CITY OF ALBUQUERQUE



June 26, 2016

Mike Balaskovits, PE Bohannan-Huston 7500 Jefferson St NE Courtyard I Albuquerque, NM 87109

Re:

Desert Hills Modernization

5310 Sequoia Rd NW

Request Permanent C.O. - Accepted

Engineer's Stamp dated: 6-20-14 (G11D051)

Certification dated: 7-25-16

Dear Mr. Balaskovits,

Based on the Certification received 7/26/2016, the site is acceptable for release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E. Senior Engineer, Planning Department

www.cabq.gov

TE/RH

C: email

Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,

Lois



Project Title:

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

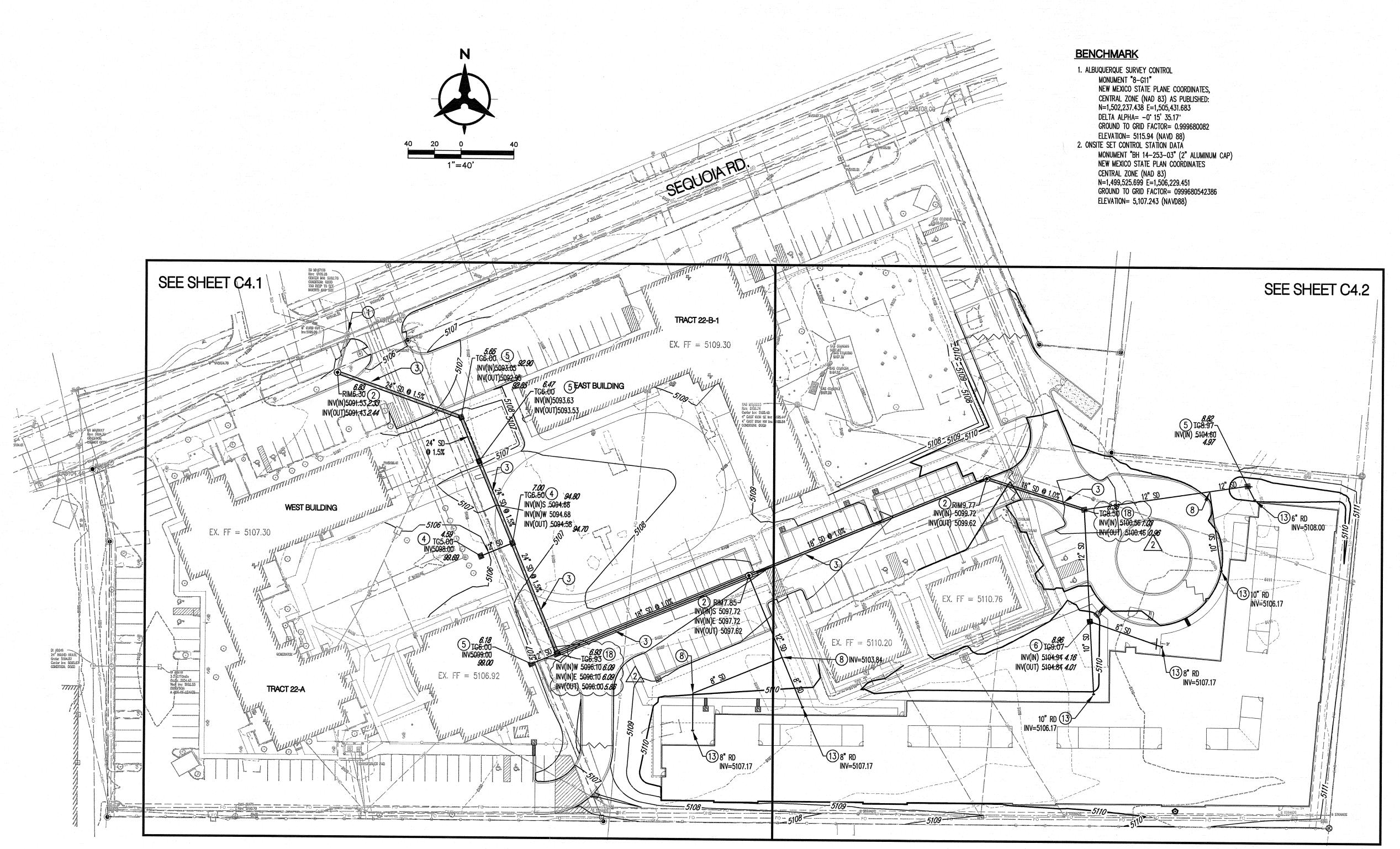
(REV 02/2013)

Building Permit #: City Drainage #: _

DRB#: EPC	#: Work 0	Order#:	
Legal Description:			
City Address:			
Engineering Firm:	Contac	t:	
Address:			
Phone#: Fax#	E-mail:		
Owner:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:		
Architect:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:	:	
Surveyor:	Contac	t:	
Address:			
Phone#: Fax#	E-mail:		
Contractor:	Contac	t:	
Address:			
Phone#: Fax#	: E-mail:		
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACC	CEPTANCE SOUGHT:	
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE REI	SIA/FINANCIAL GUARANTEE RELEASE	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL	PRELIMINARY PLAT APPROVAL	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROV	S. DEV. PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPR	S. DEV. FOR BLDG. PERMIT APPROVAL	
GRADING PLAN	GRADING PLAN SECTOR PLAN APPROVAL		
EROSION & SEDIMENT CONTROL PLAN (E	ROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL		
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPANCY (P	CERTIFICATE OF OCCUPANCY (PERM)	
CLOMR/LOMR	CERTIFICATE OF OCCUPANCY (T	CERTIFICATE OF OCCUPANCY (TCL TEMP)	
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVA	FOUNDATION PERMIT APPROVAL	
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPROVAL	BUILDING PERMIT APPROVAL	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL	SO-19 APPROVAL	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVAL	ESC PERMIT APPROVAL	
SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE	
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Copy Provi	ided	
DATE SUBMITTED:	By:		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.

2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

- 3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- 5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

- 7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- 8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- 9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- 10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- 11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- 12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- 13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- 14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT

- 3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- 4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- 5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- 6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- 7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- 8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- 9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- 10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

DRAINAGE CERTIFICATION

I, MICHAEL J. BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-20-14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY THOMAS D. JOHNSTON, NMPS 14269, OF THE FIRM WAYJOHN SURVEYING. I FURTHER CERTIFY THAT ADDITIONAL MEASURES HAVE BEEN COMPLETED BY THE CONTRACTOR TO CORRECT DEFICIENCIES NOTED BY CITY OF ALBUQUERQUE STAFF DURING THEIR ORIGINAL SITE VISIT. IT WAS DETERMINED BY VISUAL INSPECTION THAT THESE DEFICIENCIES HAVE BEEN ADDRESSED. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF REINSTATING THE PERMANENT CERTIFICATE OF OCCUPANCE FOR THE RTC BUILDING WHICH WAS RESCINDED JUNE 17, 2016.

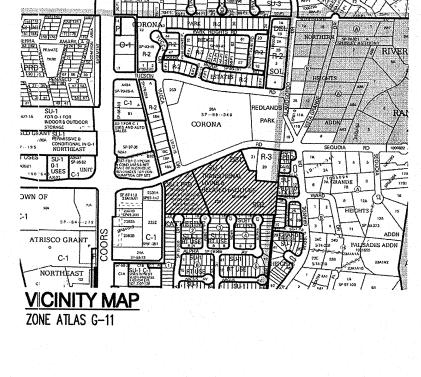
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MICHAEL J. BALASKOVITS, NMPE 18187

MEXICA STOP

7-25-16

DATE 7-25-2016



GRADING KEYED NOTES

- 1. CONNECT NEW 24" STORM DRAIN CONSTRUCTED UNDER COA PROJECT NUMBER 690283 TO NEW MANHOLE.
- 2. INSTALL STORM DRAIN MANHOLE PER COA STD DWG 2102
- 3. INSTALL HDPE (N12 WT, OR APPROVED EQUAL) STORM DRAIN PIPE, SIZE PER PLANS.
- INSTALL TYPE 'D' STORM DRAIN INLET, PER COA STD DWG 2206; (OR APPROVED NYLOPLAST INLET EQUAL) W/PEDESTRIAN RATED GRATE.
- 5. INSTALL 24" STORM INLET STRUCTURE (NYLOPLAST OR APPROVED EQUAL) W/ DOMED GRATE.
- 6. INSTALL 30" STORM INLET STRUCTURE (NYLOPLAST OR APPROVED EQUAL) WITH PEDESTRIAN RATED GRATE
- 7. PROTECT IN PLACE.
- 8. INSTALL PRE-FABRICATED STORM DRAIN FITTING, SEE PLANS FOR SIZE.
- 9. ENSURE SWALE IS GRADED AND COMPLETE PRIOR TO INSTALLATION OF LANDSCAPING. CONTRACTOR SHALL ENSURE NO DRAINAGE ENTERS THE ADJACENT PROPERTY OWNERS TO THE SOUTH AND EAST. GRADES SHOWN ARE TOP OF FINISHED GRADE.
- 10. INSTALL 24" SIDEWALK CULVERT PER COA STD DWG 2236.
- 11. INSTALL 24" CURB OPENING PER DETAIL 1, SHEET C4.3
- 12. INSTALL RIP RAP BLANKET PER DETAIL 2, SHEET C4.3.
- 13. INSTALL ROOF DRAIN TO WITHIN 5' OF THE BUILDING. SEE PLAN
- 14. MATCH EXISTING HORIZONTALLY & VERTICALLY.
- 15. INSTALL 4' WIDE CONCRETE VALLEY GUTTER PER DETAIL 3, SHEET
- 16. GRADE AREA TO DRAIN TO NEW INLET. EXISTING COBBLE SHALL BE SALVAGED AND REUSED.
- 17. SEE TYPICAL COURTYARD GRADING DETAIL 4, SHEET C4.3

 18. INSTALL TYPE 'D' H20 LOADING STORM DRAIN INLET, PER COA STD
- * NOT ALL KEYNOTES ARE USED ON THIS SHEET

DWG 2206. OR APPROVED EQUAL.

LEGEND

PROPERTY LINE

5301— EXISTING CONTOURS

PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TW=TOP OF WALL, BW=BOTTOM OF WALL
EX=EXISTING, TG=TOP OF GRADE

PROPOSED DIRECTION OF FLOW

WATER BLOCK

PROPOSED INDEX CONTOURS

PROPOSED INTER CONTOURS

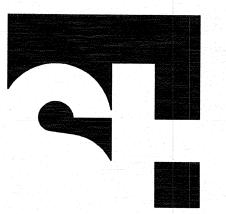
PROPOSED CURB & GUTTER

PROPOSED LIGHTING

SD PROPOSED STORM DRAIN LINE

AS-BUILT ELEVATION





STENGEL-HILL ARCHITECTURE

LOUISVILLE, KENTUCKY 40202

502.893.1876 fax

613 WEST MAIN STREET

502.893.1875

HEALTHCARE



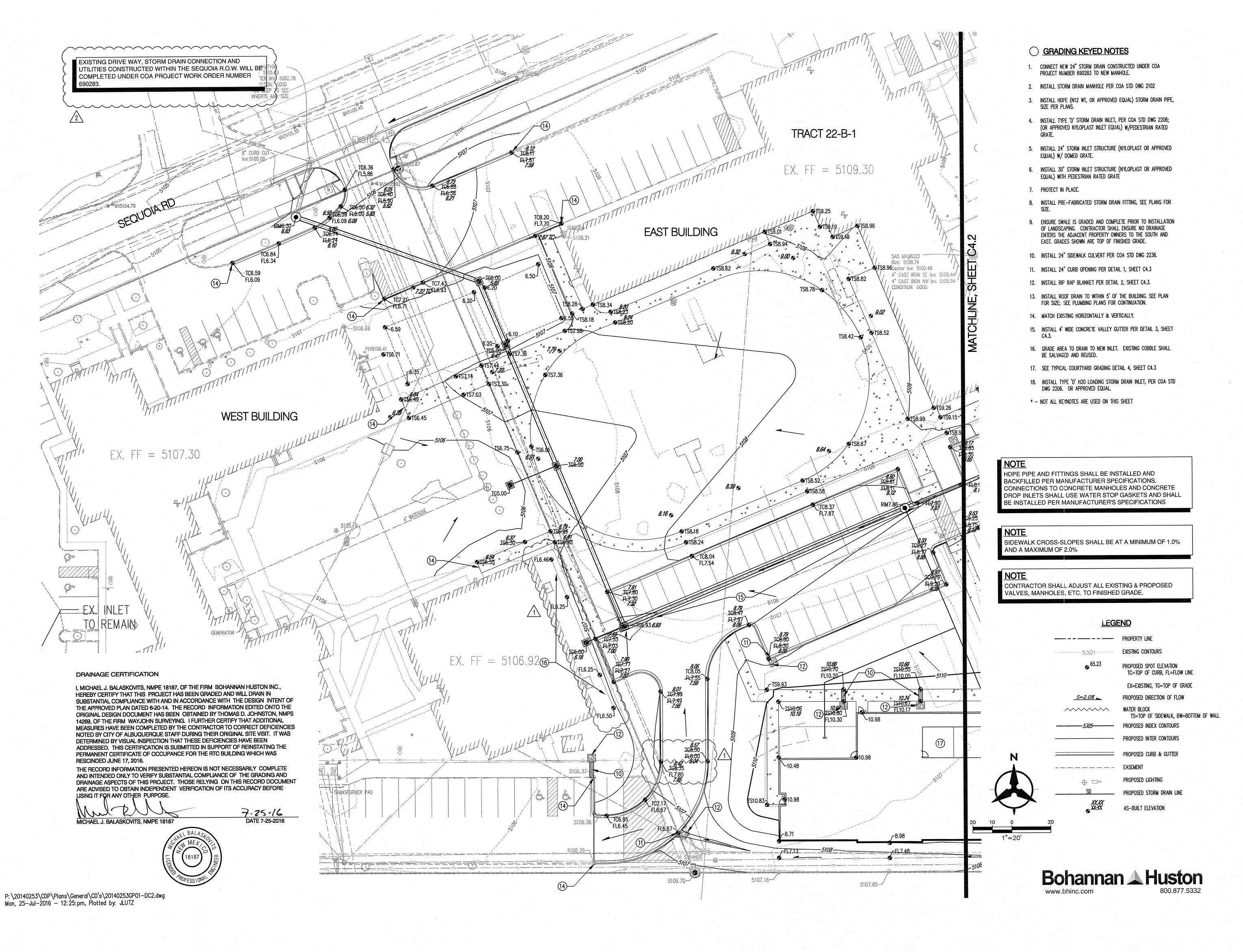
OVERALL GRADING AND DRAINAGE PLAN
JEW RESIDENTIAL TREATMENT CENTER
DESERT HILLS OF NEW MEXICO
ALBUQUERQUE, NEW MEXICO

1 COA Comments 2014-06-20
Plan Revisions 2014-06-20

20 JUNE 2014 AHC1313

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STENGEL-HILL ARCHITECTURE

613 WEST MAIN STREET

LOUISVILLE, KENTUCKY 40202

502.893.1875

502.893.1876 fax

302.693.1676 Tax

HEALTHCARE

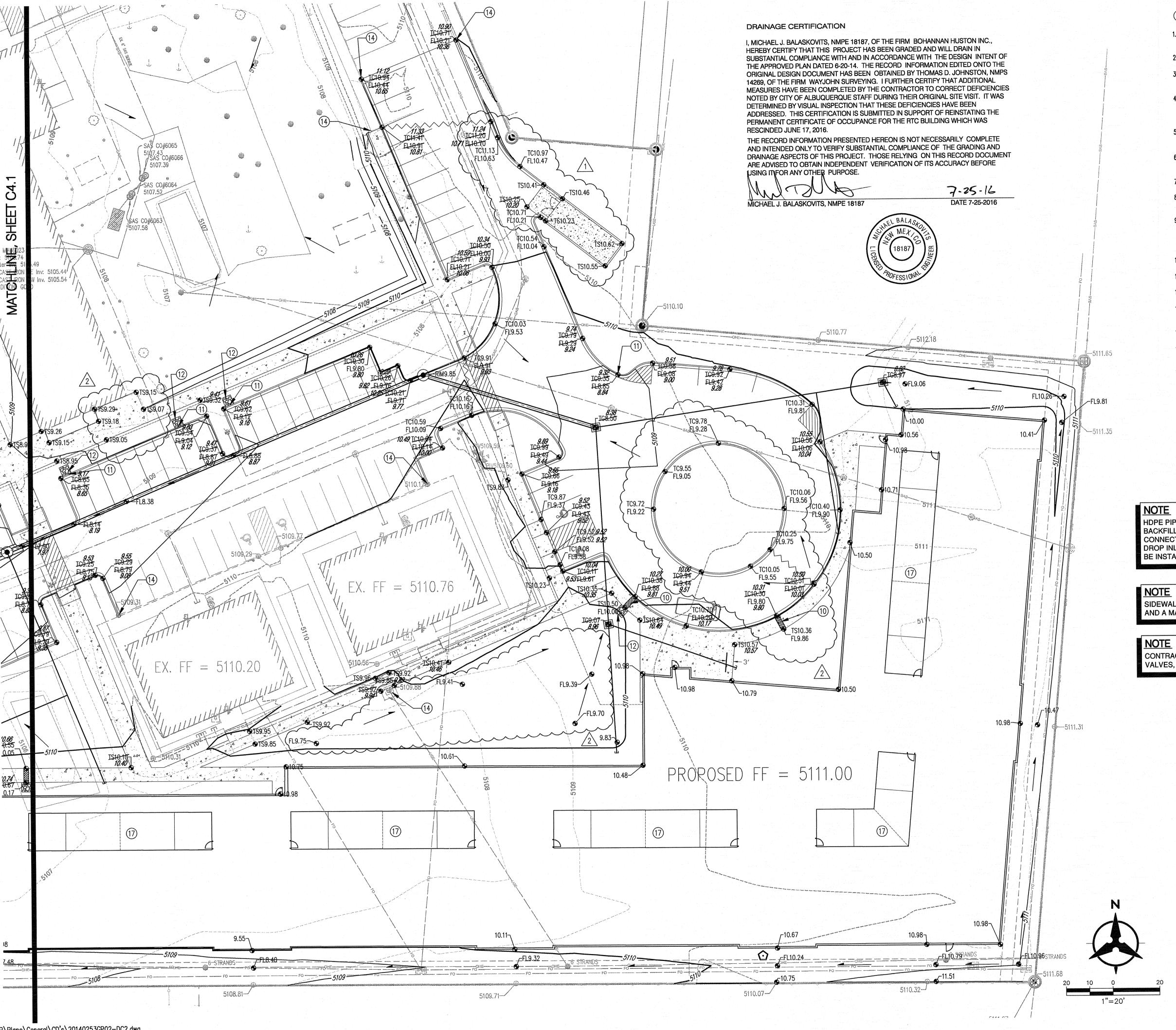


GRADING AND DRAINAGE PLAN
EW RESIDENTIAL TREATMENT CENTER
DESERT HILLS OF NEW MEXICO
ALBUQUERQUE, NEW MEXICO

COA Comments 2014-06-20
Plan Revisions 2014-06-20

20 JUNE 2014 AHC1313

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GRADING KEYED NOTES

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- 2. INSTALL STORM DRAIN MANHOLE PER COA STD DWG 2102
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- 7. PROTECT IN PLACE.
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- 12. INSTALL RIP RAP BLANKET PER DETAIL 2, SHEET C4.3.
- 13. INSTALL ROOF DRAIN TO WITHIN 5' OF THE BUILDING. SEE PLAN FOR SIZE; SEE PLUMBING PLANS FOR CONTINUATION.
- 14. MATCH EXISTING HORIZONTALLY & VERTICALLY.
- 15. INSTALL 4' WIDE CONCRETE VALLEY GUTTER PER DETAIL 3, SHEET
- 16. GRADE AREA TO DRAIN TO NEW INLET. EXISTING COBBLE SHALL BE SALVAGED AND REUSED.
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- 18. INSTALL TYPE 'D' H20 LOADING STORM DRAIN INLET, PER COA STD DWG 2206. OR APPROVED EQUAL.
- * NOT ALL KEYNOTES ARE USED ON THIS SHEET

HDPE PIPE AND FITTINGS SHALL BE INSTALLED AND BACKFILLED PER MANUFACTURER SPECIFICATIONS. CONNECTIONS TO CONCRETE MANHOLES AND CONCRETE DROP INLETS SHALL USE WATER STOP GASKETS AND SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

CONTRACTOR SHALL ADJUST ALL EXISTING & PROPOSED VALVES, MANHOLES, ETC. TO FINISHED GRADE.

LEGEND

EXISTING CONTOURS PROPOSED SPOT ELEVATION
TC=TOP OF CURB, FL=FLOW LINE
TS=TOP OF SIDEWALK, BW=BOTTOM OF WALL EX=EXISTING, TG=TOP OF GRADE PROPOSED DIRECTION OF FLOW S=2.0% WATER BLOCK PROPOSED INDEX CONTOURS PROPOSED INTER CONTOURS PROPOSED CURB & GUTTER ____ EASEMENT PROPOSED LIGHTING PROPOSED STORM DRAIN LINE AS-BUILT ELEVATION

> Bohannan A Huston www.bhinc.com



ARCHITECTURE

613 WEST MAIN STREET

LOUISVILLE, KENTUCKY 40202 502.893.1875

502.893.1876 fax



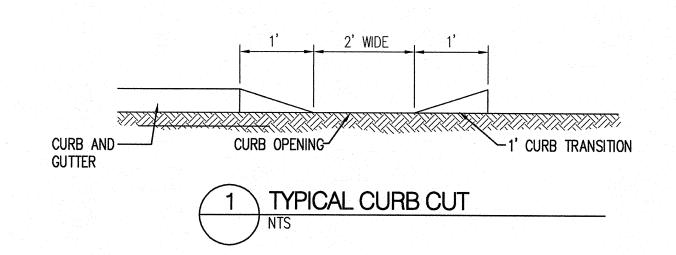
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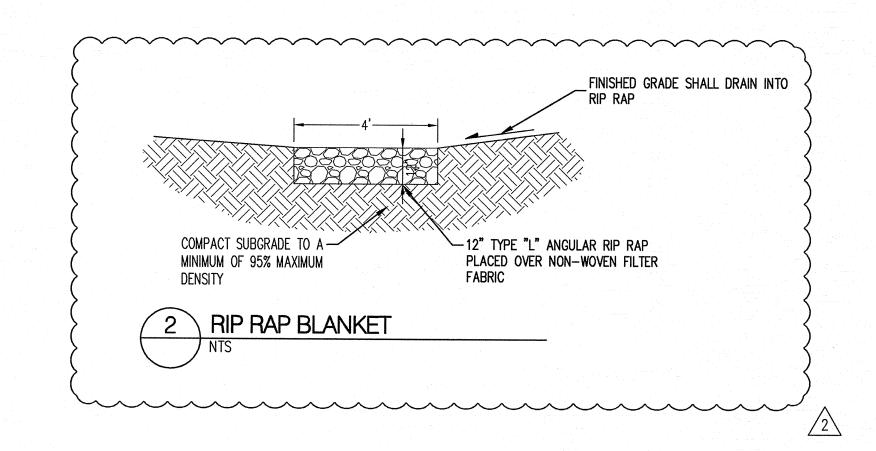
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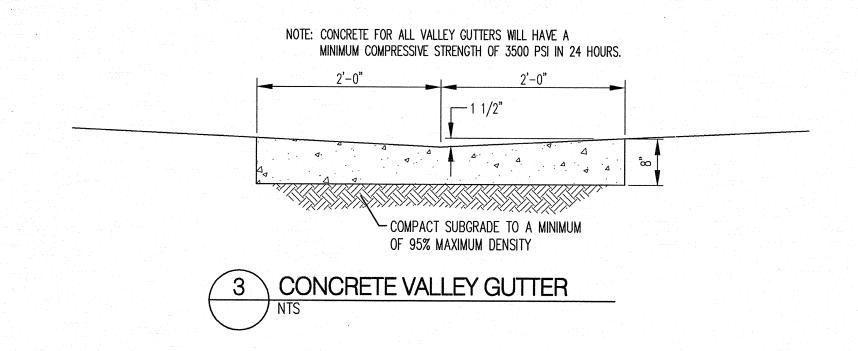
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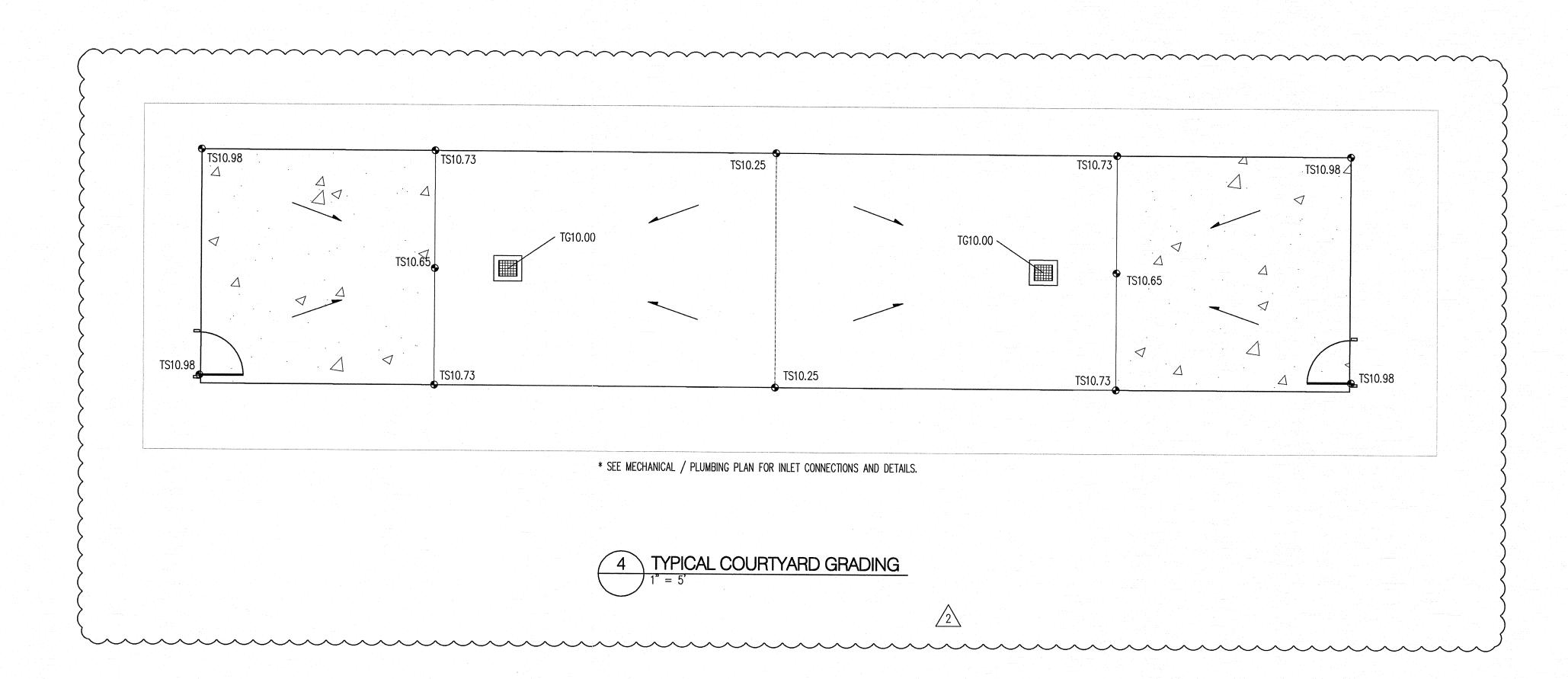
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DRAINAGE CERTIFICATION

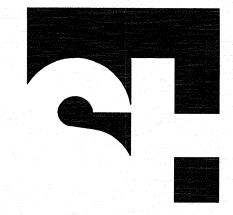
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MICHAEL J. BALASKOVITS, NMPE 18187



7-25-16 DATE 7-25-2016



STENGEL-HILL ARCHITECTURE

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LOUISVILLE, KENTUCKY 40202 502.893.1875

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HEALTHCARE



GRADING AND DRAINAGE DETAILS

NEW RESIDENTIAL TREATMENT CENTER

DESERT HILLS OF NEW MEXICO

ALBUQUERQUE, NEW MEXICO

1 COA Comments 2014-06-20
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