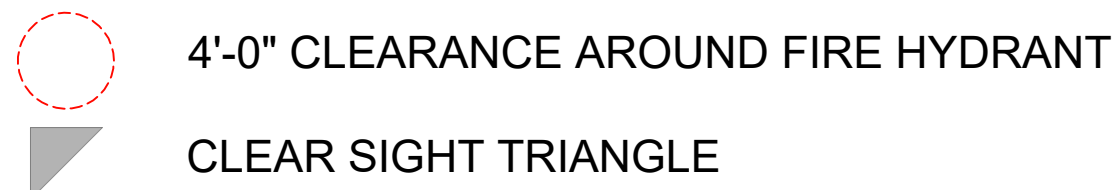
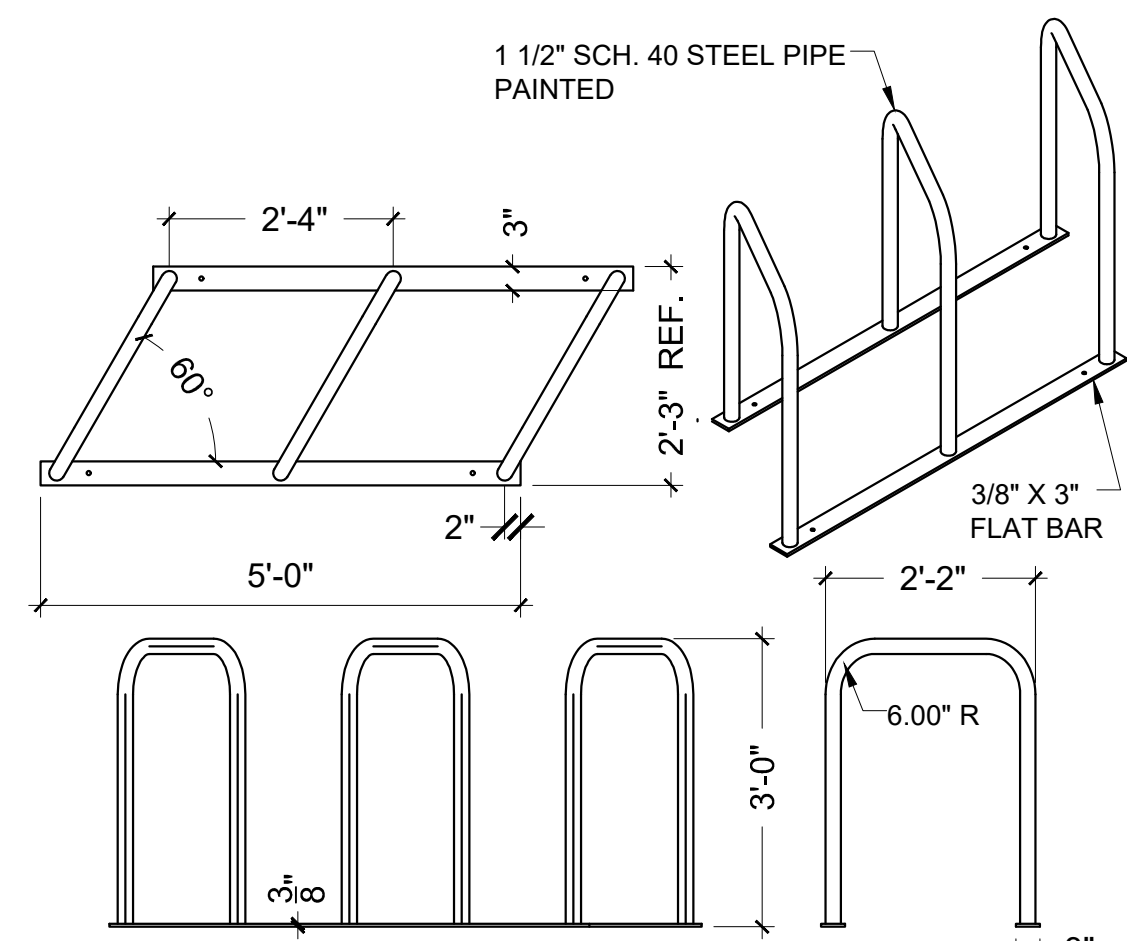


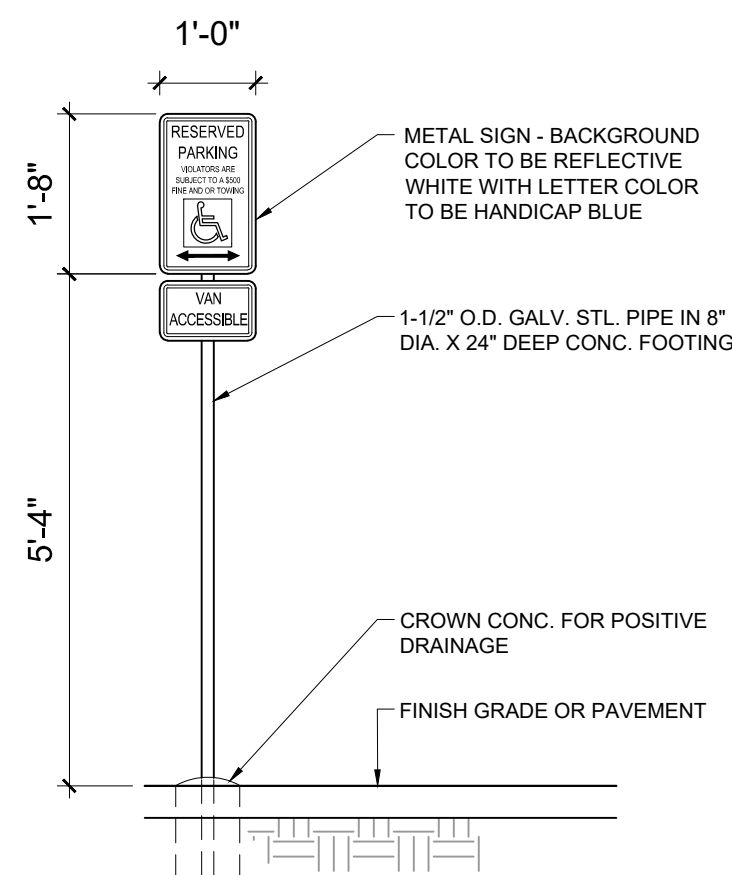
SCALE: NTS



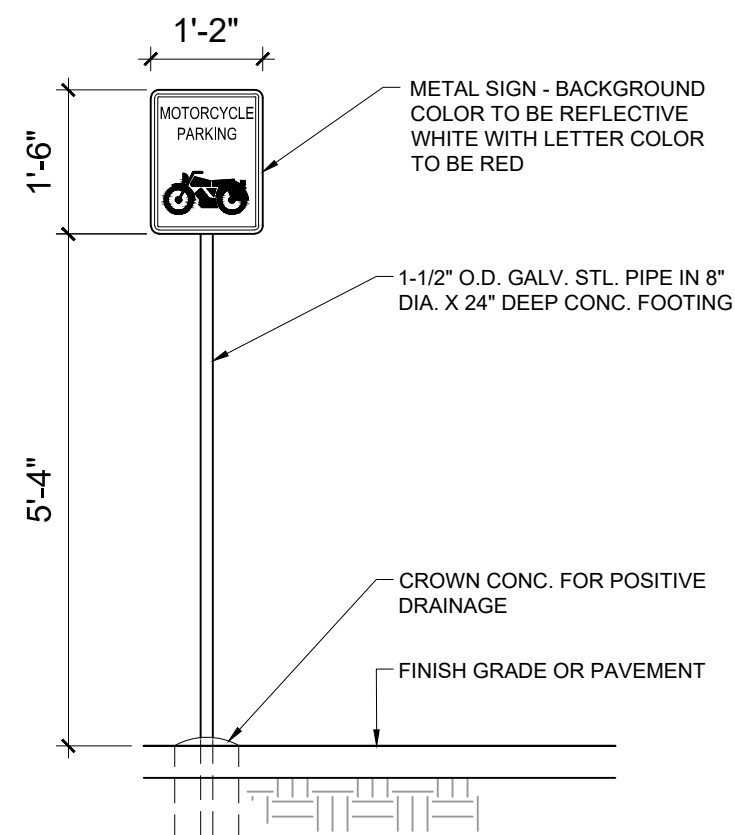
NOTE: ALL PARKING IS AT GRADE



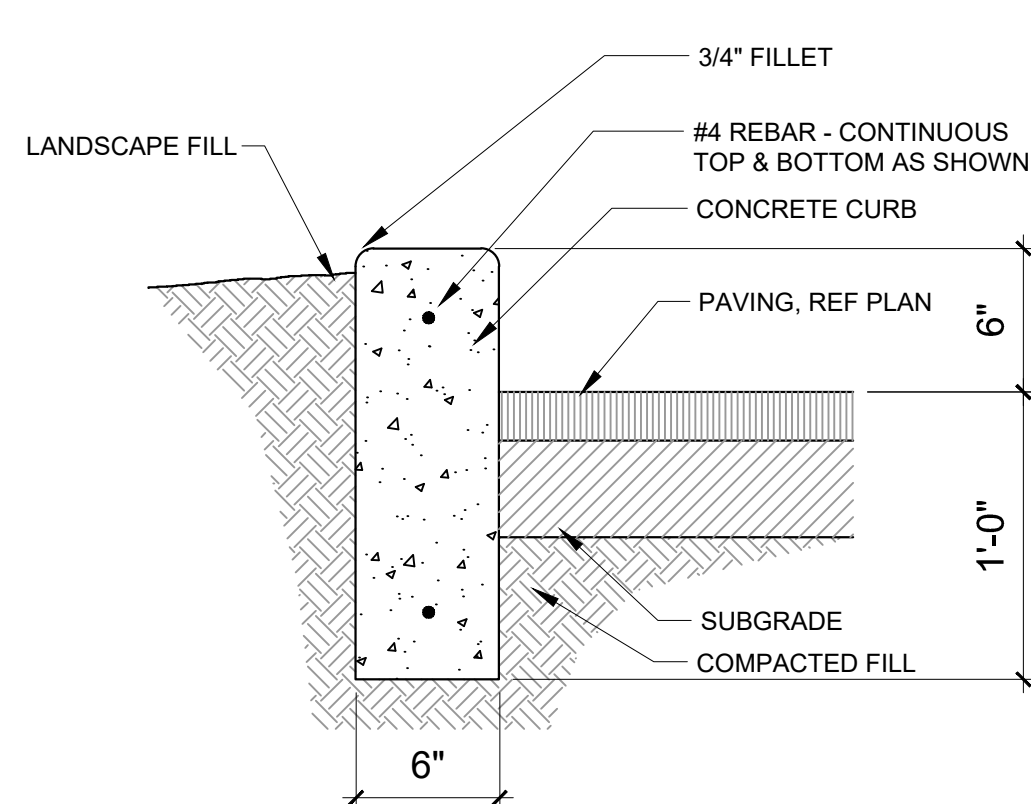
SCALE: 1/2" = 1'-0"



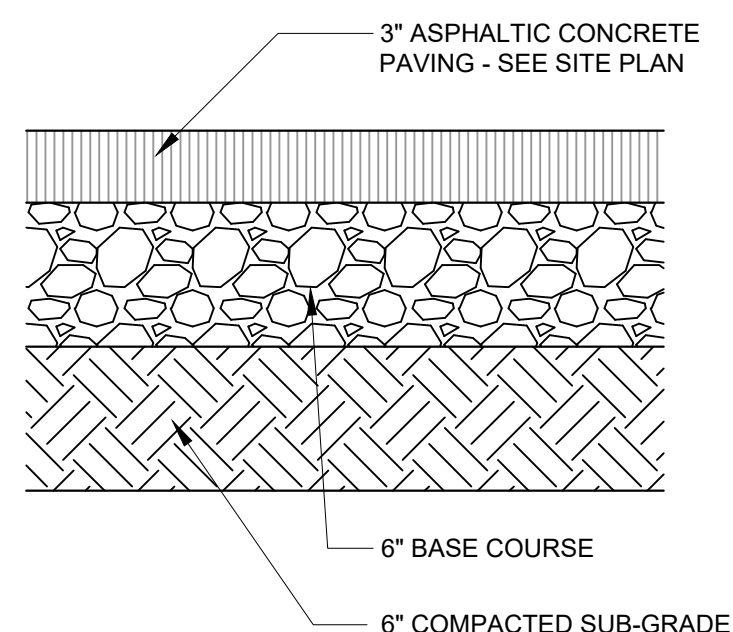
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SCALE: 1/2" = 1'-0"

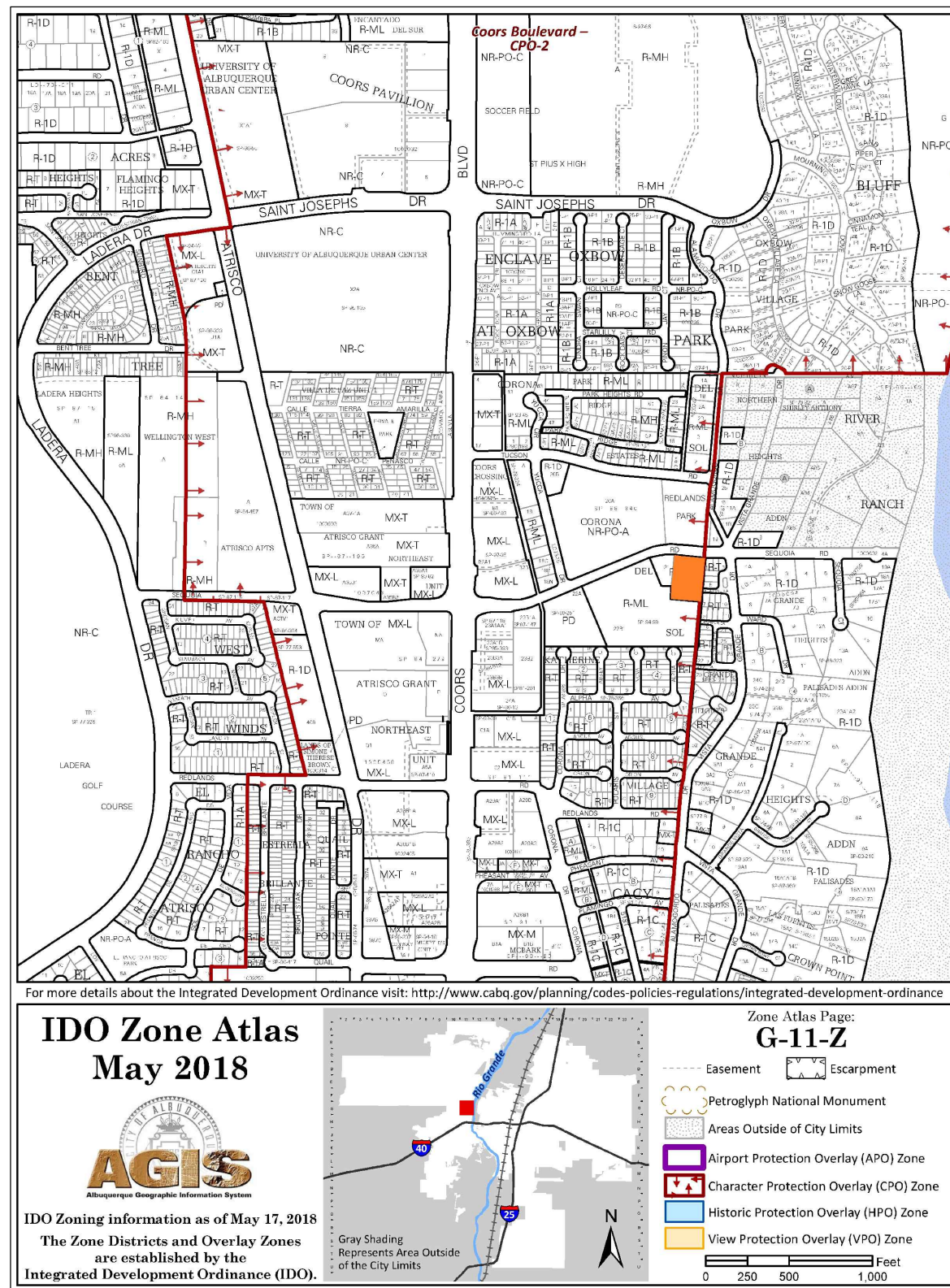


SCALE: NTS



SCALE: NTS

- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- B. 8 SPACE BAKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- E. NEW FIRE HYDRANT
- F. IRRIGATION BOX
- G. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION
- I. H.C. PARKING SYMBOL
- J. 8" CMU WALL
- K. HEADER CURB, REF DETAIL THIS SHEET
- L. EXISTING PROPERTY LINE
- M. 8" STEEL BOLLARD
- N. 15' BUILDING SETBACK
- O. 8' BUILDING SETBACK
- P. CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE
- Q. CLEAR SIGHT TRIANGLE
- R. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE.
- R. RED PAINT WITH "FIRE LANE" NOTATION.
- S. STRUCTURAL COLUMN
- T. PLANTING BED
- U. REFUSE ENCLOSURE REF. DETAIL THIS SHEET
- V. RECYCLING CONTAINER COLLECTION POINT
- W. RECYCLING CONTAINER STORAGE
- X. 100' NEIGHBORHOOD EDGE PROTECTION LINE
- Y. EXISTING
- Z. EXISTING
- AA. NEW 4" PVC TO HYDRANT
- AB. NEW 4" PVC SANITARY SEWER
- AC. NEW 1" TO DOMESTIC WATER METER
- AD. NEW 4" PVC TO FIRE RISER



NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

ALL WINDSHIELD, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH ISO SECTION 5.5 (6).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

RECESS ALL WINDOWS 2'.

THE SOLID WASTE DEPARTMENT SHALL HAVE 24HR ACCESS TO THE REFUSE ENCLOSURE.

THE APPROACH TO THE REFUSE ENCLOSURE SHALL NOT EXCEED 1" PER 1'-0".

COORS BOULEVARD - CPO-2
HEIGHT PER 14-16-3-6 (D) (IDO PAGE 130) NOT APPLICABLE

PARKING:
MULTI-FAMILY DWELLING: 46 X 1.5 = 69 SPACES
12 GARAGES EACH HAVE A CHARGING STATION
SPACES PROVIDED: 48 SURFACE + 24 GARAGE (12 X 2) + 4 ON STREET = 76 SPACES
HC REQUIRED: 3 STANDARD, 1 VAN
4 MOTORCYCLE REQUIRED
2 EA. 6 SPACE BIKE RACK

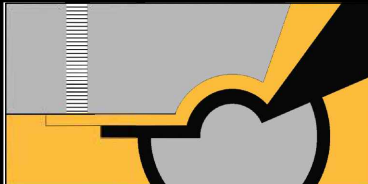
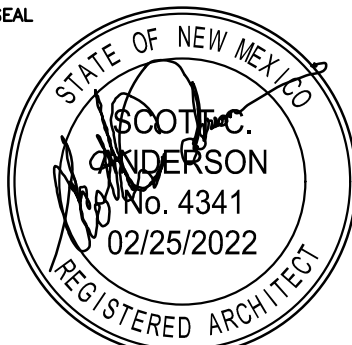
GROSS LOT AREA = 51,888 SF
BUILDINGS = 15,914 SF
NET LOT AREA = 35,974 SF
REQUIRED LANDSCAPE AREA @ 15% = 5,396 SF ; 8,638 SF PROVIDED

IDO TABLE 5-1-1 OPEN SPACE R-MH (IDO PAGE 216)
1 BEDROOM: 17 EA X 225 SF = 3,600 SF
2 BEDROOM: 17 EA X 285 SF = 8,265 SF

TOTAL REQUIRED = 11,865 SF

GRADE LEVEL= 11,684 SF
BALCONIES = 0 SF
3RD FLOOR DECK = 620 SF
TOTAL = 12,304 SF

UPC: 101106038518940617
LEGAL: LOT 20, CORONA DEL SOL
ZONING: R-MH
ZONE ATLAS PAGE: G11

No.	Revision	Item	Date
			SCOTT C. ANDERSON & associates architects 4419 4th St NW, apt. B ALBUQUERQUE, NM 87107 scott@scottcanderson.com 505.401.7575
SEQUOIA APARTMENTS 5130 SEQUOIA RD NW ALBUQUERQUE, NM 87120			
DRAWING TITLE			
<h1>SITE PLAN</h1>			
SEAL	DESIGNED E. HAIDARI DRAWN CHECKED REVIEWED DATE 02/25/2022	PROJECT NO SCALE DRAWING NO	
		<h1>A-100</h1>	