

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 1, 2025

Regina Okoye
8220 SAN PEDRO DR. NE, SUITE 520
Albuquerque, NM 87113

rokoye@modulusarchitects.com

Re: Hope Building Charter School
5310 Sequoia NW
Traffic Circulation Layout
Engineer's Stamp 8/25/25 (G11D051) TRANS-2025-00120

Dear Okoye,

The TCL submittal received 10-1-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

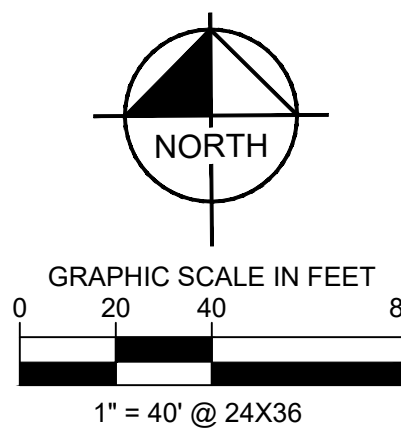
Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

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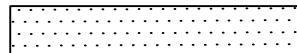
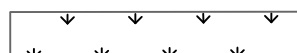



**TRAFFIC CIRCULATION
LAYOUT APPROVED**

Sertil A. Kanbar 10/1/2025

Signed Date



LEGEND

	PROPERTY LINE
	PROPOSED FULL DEPTH SAWCUT LINE.
	EXISTING CURB TO REMAIN
	PROPOSED CURB
	PROPOSED ASPHALT PAVEMENT. REFER TO CONSTRUCTION DETAILS
	PROPOSED CONCRETE SIDEWALK. REFER TO CONSTRUCTION DETAILS
	LANDSCAPE AREA. REFER TO LANDSCAPE PLANS
	EXISTING FIRE HYDRANT
	ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
	PARKING COUNT

PARKING / SITE DATA

TRACT 22A & 22 B-1 CORONA DEL SOL 5310 SEQUOIA & S200 SEQUOIA		
ZONING	R-MH	
PROPOSED USE	CHARTER SCHOOL	
LOT AREA	81.8 AC	
EX. BUILDING AREA	101,893 SF	
BUILDING AREA TO BE DEMOLISHED	33,775 SF	
PROPOSED NEW BUILDING AREA	+400 SF	
TOTAL BUILDING AREA	+109,118 SF	
	REQUIRED	PROVIDED
TOTAL PARKING	158 SPACES	154 SPACES
ACCESSIBLE	6 SPACES	15 SPACES
MOTORCYCLE	5 SPACES	5 SPACES
BICYCLE (10% REQUIRED)	16 SPACES	16 SPACES/2 RAC
PROPOSED ON-SITE STACKING FOR QUEUING	2,975 FEET	
REQUIRED PARKING PER CITY OF ALBUQUERQUE IS: ELEMENTARY & MIDDLE SCHOOL IS 2 SPACES PER CLASSROOM X 34 CLASSROOMS = 68 SPACES HIGH SCHOOL IS 3 SPACES PER CLASSROOM X 30 CLASSROOMS = 90 SPACES		
TOTAL REQUIRED = 168 SPACES		

SITE PLAN NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL INNER CURBED RADIi ARE TO BE 2' AND OUTER CURBED RADIi ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADIi ARE TO BE 5'.
4. ALL DIMENSIONS AND RADIi ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS, AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUGI. ALL COST SHALL BE INCLUDED IN BASE BID.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY PRECISION SURVEYS, INC DATED 3/17/2025.
8. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
9. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
10. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH OF A FOOT.
11. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED.
12. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
13. CONTRACTOR TO REFRESH ALL EXISTING FIRE LANE STRIPING PER CITY REQUIREMENTS
14. CONTRACTOR TO REFRESH ALL EXISTING PARKING LOT STRIPING TO MATCH EXISTING

CAUTION!!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



CITY OF ALBUQUERQUE

Planning Department
Alan Varela – Director



Mayor Timothy M. Keller

September 30, 2025

Keith Christian
Kimley Horn
6200 South Syracuse Way
Greenwood Village, CO 80111

**Re: Building Hope Public Charter School
Neighborhood Impact Assessment (G11D051)**
Engineer's Stamp: September 29, 2025
Trans-2025-00127

Dear Mr. Christian,

The Traffic Impact Study received on September 29, 2025 has been reviewed and is approved by the City of Albuquerque Planning Development Transportation Section.

Required infrastructure improvements per the Study are as follows:

1. Coors/St. Josephs, install ITS warning sign for SBL. Modify signal timing and implement LPIs for all ped crossings.
2. Coors/Tucson, restrict WBL turns. Extend SBL turn lane to provide 55' of additional storage.
3. Coors/Sequoia, restripe east leg and extend WBR turn lane as far as possible. Extend SBL turn storage by approximately 500' to meet SAMM. Install ITS queue warning sign for SBL turn. Modify signal timing and implement LPIs for all ped crossings.
4. Coors/Redlands, extend SBL turn lane to add approximately 300' more of storage.
5. Install school zone signage along Sequoia 200' in advance of either approach to the school per MUTCD standards.
6. Install high-visibility crosswalk markings and an RRFB at existing designated crosswalk at Sequoia/Yucca/Drive A.
7. Remove existing crosswalk along schools Sequoia frontage between Drives B and C.

The approved Traffic Study is valid for three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

CITY OF ALBUQUERQUE

*Planning Department
Alan Varela – Director*



Mayor Timothy M. Keller

If you have any questions, please contact me at earmijo@cabq.gov or (505) 924-3991.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ernest Armijo'.

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov