Herman Gallegos 03-31-22 Herman Gallegos 13'-6" VIP COMPACTOR 12'-0" STD. ENCLOSURE ARE TO BE 6" FROM CONCRETE SLAB, 6" THICK 4,000 PSI, 3" AGGREGATE WITH 6X6 - 10/10 WWM OR EQUAL SLOPE TO DRAIN 1/8 RESTAURANT AND FOOD SEWER DRAIN REQUIRED 6'-0" INSIDE TO INSIDE SEPARATE BOLARDS FOR GATES DRILL HOLES FOR GATE PIN 3/4" AGGREGATE WITH 5X6 -10 / 10 WWM OR EQUAL 12'-0" X 8'-0" WITH 1/2" EXPANSION JOINT HOLES IN APRON FOR GATE PIN FOOTING AS REQUIRED BY DESIGN APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LIBS) TOP BOND BM W/ REFER DETAIL CONCRETE FILLED 4"Ø BOLLARD BEYOND STEEL PIPE SHALL BE ENCASED IN 12" CONCRETE ALL AROUND PAVEMENT AND EMBEDDED 2'-0" W/ (2)-#4 CONT. (2)-#4 CONT.

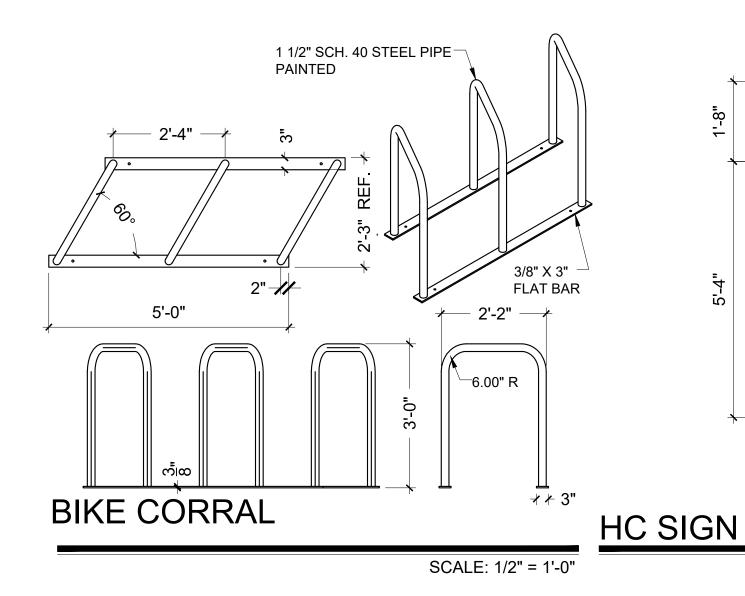
DO NOT ENTER SIGN

Approved for access by the

Solid Waste Department 1 dumpster 3-recycle carts

2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE. 2.25' B. 8 SPACE BIKE RACK, REF DETAIL THIS SHEET 31.25' 189.50' C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET H.C. PARKING SIGN, REF DETAIL ON THIS SHEET NEW FIRE HYDRANT IRRIGATION BOX G. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430 H. FIRE DEPT. CONNECTION HC PARKING SYMBOL J. 8' CMU WALL K. HEADER CURB, REF DETAIL THIS SHEET L. EXISTING PROPERTY LINE M. 8" STEEL BOLLARD **BUILDING 1** N. 15' BUILDING SETBACK 4 FLOORS O. 5' BUILDING SETBACK 17 1 BEDROOM UNITS P. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, 17 2 BEDROOM UNITS SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL 7,840 SF FOOTPRINT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE Q. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE. R. RED PAINT WITH "FIRE LANE" NOTATION. S. STRUCTURAL COLUMN T. PLANTING BED U. REFUSE ENCLOSURE REF. DETAIL THIS SHEET V. RECYCLING CONTAINER COLLECTION POINT W. RECYCLING CONTAINER STORAGE X. 100' NEIGHBORHOOD EDGE PROTECTION LINE Y. EXISTING Z. EXISTING AA. NEW 4" PVC TO HYDRANT AB. NEW 4" PVC SANITARY SEWER AC. NEW 1" TO DOMESTIC WATER METER AD. NEW 4" PVC TO FIRE RISER 9.75' BUILDING 2 TOWNHOUSE STYLE 3 FLOORS 12 THREE BEDROOM UNITS 8,440 SF FOOTPRINT MAX HT 29'-11" SETBACKS R-MH IDO PAGE 23 18.00' 24.50' 20.00' FRONT: 15FT SIDE: INTERIOR 5FT 2.25' REAR: 15 FT NOTE: RECESS WINDOWS 2 INCHES 4'-0" CLEARANCE AROUND FIRE HYDRANT **CLEAR SIGHT TRIANGLE** 

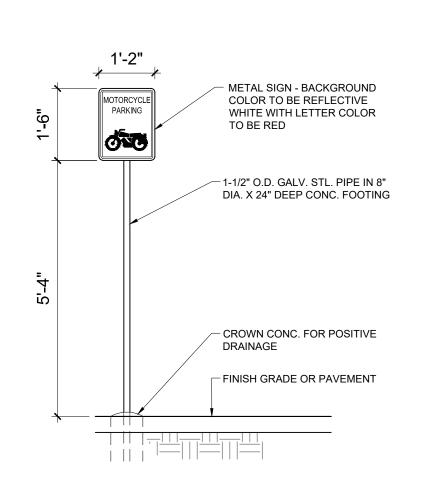
## SITE PLAN NOTE: ALL PARKING IS AT GRADE



SCALE: NTS

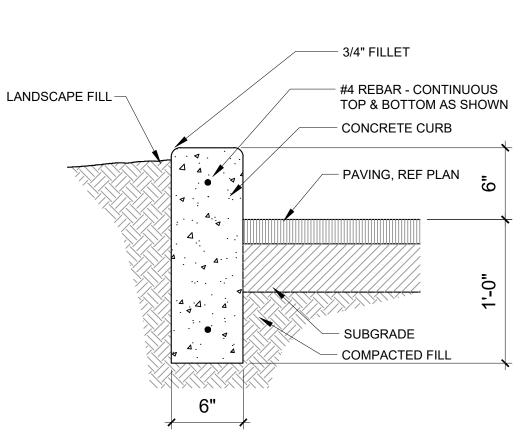
1'-0" METAL SIGN - BACKGROUND COLOR TO BE REFLECTIVE WHITE WITH LETTER COLOR TO BE HANDICAP BLUE - 1-1/2" O.D. GALV. STL. PIPE IN 8" DIA. X 24" DEEP CONC. FOOTING - CROWN CONC. FOR POSITIVE FINISH GRADE OR PAVEMENT 

SCALE: NTS



MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



**CURB DETAIL** 

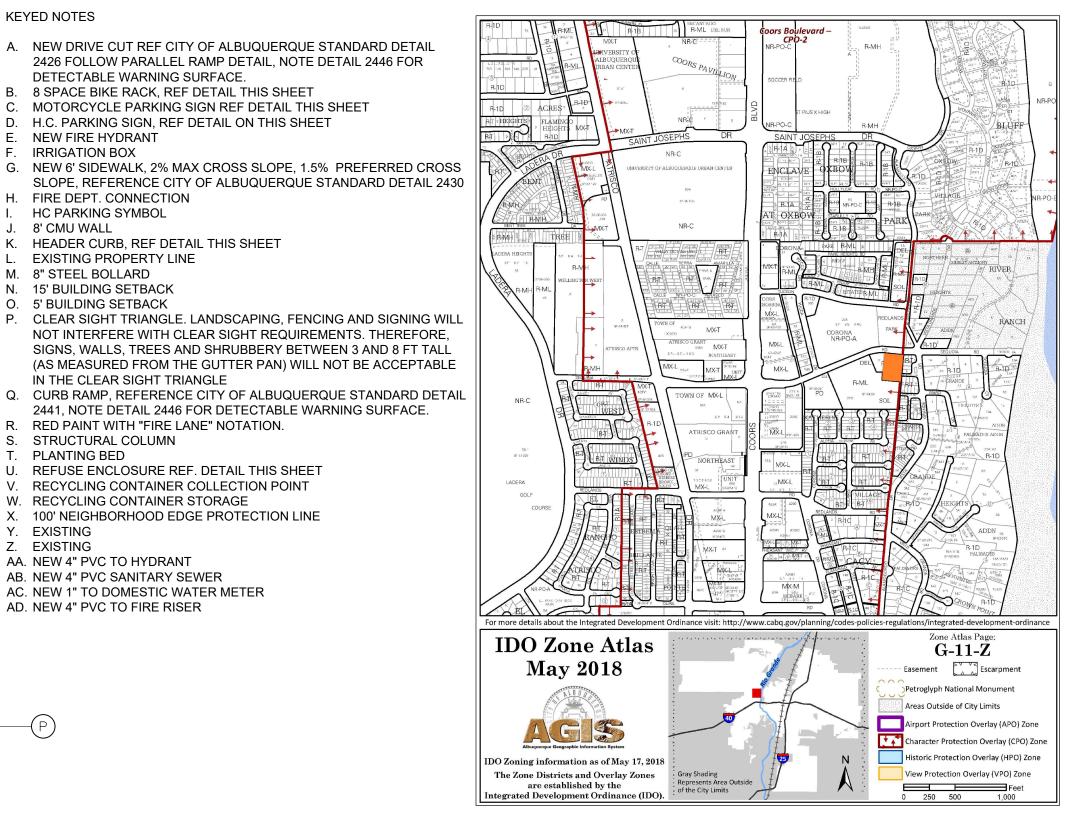
SCALE: NTS

- 3" ASPHALTIC CONCRETE PAVING - SEE SITE PLAN — 6" BASE COURSE - 6" COMPACTED SUB-GRADE

KEYED NOTES

PAVING SECTION

SCALE: NTS



ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE

ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

RECESS ALL WINDOWS 2".

THE SOLID WASTE DEPARTMENT SHALL HAVE 24HR ACCESS TO THE REFUSE ENCLOSURE.

THE APPROACH TO THE REFUSE ENCLOSURE SHALL NOT EXCEED  $\frac{1}{8}$ " PER 1'-0".

COORS BOULEVARD - CPO-2 HEIGHT PER 14-16-3-6 (D) (IDO PAGE 130) NOT APPLICABLE

PARKING: MULTI-FAMILY DWELLING: 46 X 1.5 = 69 SPACES 12 GARAGES EACH HAVE A CHARGING STATION

SPACES PROVIDED: 48 SURFACE + 24 GARAGE (12 X 2) + 4 ON STREET = 76 SPACES HC REQUIRED: 3 STANDARD, 1 VAN 4 MOTORCYCLE REQUIRED

2 EA. 6 SPACE BIKE RACK GROSS LOT AREA = 51,888 SF

BUILDINGS = 15,914 SF NET LOT AREA = 35,974 SF REQUIRED LANDSCAPE AREA @ 15% = 5,396 SF; 8,638 SF PROVIDED

IDO TABLE 5-1-1 OPEN SPACE R-MH (IDO PAGE 216): 1 BEDROOM: 17 EA X 225 SF = 3,600 SF 2 BEDROOM: 17 EA X 285 SF = 8,265 SF

TOTAL REQUIRED = 11,865 SF

GRADE LEVEL= 11,684 SF BALCONIES = 0 SF 3RD FLOOR DECK = 620 SF TOTAL = 12,304 SF

UPC: 101106038518940617 LEGAL: LOT 20, CORONA DEL SOL ZONING: R-MH ZONE ATLAS PAGE: G11

