



Federal Emergency Management Agency

COPY

Region VI
Federal Regional Center
800 North Loop 288
Denton, TX 76201-3698

MT

September 4, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Larry Vigil
906 Ortega Road N.W.
Albuquerque, New Mexico 87114

Dear Mr. Vigil:

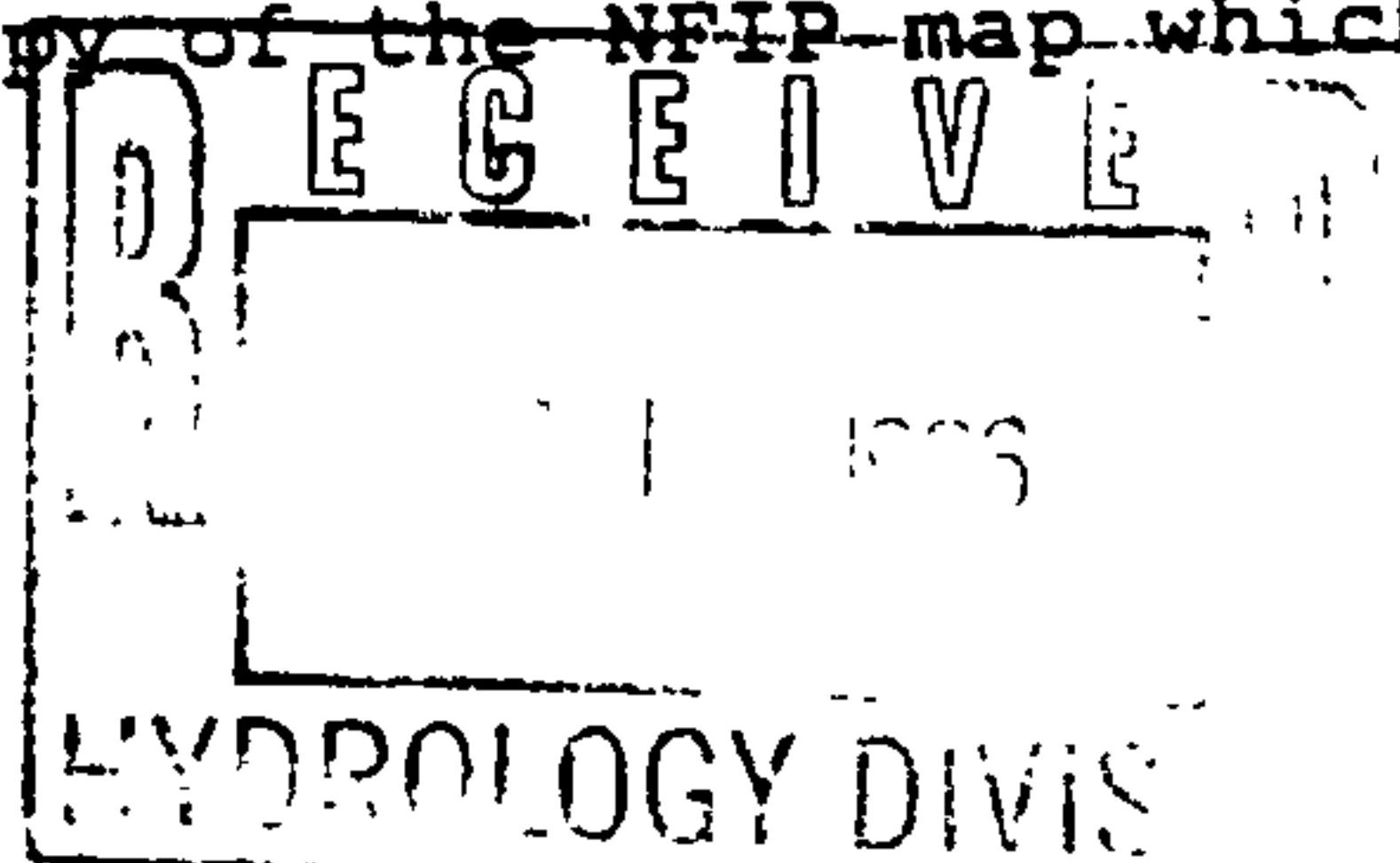
This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9A, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	5212 Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On August 29, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

Even though this property is not included in an SFHA, it could be inundated by a flooding event of greater magnitude than the base flood. In fact, more than 25 percent of all losses in the NFIP occur to structures located outside the SFHA in Zones B, C, or X. More than 25 percent of all policies purchased under the NFIP protect structures located in these zones. This clearly illustrates that there is a risk of flooding in non-SFHAs. That risk is just not as great as the flood risk to structures located in SFHAs. To offer flood insurance protection to owners of such structures, the NFIP offers two types of flood insurance. Property owners should discuss their individual flood risk situation and insurance needs with their insurance agent or company before making a final decision regarding flood insurance coverage. Also, although we have based our determination on the flood information presently available, flood conditions may change or new information may be generated that could supersede this determination.

A copy of this Letter of Map Amendment is being sent to your community's official NFIP map repository where, in accordance with regulations adopted by the community when it made application to join the NFIP, it will be attached to the community's official record copy of the NFIP map which is available for public inspection.



Mr. Vigil

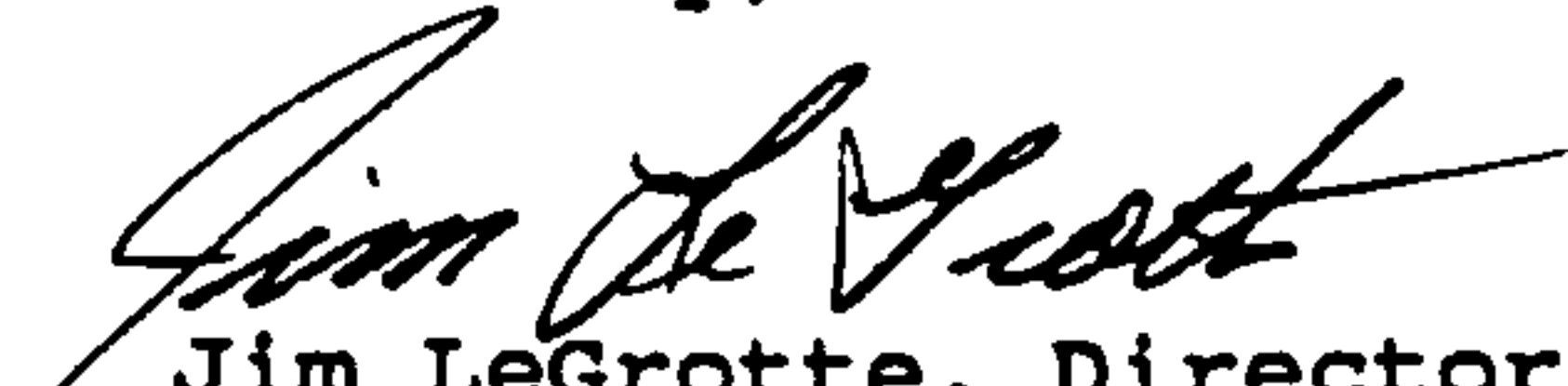
Page 2

If this structure is covered by a flood insurance policy, and if the mortgage company or lending institution agrees to waive the flood insurance requirement, the NFIP will refund the premium paid for the current policy year, providing that no claim is pending or has been paid on the policy during the current policy year. To receive the refund, a written waiver or certificate must be obtained from the mortgage company or lending institution and presented to your insurance agent, who will process the premium refund.

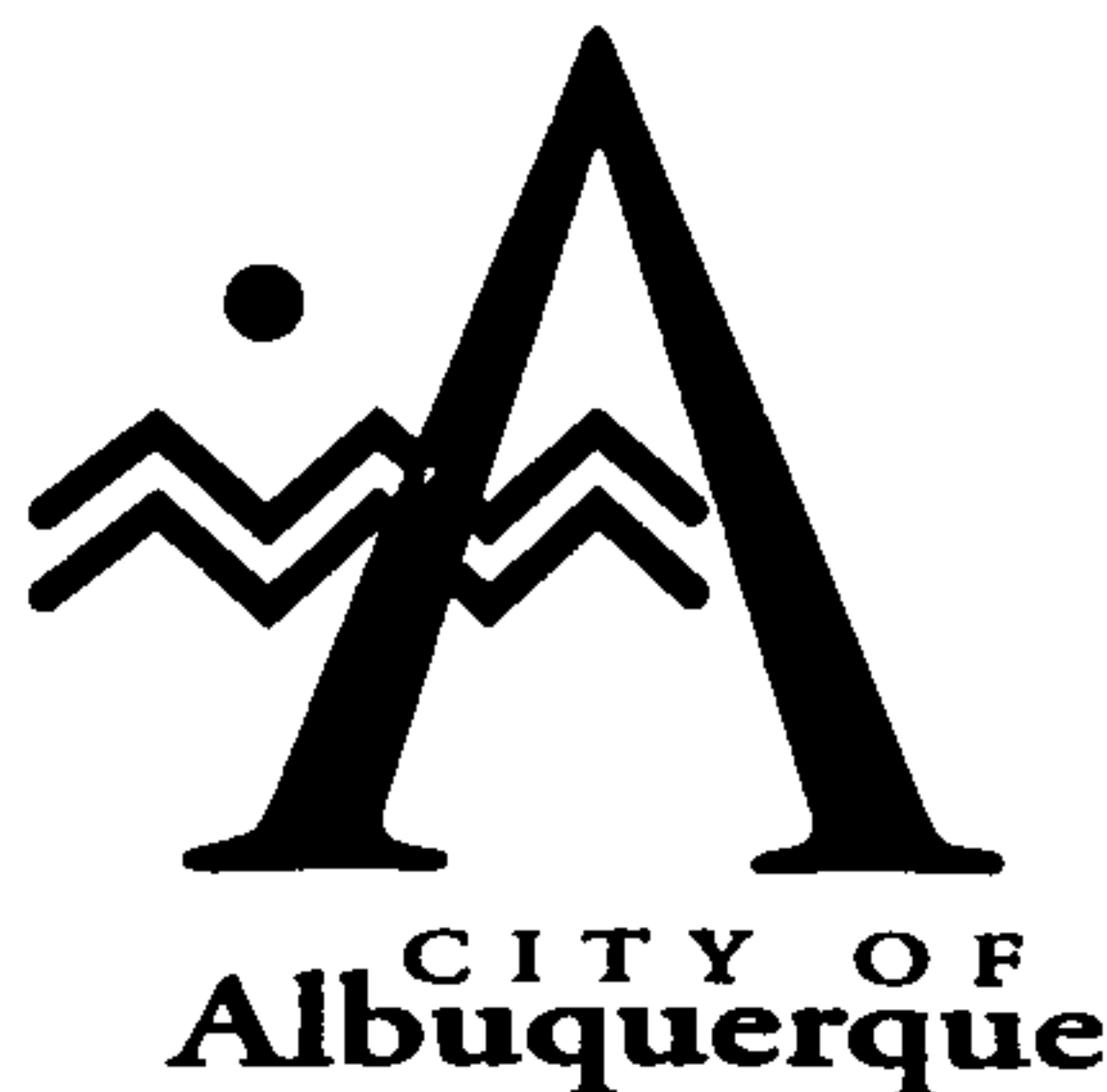
This response to your request is based on minimum criteria established by the NFIP. State and community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction in the floodplain. If the State of New Mexico or the City of Albuquerque have adopted more restrictive and comprehensive floodplain management criteria, these criteria take precedence over the minimum Federal criteria.

If you have any questions or if we can be of further assistance, please call Vicky Carter at (817) 898-5333.

Sincerely,


Jim LeGrotte, Director
Mitigation Division

cc: Mr. Larry Austin, State Coordinator, Office of Emergency Planning and Coordination, PO Box 1628, Santa Fe, New Mexico 87504
Ms. Susan M. Calongne, P.E., City/County Floodplain Administrator, Albuquerque/Bernalillo County, PO Box 1293, Albuquerque, NM 87102
LOMC Distribution Coordinator, Michael Baker Jr., Inc., 3601 Eisenhower Ave., Suite 600, Alexandria, VA 22304



Martin J. Chávez, Mayor

August 20, 1996

Vicky Carter, Mitigation Division
Federal Emergency Management Agency
Region VI, Federal Center
800 North Loop 288
Denton, Texas 76201-3698

RE: Request for Letter of Map Amendments for Lots 9A, 9B, 9C, and 9D, Block E, Cacy Subdivision, Albuquerque, New Mexico, Community Panel No. 350002-0021.

Dear Ms. Carter:

The owners of the above referenced properties are requesting that FEMA issue a Letter of Map Amendment for each residence. Enclosed are the following:

1. A Property Information form and Exhibit "A" with floor elevations for each Lot.
2. Copy of the Recorded Plat showing all four Lots.
3. Location of the Lots on Panel 21 of the Flood Insurance Rate Map (Exhibit "B").
4. AGIS Plot of the Lots showing the Floodplain and the existing Storm Drain Improvements (Exhibit "C").
5. As-Built Drawing of existing Storm Drain (Exhibit "D").

This request is for four existing single family town homes. The FEMA forms regarding the placement and certification of fill material were not used since fill material was not required.

I have reviewed this submittal and believe that it is substantially complete. If you should have any questions, or if you need additional information, please call me at (505) 768-2666.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: R.G. Lee, Jr., P.E.

File F11/D54

Good for You, Albuquerque!

611/454





June 11, 1997

97-06-100

Vicky

JUN 16 1997

Martin J. Chávez, Mayor

Vicky Carter
Federal Emergency Management Agency
Region VI, Federal Regional Center
800 North Loop 288
Denton, Texas 76201-3698

RE: LETTERS OF MAP AMENDMENT ISSUED PRIOR TO SEPTEMBER 20, 1996, EFFECTIVE DATE OF FLOOD INSURANCE STUDY FOR BERNALILLO COUNTY AND INCORPORATED AREAS.

Dear Ms. Carter:

Attached are copies of the Letters of Map Amendment (LOMAs) for the Vigil Properties, which were issued by FEMA before the effective date of our Community's current Flood Insurance Study. It appears that these LOMAs are no longer valid. Therefore, on behalf of the Community, I would like to request that the LOMAs for the following properties be reissued by your office:

- Lot 9A, Block E, Casy Subdivision, 5212 Pheasant Ave. NW
- Lot 9B, Block E, Casy Subdivision, Pheasant Ave. NW
- Lot 9C, Block E, Casy Subdivision, 5204 Pheasant Ave. NW
- Lot 9D, Block E, Casy Subdivision, 5200 Pheasant Ave. NW

*Panel 32710
35061C
9-20-96*
Susan per 10:00 6/18/97

If you need copies of the LOMA requests, any additional information, or if you have any questions regarding this request, please call me at (505)924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

Attachments

Good for You, Albuquerque!

P.O. Box 1293, Albuquerque, New Mexico 87103





Federal Emergency Management Agency

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Denton, TX 76201-3698

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September 4, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Larry Vigil
906 Ortega Road N.W.
Albuquerque, New Mexico 87114

Dear Mr. Vigil:

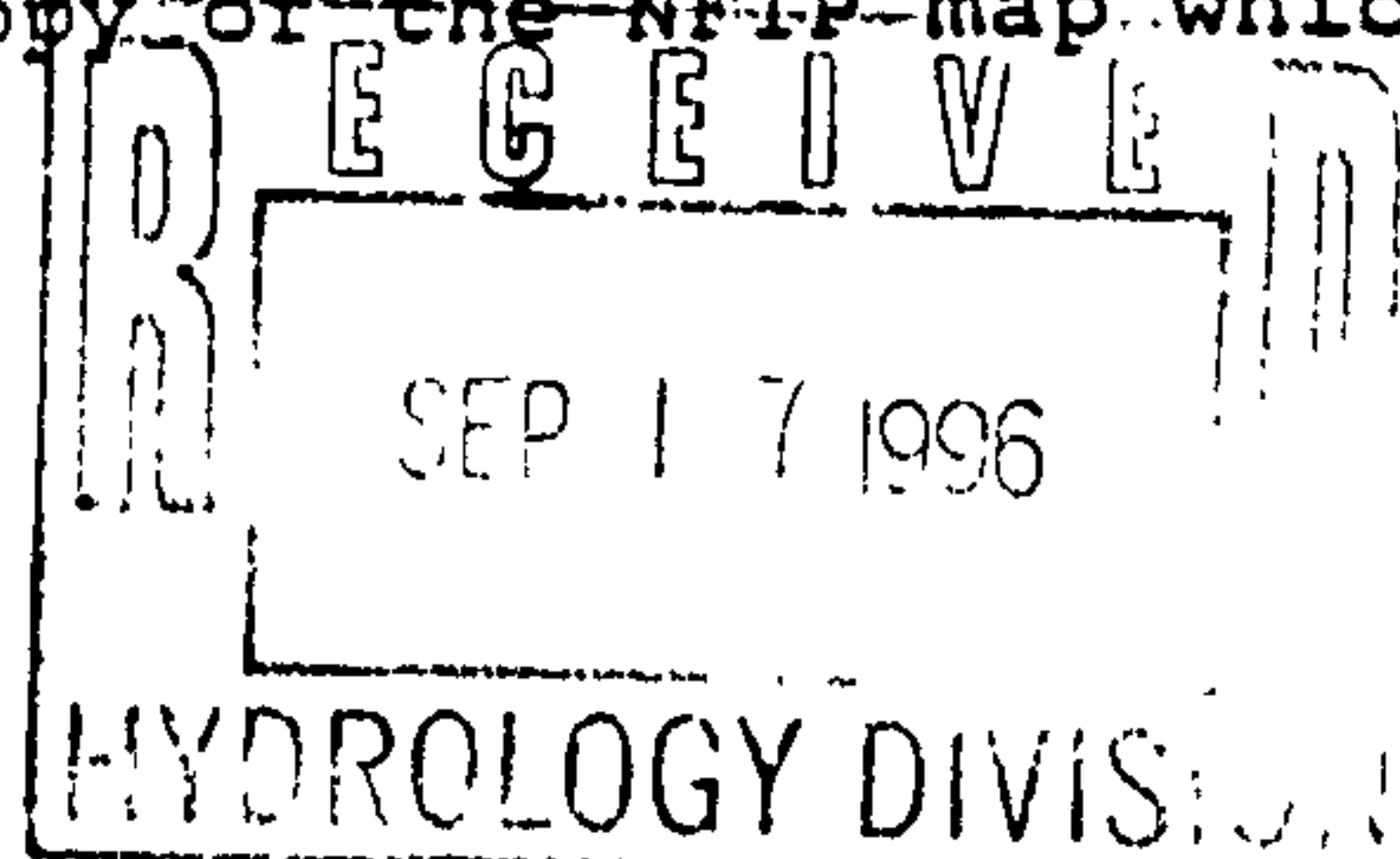
This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9A, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	5212 Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On August 29, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

Even though this property is not included in an SFHA, it could be inundated by a flooding event of greater magnitude than the base flood. In fact, more than 25 percent of all losses in the NFIP occur to structures located outside the SFHA in Zones B, C, or X. More than 25 percent of all policies purchased under the NFIP protect structures located in these zones. This clearly illustrates that there is a risk of flooding in non-SFHAs. That risk is just not as great as the flood risk to structures located in SFHAs. To offer flood insurance protection to owners of such structures, the NFIP offers two types of flood insurance. Property owners should discuss their individual flood risk situation and insurance needs with their insurance agent or company before making a final decision regarding flood insurance coverage. Also, although we have based our determination on the flood information presently available, flood conditions may change or new information may be generated that could supersede this determination.

A copy of this Letter of Map Amendment is being sent to your community's official NFIP map repository where, in accordance with regulations adopted by the community when it made application to join the NFIP, it will be attached to the community's official record copy of the NFIP map which is available for public inspection.



Mr. Vigil


Page 2

If this structure is covered by a flood insurance policy, and if the mortgage company or lending institution agrees to waive the flood insurance requirement, the NFIP will refund the premium paid for the current policy year, providing that no claim is pending or has been paid on the policy during the current policy year. To receive the refund, a written waiver or certificate must be obtained from the mortgage company or lending institution and presented to your insurance agent, who will process the premium refund.

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Sincerely,


Jim LeGrotte, Director
Mitigation Division

cc: Mr. Larry Austin, State Coordinator, Office of Emergency Planning and Coordination, PO Box 1628, Santa Fe, New Mexico 87504
Ms. Susan M. Calongne, P.E., City/County Floodplain Administrator, Albuquerque/Bernalillo County, PO Box 1293, Albuquerque, NM 87102
LOMC Distribution Coordinator, Michael Baker Jr., Inc., 3601 Eisenhower Ave., Suite 600, Alexandria, VA 22304



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September 9, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Larry Vigil
906 Ortega Road N.W.
Albuquerque, New Mexico 87114

Dear Mr. Vigil:

This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9B, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On September 4, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

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Mr. Vigil

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Sincerely,


Jim LeGrotte, Director
Mitigation Division

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Ave., Suite 600, Alexandria, VA 22304



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September 9, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Donald Vigil
906 Ortega Road N.W.
Albuquerque, New Mexico 87114

Dear Mr. Vigil:

This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9D, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	5200 Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On September 4, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

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Federal Emergency Management Agency

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MT

September 9, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Ramon Cano
3200 Coors Boulevard N.W. K-112
Albuquerque, New Mexico 87114

Dear Mr. Cano:

This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9C, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	5204 Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On September 4, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

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Mr. Cano

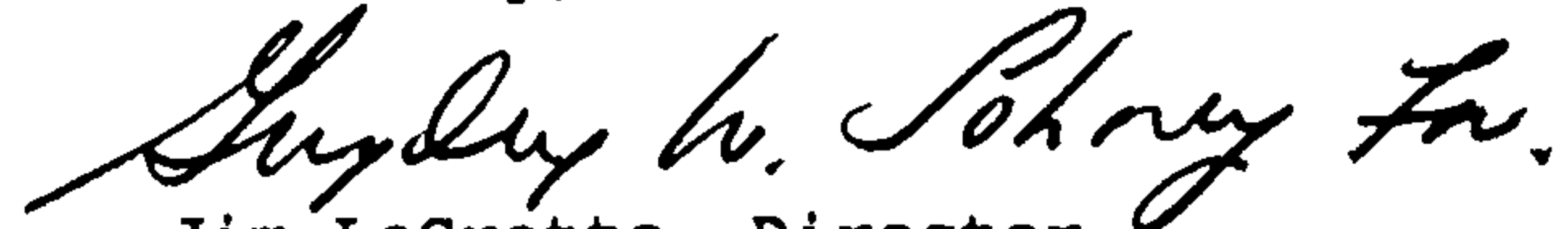
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Ms. Susan M. Calongne, P.E., City/County Floodplain Administrator,
Albuquerque/Bernalillo County, PO Box 1293, Albuquerque, NM 87102
LOMC Distribution Coordinator, Michael Baker Jr., Inc., 3601 Eisenhower
Ave., Suite 600, Alexandria, VA 22304



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 30, 1995

J. Arsenio Martinez
George T. Rodriguez Development Consultant
12800 San Juan NE
Albuquerque, Nm 87123

RE: DRAINAGE PLAN FOR LARRY VIGIL TOWNHOUSES (G11-D54)
ENGINEER'S STAMP DATED 3/16/95.

Dear Mr. Martinez:

Based on the information provided on your March 21, 1995
submittal, the above referenced site is approved for Grading and
Building Permit.

Please attach a copy of this approved plan to the construction
sets prior to sign-off by Hydrology.

Also, Engineer Certification will be required prior to
Certificate of Occupancy release.

If I can be of further assistance, please feel free to contact me
at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LARRY VIGIL TOWNHOUSES ZONE ATLAS/DRNG. FILE #: G-11/154
JOB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: LOTS 8 & 9, BLK. "E", CACY SUBDIVISION, (PRESENTLY BEING REPLATTED)
CITY ADDRESS: PHEASANT AVENUE N.W.
ENGINEERING FIRM: J. ARSENIOM MARTINEZ, P.E. CONTACT: MR. MARTINEZ
GEORGE T. RODRIGUEZ MR. RODRIGUEZ
DEVELOPMENT CONSULTANT
ADDRESS: 12800 SAN JUAN N.E. 87123 PHONE: 294-0320
OWNER: LARRY VIGIL CONTACT: MR. VIGIL
ADDRESS: 906 ORTEGA ROAD, N.W. (CITY) PHONE: 898-6930
ARCHITECT: RICK BENNETT CONTACT: MR. BENNETT
ADDRESS: 1118 PARK AVE. S.W. (CITY) PHONE: 242-1859
SURVEYOR: TORRES SURVEYING CO. CONTACT: JIM TORRES
ADDRESS: 1570 BRIDGE BLVD. S.W. 87105 PHONE: 856-8898
CONTRACTOR: MR. LARRY VIGIL CONTACT: MR. VIGIL
ADDRESS: (SEE "OWNER" ABOVE) PHONE: 898-6930

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: MARCH 17, 1995
BY: GEORGE T. RODRIGUEZ
DEVELOPMENT CONSULTANT

MAR 21 1995

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LOMA ZONE ATLAS/DRWNG. FILE #: G-11 / 1154

LEGAL DESCRIPTION: Lot 9-A, 9-B, 9-C, & 9-D, Block E, Cacy Subdivision

CITY ADDRESS: 5212, 5208, 5204 & 5200 Pheasant Ave. NW

ENGINEER FIRM: Lee Engineering Co. CONTACT: R.G. Lee, Jr.

ADDRESS: 2316 Calle De Refael N.E. PHONE: (505) 822-8999

Albuquerque N.M. 87122

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

OWNER: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES

☒ NO

☐ COPY OF CONFERENCE RECAP

☐ SHEET PROVIDED

_____ DRB NO.

_____ EPC NO.

_____ PROJ.NO

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER' CERTIFICATION

☒ OTHER "LOMA"

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ BUILDING PERMIT APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

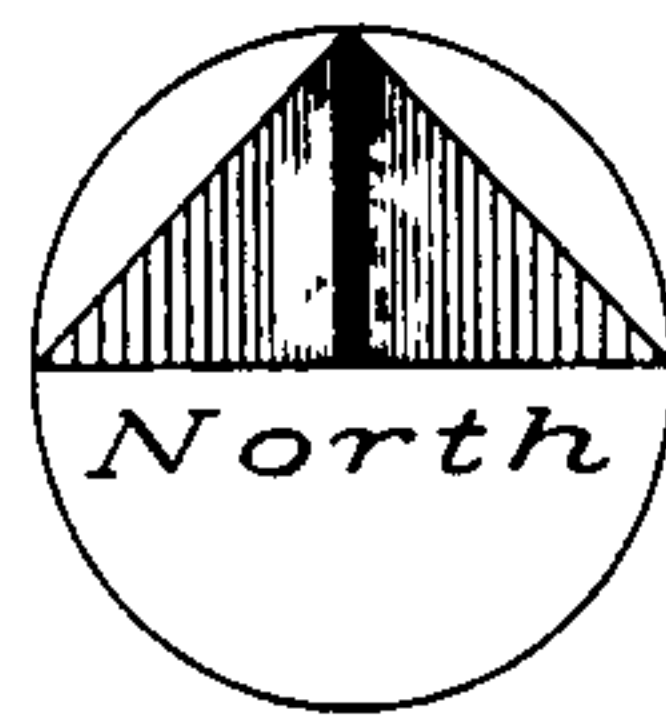
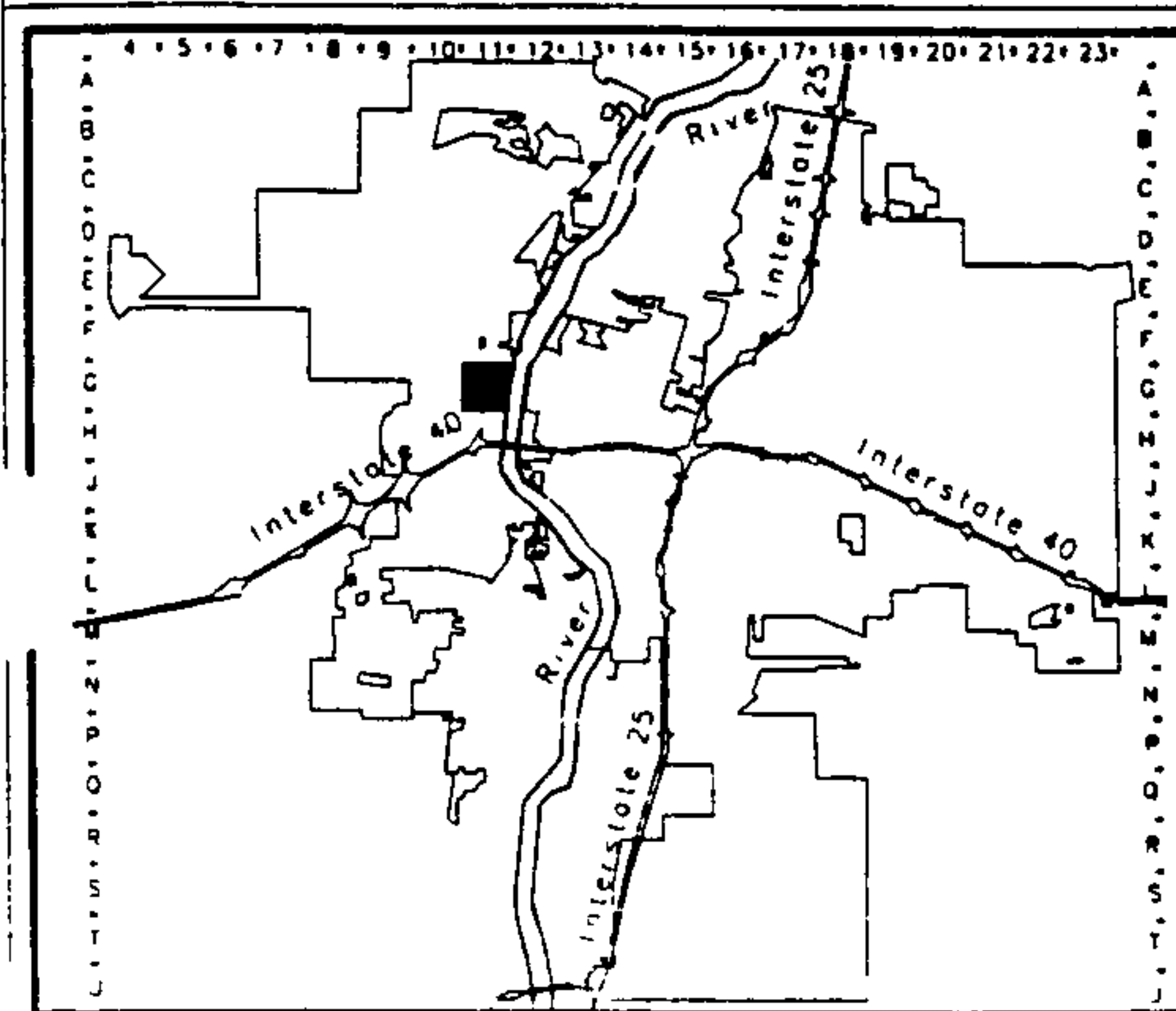
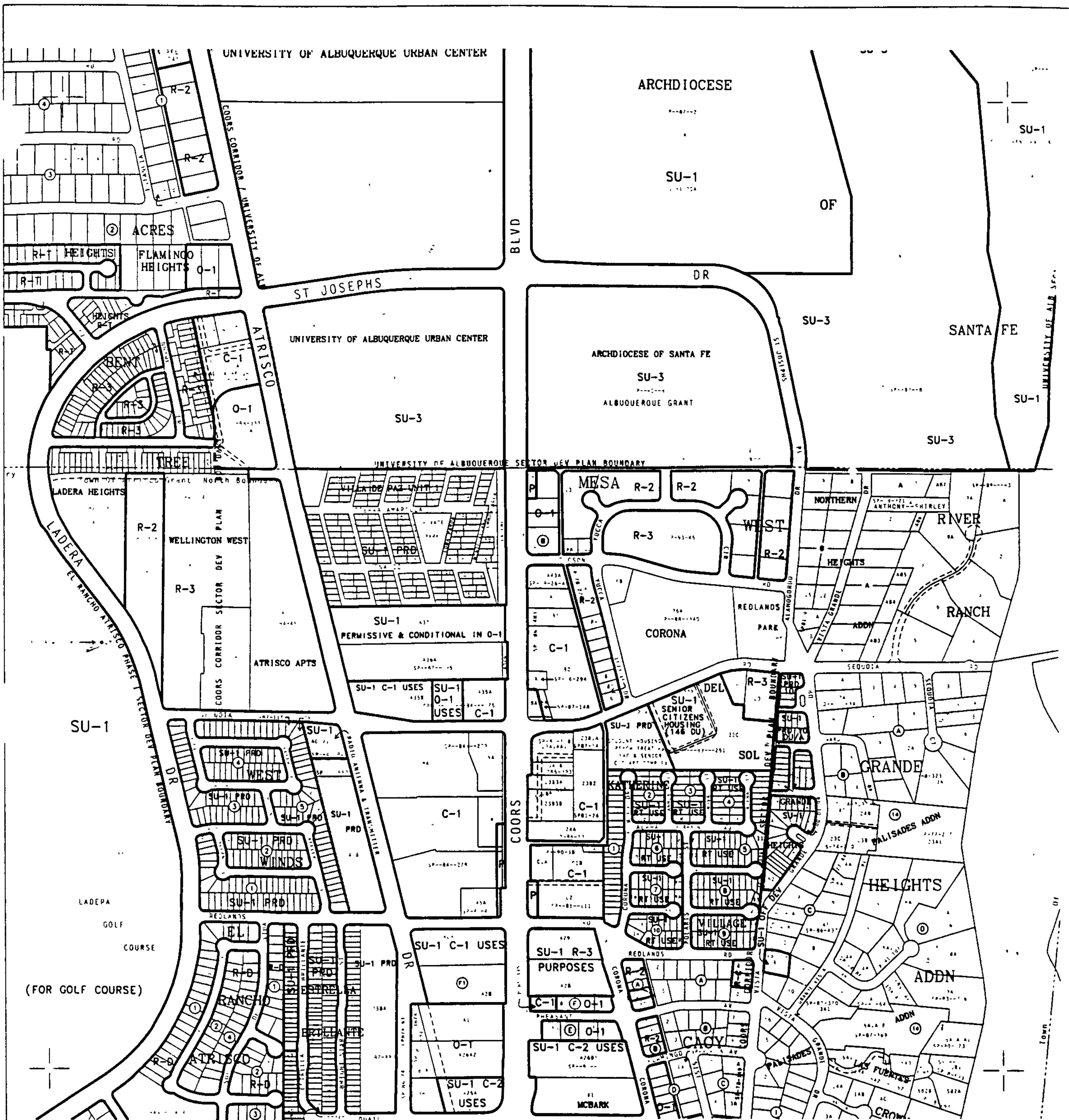
☐ GRADING/PAVING PERMIT APPROVAL

☒ OTHER "LOMA"

DATE SUBMITTED: July 31, 1996

BY: Herman Hood

AUG - 6 1996



750 375 0 750
Scale: 1" = 750'

Abuquerque **G**eographic **I**nformation **S**ystem
City of Albuquerque

© Planning Department July 07, 1993

LEGAL DESCRIPTION

T10N

R2E

SEC 2

UNIFORM PROPERTY CODE

1-011-060

G-11-Z



Federal Emergency Management Agency

Region VI
Federal Regional Center
800 North Loop 288
Denton, TX 76201-3698

COPY

MT

September 9, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Larry Vigil
906 Ortega Road N.W.
Albuquerque, New Mexico 87114

Dear Mr. Vigil:

This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9B, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On September 4, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

Even though this property is not included in an SFHA, it could be inundated by a flooding event of greater magnitude than the base flood. In fact, more than 25 percent of all losses in the NFIP occur to structures located outside the SFHA in Zones B, C, or X. More than 25 percent of all policies purchased under the NFIP protect structures located in these zones. This clearly illustrates that there is a risk of flooding in non-SFHAs. That risk is just not as great as the flood risk to structures located in SFHAs. To offer flood insurance protection to owners of such structures, the NFIP offers two types of flood insurance. Property owners should discuss their individual flood risk situation and insurance needs with their insurance agent or company before making a final decision regarding flood insurance coverage. Also, although we have based our determination on the flood information presently available, flood conditions may change or new information may be generated that could supersede this determination.

A copy of this Letter of Map Amendment is being sent to your community's official NFIP map repository where, in accordance with regulations adopted by the community when it made application to join the NFIP, it will be attached to the community's official record copy of the NFIP map which is available for public inspection.

Mr. Vigil

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If this structure is covered by a flood insurance policy, and if the mortgage company or lending institution agrees to waive the flood insurance requirement, the NFIP will refund the premium paid for the current policy year, providing that no claim is pending or has been paid on the policy during the current policy year. To receive the refund, a written waiver or certificate must be obtained from the mortgage company or lending institution and presented to your insurance agent, who will process the premium refund.

This response to your request is based on minimum criteria established by the NFIP. State and community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction in the floodplain. If the State of New Mexico or the City of Albuquerque have adopted more restrictive and comprehensive floodplain management criteria, these criteria take precedence over the minimum Federal criteria.

If you have any questions or if we can be of further assistance, please call Vicky Carter at (817) 898-5333.

Sincerely,



Jim LeGrotte, Director
Mitigation Division

cc: Mr. Larry Austin, State Coordinator, Office of Emergency Planning and Coordination, PO Box 1628, Santa Fe, New Mexico 87504
Ms. Susan M. Calongne, P.E., City/County Floodplain Administrator, Albuquerque/Bernalillo County, PO Box 1293, Albuquerque, NM 87102
LOMC Distribution Coordinator, Michael Baker Jr., Inc., 3601 Eisenhower Ave., Suite 600, Alexandria, VA 22304



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September 9, 1996
IN REPLY REFER TO:
T-218-70-RS

Mr. Ramon Cano
3200 Coors Boulevard N.W. K-112
Albuquerque, New Mexico 87114

Dear Mr. Cano:

This is in response to your letter, dated July 2, 1996, requesting that the Federal Emergency Management Agency (FEMA) determine whether the following property is located in a Special Flood Hazard Area (SFHA), an area that would be inundated by the 100-year (1-percent annual chance) flood.

Property Description:	Lot 9C, Block E, Cacy Subdivision, according to the plat recorded in Bernalillo County, NM
Street Address:	5204 Pheasant Avenue NW
Community:	Albuquerque
State:	New Mexico
Community Number:	350002
Flooding Source:	Unnamed Source

On September 4, 1996, we received all information necessary to process your request. After comparing this information with the National Flood Insurance Program (NFIP) map for the community referenced above, we determined that, although portions of the property would be inundated by a 100-year flood, the existing structure would not. Therefore, this letter amends the map for Albuquerque, New Mexico (NFIP Map Number 350002, Panel 0021C, dated October 14, 1983, to remove this structure from the SFHA. Because portions of this property are in the SFHA, any future construction or substantial improvement on this property remain subject to Federal, State, and local regulations for floodplain management.

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Mr. Cano

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If you have any questions or if we can be of further assistance, please call Vicky Carter at (817) 898-5333.

Sincerely,



Jim LeGrotte, Director
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