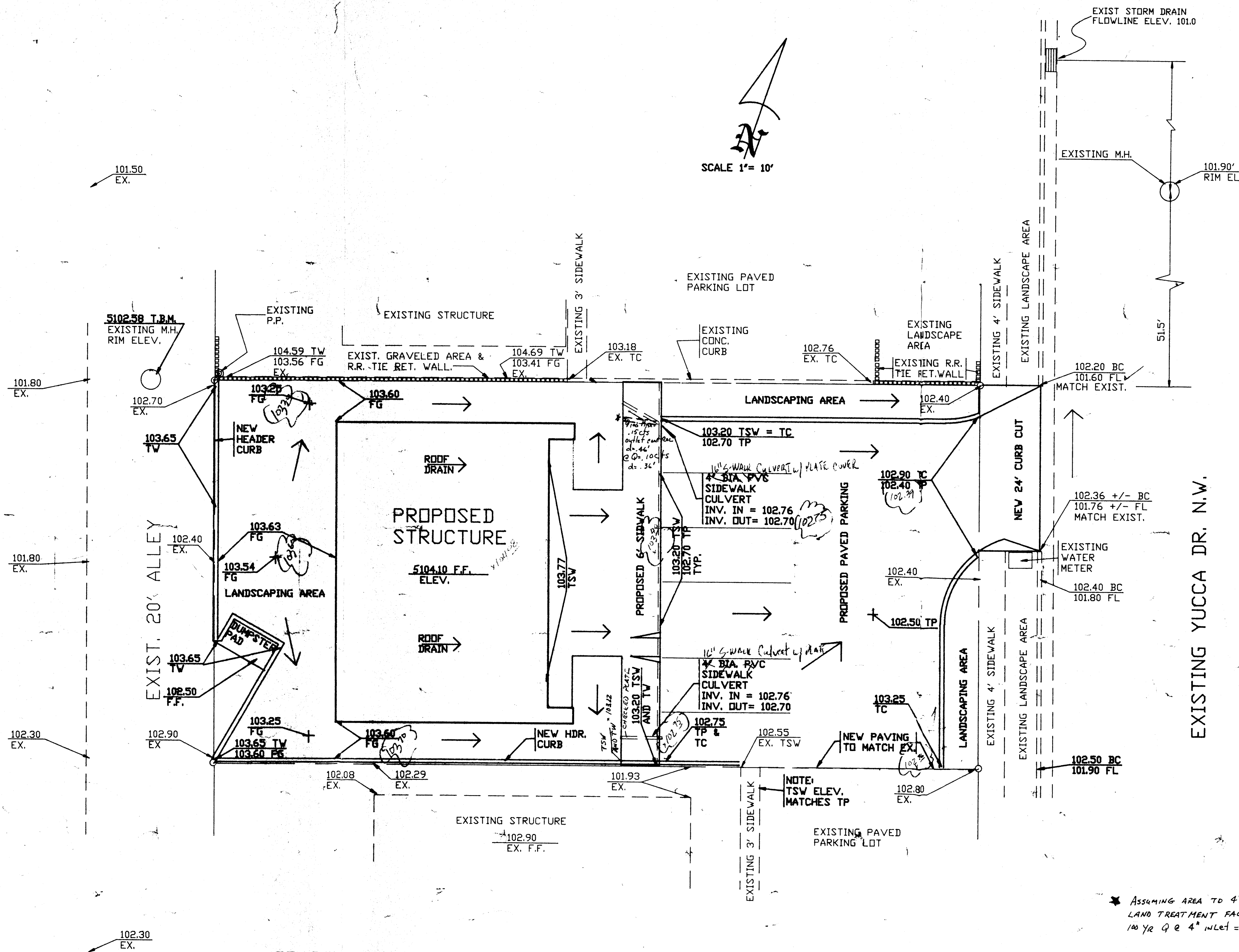




GRADING AND DRAINAGE PLAN

LEGEND

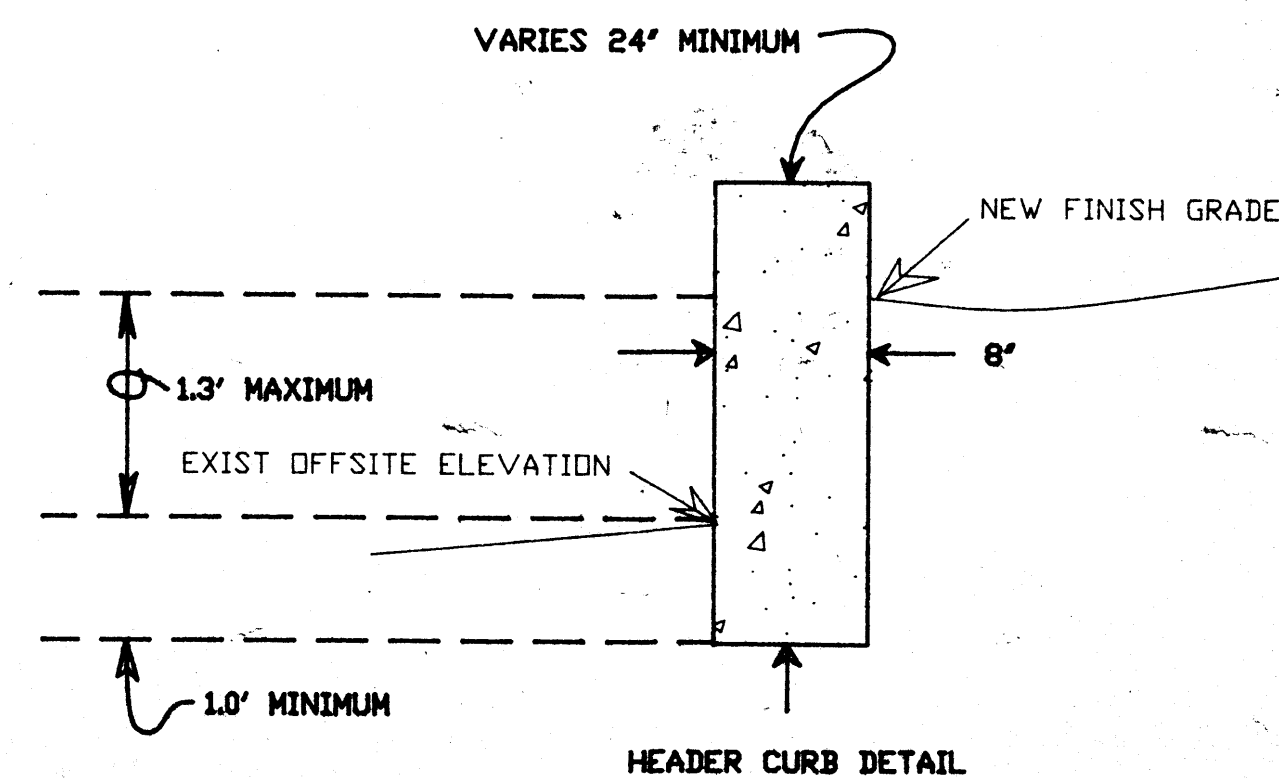
---	PROPERTY LINE
---	EXISTING STRUCTURES OR BOUNDARIES
---	EXISTING CURB AND GUTTER
---	NEW CONCRETE CURBS AND HDR. CURBS

SPOT ELEVATION

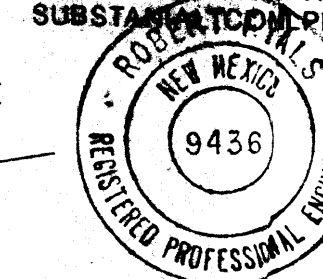
TC	TOP OF CURB
TSV	TOP OF SIDEWALK
EX.	EXISTING ELEVATION
F.F.	FINISHED FLOOR
F.G.	FINISHED GRADE
TP	TOP OF PAVING

BENCH MARK
NM 448 N4A Aluminum
Cap located in North
Median Nose, Sequoia
and North Coors Blvd.
ELEV. 5104.408

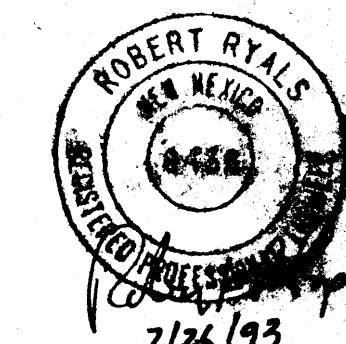
* Assuming area to 4" PVC is composite
LAND TREATMENT FACTOR MATERIAL THEN
 $100 \text{ yr } Q @ 4" \text{ PVC} = \frac{\text{Total Area} \times 4" \text{ PVC} \times .67 \text{ cfs}}{\text{Total Area}}$
 $= \frac{1595 \times 4 \times .67}{7200} = .14 \text{ cfs}$
Max depth = .46'
Max elev = 102.76 + .46 = 103.22 ok
See DRAINAGE FILE FOR DETAILED CALC



I, ROBERT B. RYALS, REGISTERED PROFESSIONAL ENGINEER,
HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE AND HAVE
DETERMINED THAT CONSTRUCTION HAS BEEN COMPLETED IN
SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN.

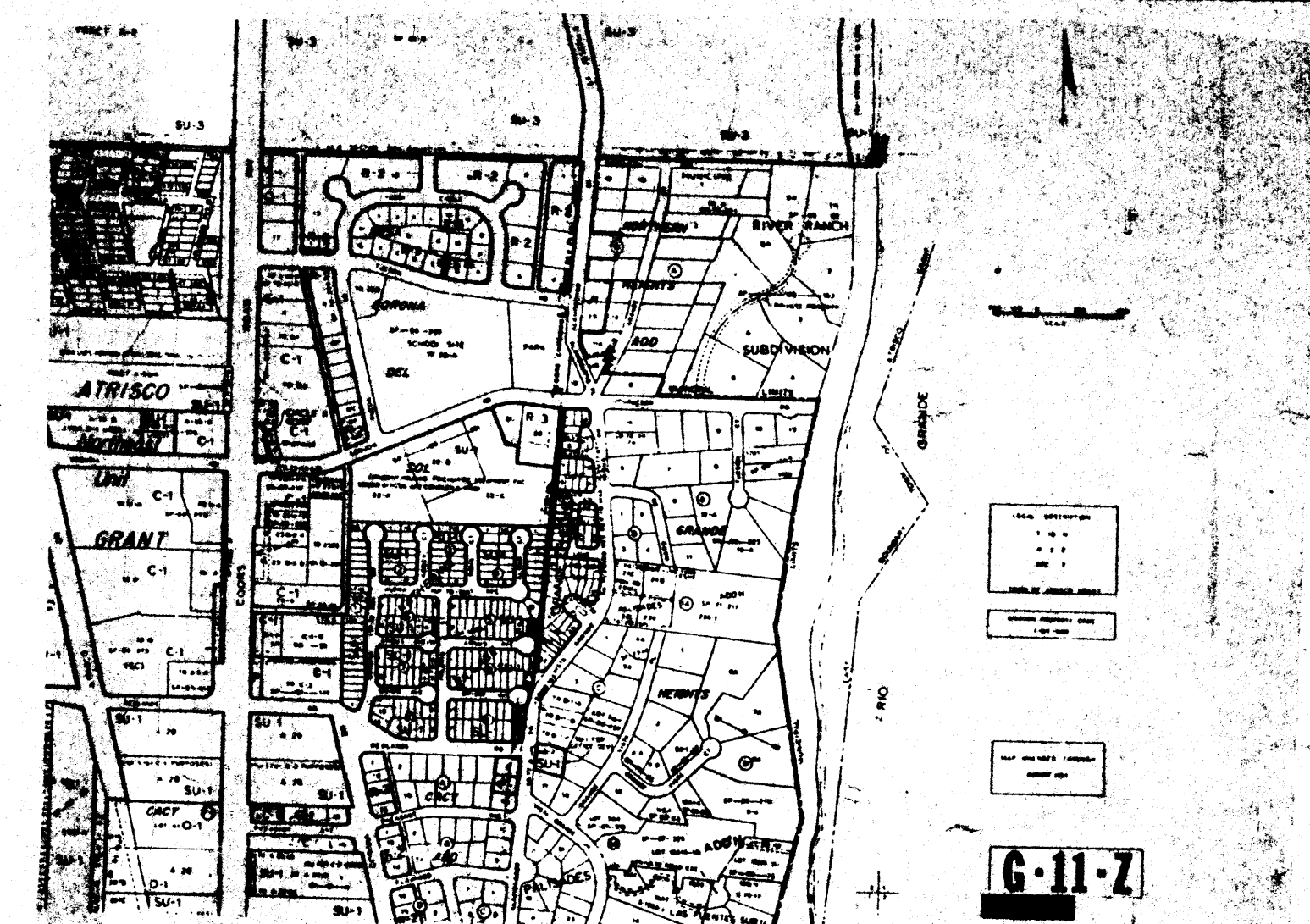


Robert B. Ryals
5/11/93
E3 INDICATE AS BUILT ELEVATIONS



2/26/93

DESIGN BY:	
DRAWN BY:	DJH
GRADING AND DRAINAGE PLAN FOR 3617 YUCCA, N.W.	
RYALS	engineering & construction services
4929 Idlewild SE.	Albuquerque, NM 87108
(505) 265-8267	269-1146 mobile telephone
SHEET NO.	1 of 1



VICINITY MAP

ONSITE HYDROLOGY CALCULATIONS
A.M.S. BUILDERS APT. 4-PLEX
ALBUQUERQUE, NEW MEXICO
3617 YUCCA DR. N. W.

LEGAL DESCRIPTION: Lot 18E CORDA DEL SCL SUBDIVISION
FLOOD ZONE: NA

SITE DESCRIPTION: PRESENTLY THE SITE IS A VACANT LOT WHICH IS ON A SECTION OF YUCCA DRIVE WHICH IS FULLY DEVELOPED WITH ALL CITY UTILITIES AND STANDARD RESIDENTIAL PAVING INCLUDING A STORM DRAIN SYSTEM. THERE EXISTS A STORM SEWER INLET APPROXIMATELY 60' NORTH OF THE SITE ON THE SAME SIDE OF THE STREET. THE SITE IS BOUNDED ON THE EAST BY YUCCA, ON THE NORTH AND SOUTH BY EXISTING APARTMENT COMPLEX STRUCTURES, AND ON THE WEST BY AN UNIMPROVED PUBLIC ALLEY. THE SITE IS ALMOST FLAT WITH THE MAXIMUM GRADE DIFFERENCE BEING 4'.

PROPOSED IMPROVEMENTS: IT IS PROPOSED TO CONSTRUCT A 4-PLEX APARTMENT BUILDING WITH A GROUND FLOOR AREA OF APPROXIMATELY 1526 SF. THE PROPOSED SITE IMPROVEMENTS INCLUDE A PAVED PARKING LOT AND LANDSCAPING AS SHOWN.

HYDROLOGY METHOD: AHYMO COMPUTER PROGRAM, AMAFCA HYDROLOGIC MODEL

REFERENCE: ALBUQUERQUE DPM SECTION 22.2 (AUGUST, 1991)

HYDROLOGIC PARAMETERS:

1. RAINFALL - 100 YR 6 HR DURATION = 2.20 INCHES (NOAA ATLAS 2)

2. LAND TREATMENTS

A) HISTORICAL: NATURAL, AREA = 7200 SF = .1653 AC = .00026 SQ. MI.

B) PROPOSED: BLDG. AND PAVED AREA = 4976 SF = .00018 SQ MI
LANDSCAPED AREAS, AREA = 2226 SF = .00008 SQ MI
TOTAL AREA = 7200 SF = .00026 SQ MI

3. TIME OF CONCENTRATION = 12 MIN.

4. RUNOFF VOLUME AND PEAK DISCHARGE:

A) HISTORICAL:
VOLUME (100 YR 6 HR FROM AHYMO) = .493 IN = 296 CF *
PEAK DISCHARGE (100 YR 6 HR FROM AHYMO) = .23 CFS *

B) PROPOSED:
VOLUME (100YR 6 HR FROM AHYMO) = 1.557 IN = 934 CF *
PEAK DISCHARGE (100 YR 6 HR FROM AHYMO) = .062 CFS *

5. CONCLUSION: THE PROPOSED PLAN PROVIDES FOR THE FREE DISCHARGE OF DEVELOPED RUNOFF TO YUCCA DRIVE. DUE TO THE RELATIVELY SMALL VALUES OF THE RUNOFF VOLUME DIFFERENTIAL AND PEAK DISCHARGE RATES, BETWEEN HISTORICAL AND DEVELOPED CONDITIONS, AND THE AVAILABILITY OF A DOWN STREAM STORM DRAIN SYSTEM (SAD 2, 19), THE DEVELOPMENT PROPOSED FOR THIS SITE WILL NOT SIGNIFICANTLY IMPACT EXISTING DRAINAGE IN THE AREA.

* SEE DRAINAGE FILE FOR DETAILED CALCULATIONS