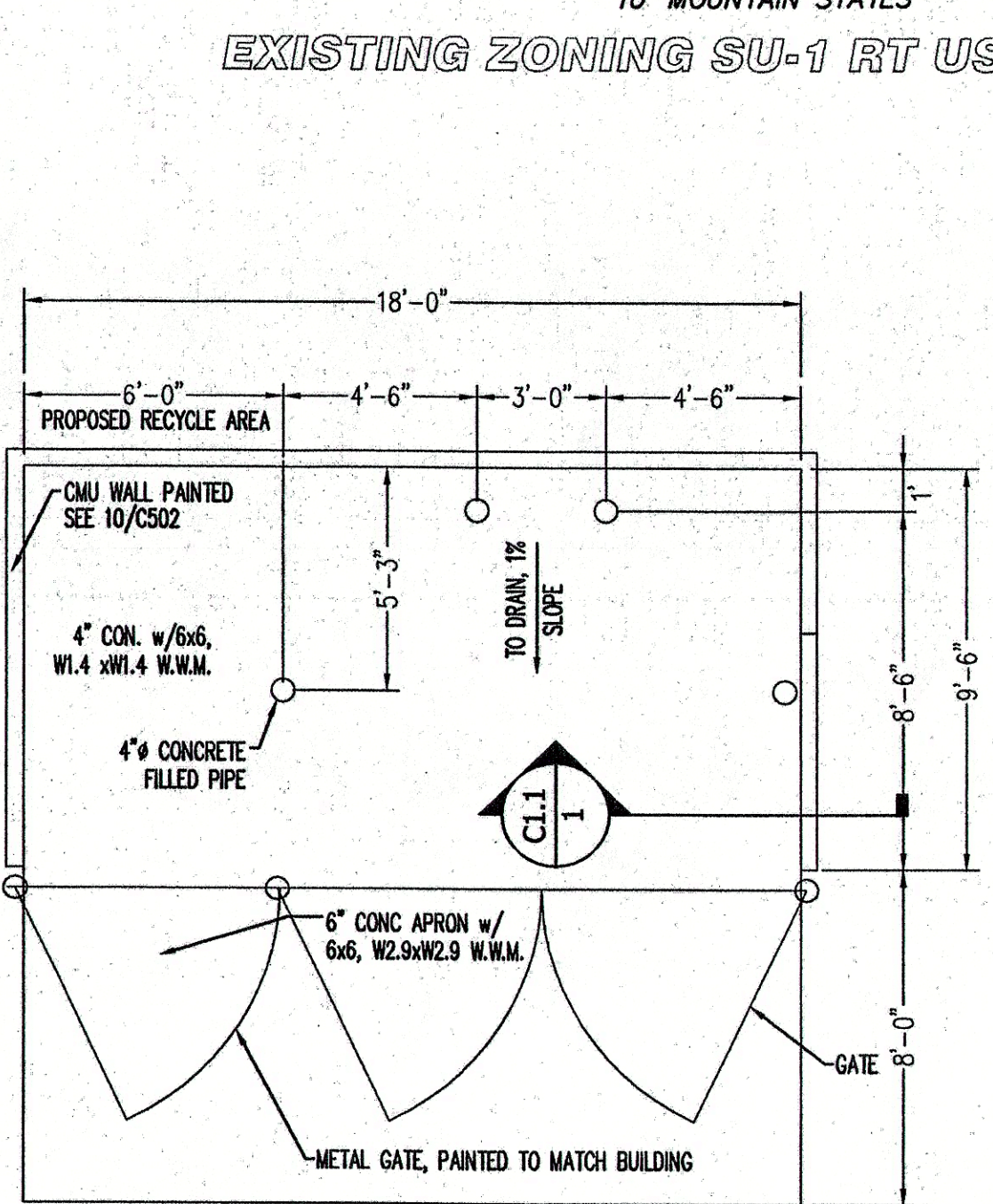
- |  |  |
|--|--|
| --- INDICATES EXISTING PROPERTY LINE                                     | ● PROPOSED HYDRANT   |
| - - - INDICATES REQUIRED SETBACKS AND EASEMENTS                          | ○ EXISTING HYDRANT   |
| [Pattern] INDICATES NEW CONCRETE SURFACE FOR PERMANENT USE               | ⊗ EXISTING WATER VALVE   |
| [Pattern] INDICATES NEW ASPHALT SURFACE FOR PERMANENT USE                | 30' TALL SITE LIGHTING (EXACT LOCATION AND QUANTITY TO BE DETERMINED WITH BUILDING POWER SUBMITTAL - SEE DRAWING THIS SHEET) |
| [Pattern] INDICATES PEDESTRIAN OR ACCESSIBLE AISLE WITH PAINTED SIDEWALK | ⊗ PARKING QUANTITY PER AREA  |
|  | ⊗ EXISTING PARKING QUANTITY PER AREA   |

#### SITE SUMMARY

ZONING	AREAS	ADDITIONAL DATA
TRACT 22-A: SU-1 FOR STUDENT HOUSING, PSYCH TREATMENT FACILITY AND SENIOR CIT. APT. COMPLEX.	TOTAL NEW BUILDING AREA: 44,200 SQ. FT.	BICYCLE PARKING 1 / 20 VEHICLES =
TRACT 22-B-1: SU-1 TRANSITIONAL LIVING AND RELATED FACILITIES	PROPOSED USE: RESIDENTIAL TREATMENT CENTER	REQUIRED: 10
LEGAL DESCRIPTION: TRACTS 22-A AND 22-B-1, CORONA DEL SOL	PARKING	PROVIDED: 10
TOTAL SITE = 8.2 ACRES +/-	TOTAL PARKING REQUIRED PER CITY:	MOTORCYCLE SPACE: 5
SURROUNDING ZONES: NORTH - R-3 AND REDLANDS PARK EAST - SU-1 PRD SOUTH - C-1 WEST - C-1	COMMUNITY RESIDENTIAL PROGRAM - ONE SPACE, PLUS ONE SPACE PER FOUR BEDS: ONE PLUS 120 BEDS/4 = 30 31 TOTAL REQUIRED SPACES.	
	PROVIDED STANDARD STALLS: 167	
	PROVIDED ACCESSIBLE STALLS: 14	
	TOTAL PARKING PROVIDED: 181	



#### 1 CMU WALL N.T.S.



#### 2 REFUSE ENCLOSURE N.T.S.

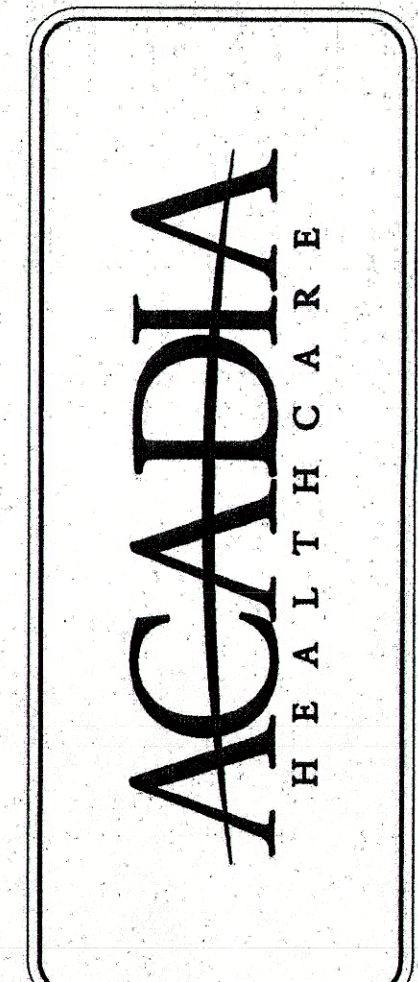
#### KEYED NOTES

- CONCRETE WALKWAY - WIDTH AS NOTED
- RAMP (ARROW = DOWN) - SEE DETAILS SHEET C1.1A
- NEW MEDIAN CURB AND CUTTER, PER COA STANDARD DRAWING 2415
- EXISTING FIRE HYDRANT
- TIE TO EXISTING
- LANDSCAPE ISLAND
- PEDESTRIAN DROP OFF AREA
- EXISTING REFUSE AREA
- CONCRETE PARKING BUMPER
- ENCLOSED COURTYARD
- EXISTING BUILDINGS AND SITE IMPROVEMENTS TO REMAIN
- PAINTED PARKING STRIPES (TYP.)
- 10' TALL SECURITY FENCE SEE DETAILS SHEET C1.1A
- BICYCLE PARKING/STACK AREA SEE DETAIL 3 THIS SHEET
- EXISTING BUILDING/IMPROVEMENTS TO BE REMOVED
- NEW ASPHALT DRIVE/PARKING.
- NEW OUTDOOR ACTIVITY AREA
- EXISTING SANITARY SEWER LINE TO BE RELOCATED.
- NEW REFUSE DUMPSTER LOCATION - SEE DETAIL, THIS SHEET
- 30' TALL SITE LIGHTING - SEE NOTES IN DRAWING LEGEND AND DETAIL 4, THIS SHEET
- 12"x18" ACCESSIBLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- 12"x18" MOTORCYCLE PARKING SPACE SIGN MOUNTED 7'-0" AFG.
- MOTORCYCLE PARKING SPACES.
- PAINTED CROSSWALK.
- 10' TALL TEMPORARY CONSTRUCTION FENCE PER PREVIOUS ADMINISTRATIVE AMENDMENT APPROVAL DATED JANUARY 16TH, 2014.
- NEW FIRE HYDRANT
- NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415.
- Rolling Gate

#### SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

# C1.1

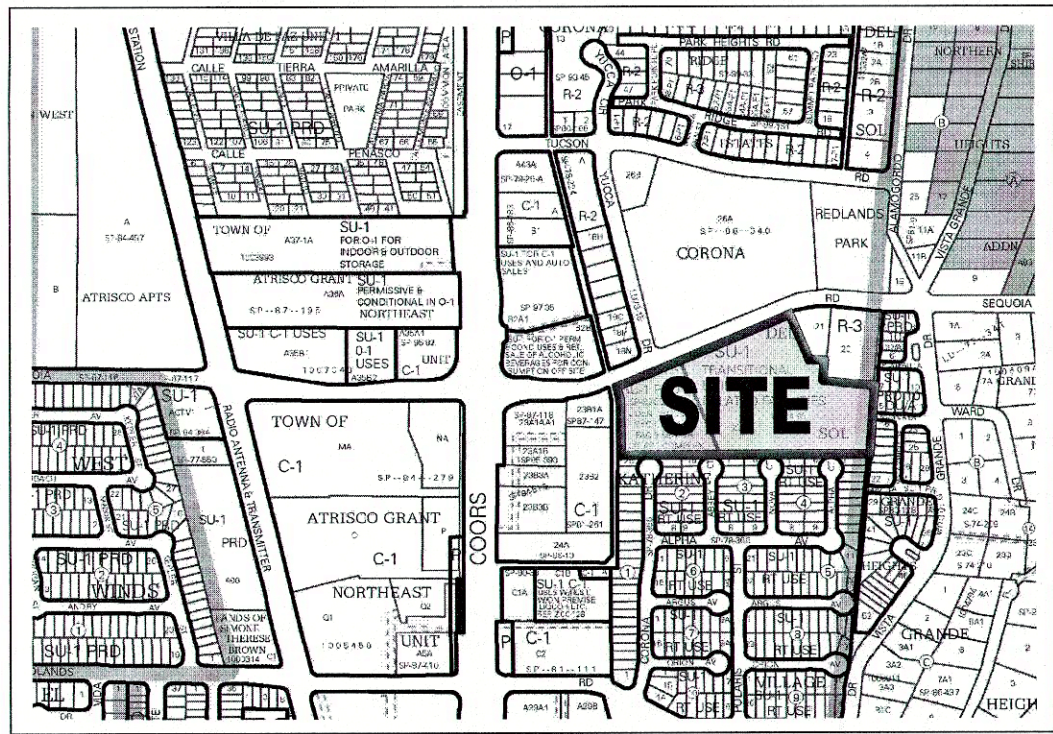
DRB SUBMITTAL



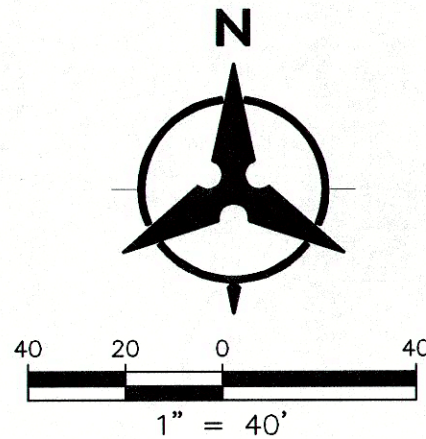
AMENDED SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
CAMPUS MODERNIZATION  
AHC-DESERT HILLS OF NEW MEXICO  
ALBUQUERQUE, NEW MEXICO

Bohannan & Huston  
www.bhinc.com  
800.877.5332



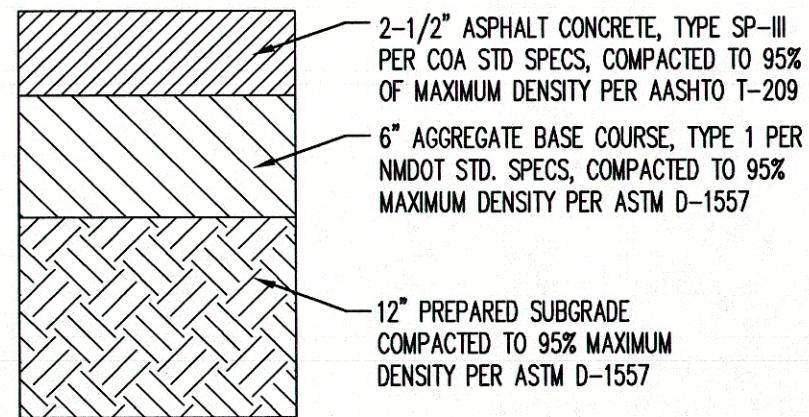


VICINITY MAP  
N.T.S.  
ZONE ATLAS PAGE G-11-Z

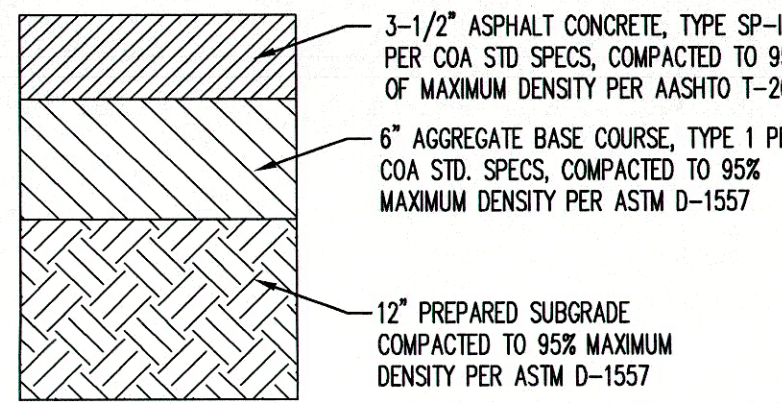


CONSTRUCTION SEQUENCING NOTE:

THE NEW RESIDENTIAL TREATMENT CENTER BUILDING WILL BE CONSTRUCTED FIRST, TO ALLOW THE EXISTING RESIDENTS TO BE MOVED INTO IT FROM THE EXISTING BUILDINGS. SUBSEQUENTLY, THE SITE IMPROVEMENTS, INCLUDING NEW PARKING, DRIVE AISLES AND OUTDOOR ACTIVITY AREAS WILL BE CONSTRUCTED.



3 PARKING AREA ASPHALT PAVEMENT SECTION  
N.T.S.

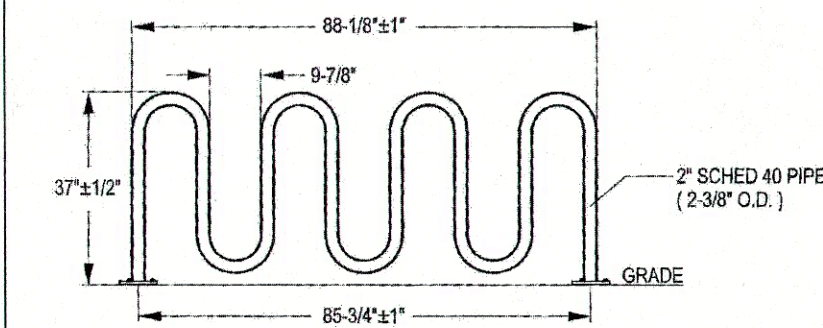


4 HEAVY DUTY ASPHALT PAVEMENT SECTION  
N.T.S. HEAVY DUTY ASPHALT TO BE USED IN DRIVE AISLES

GENERAL NOTES

- EXISTING SITE ENTRYWAY TO TRACT 22-B-1 SHALL BE MODIFIED UNDER COA PROJECT #690283
- STORMWATER MANAGEMENT REQUIREMENTS ARE NOTED ON THE APPROVED GRADING & DRAINAGE PLAN.
- TRANSIT ROUTE ON COORS BLVD. SEE VICINITY MAP FOR PROXIMITY TO SITE
- PHASE 2 WORK TO INCLUDE INTERIOR REMODEL OF EXISTING EAST AND WEST BUILDINGS
- PROPOSED PLAN AREA, PLAYGROUND, SOCCER FIELD AREA, EXISTING ROPES AREA AND BASKETBALL COURT AREA ARE SHOWN ON THE LANDSCAPE PLAN
- LANDSCAPING FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA (OR WITHIN THE R.O.W.)

BE COMPLETED PER COA WORK ORDER 690283



2 BICYCLE RACK  
N.T.S.

\*A KNOX BOX WILL BE REQUIRED FOR SECURITY FENCE GATES AT ALL DRIVEWAYS.

EXISTING  
R-2  
ZONING

SHADED AREA INDICATES AREAS THAT WILL BE CERTIFIED LATER UPON COMPLETION OF EAST AND WEST BUILDING RENOVATION

EXISTING 20' ± R/W - ALLEY

EXISTING  
C-1  
ZONING

EXISTING  
SU-1 PRD  
10DU/AC  
ZONING

EXISTING  
SU-1 PRD  
10DU/AC  
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